

CERTIFICATE OF SURVEY

I hereby certify that this is a correct representation of a survey of:

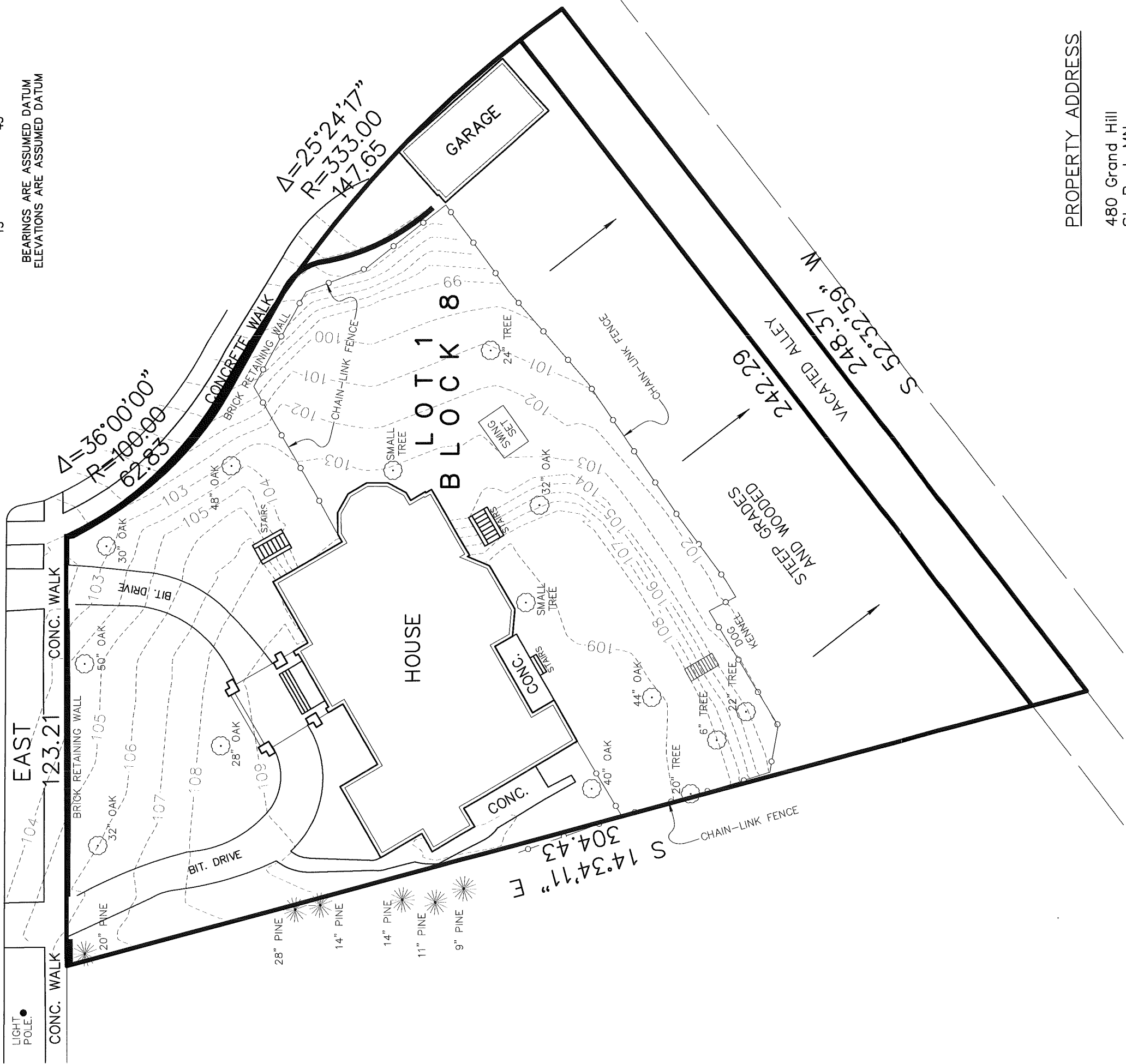
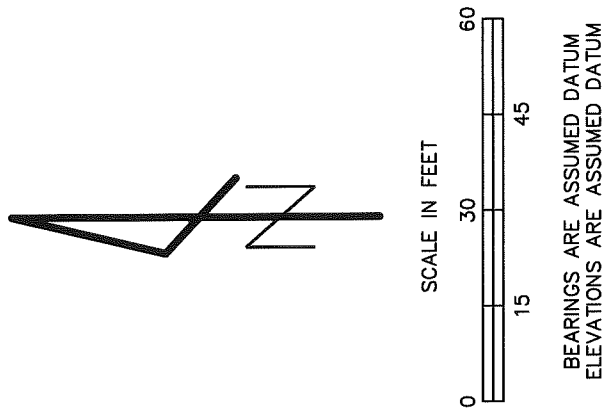
Lot 1, Block 8, TERRACE PARK ADDITION TO ST. PAUL and the northerly half of the vacated alley, Ramsey County, Minnesota, according to the recorded plat thereof.

And that this survey and certificate was prepared by me or under my direct supervision and that I am a duly licensed Land Surveyor under the laws of the State of Minnesota.

Grant D. Jacobson

Grant D. Jacobson, MN License No. 23189
Dated this 4th Day of February, 2013

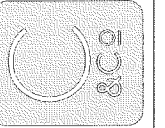
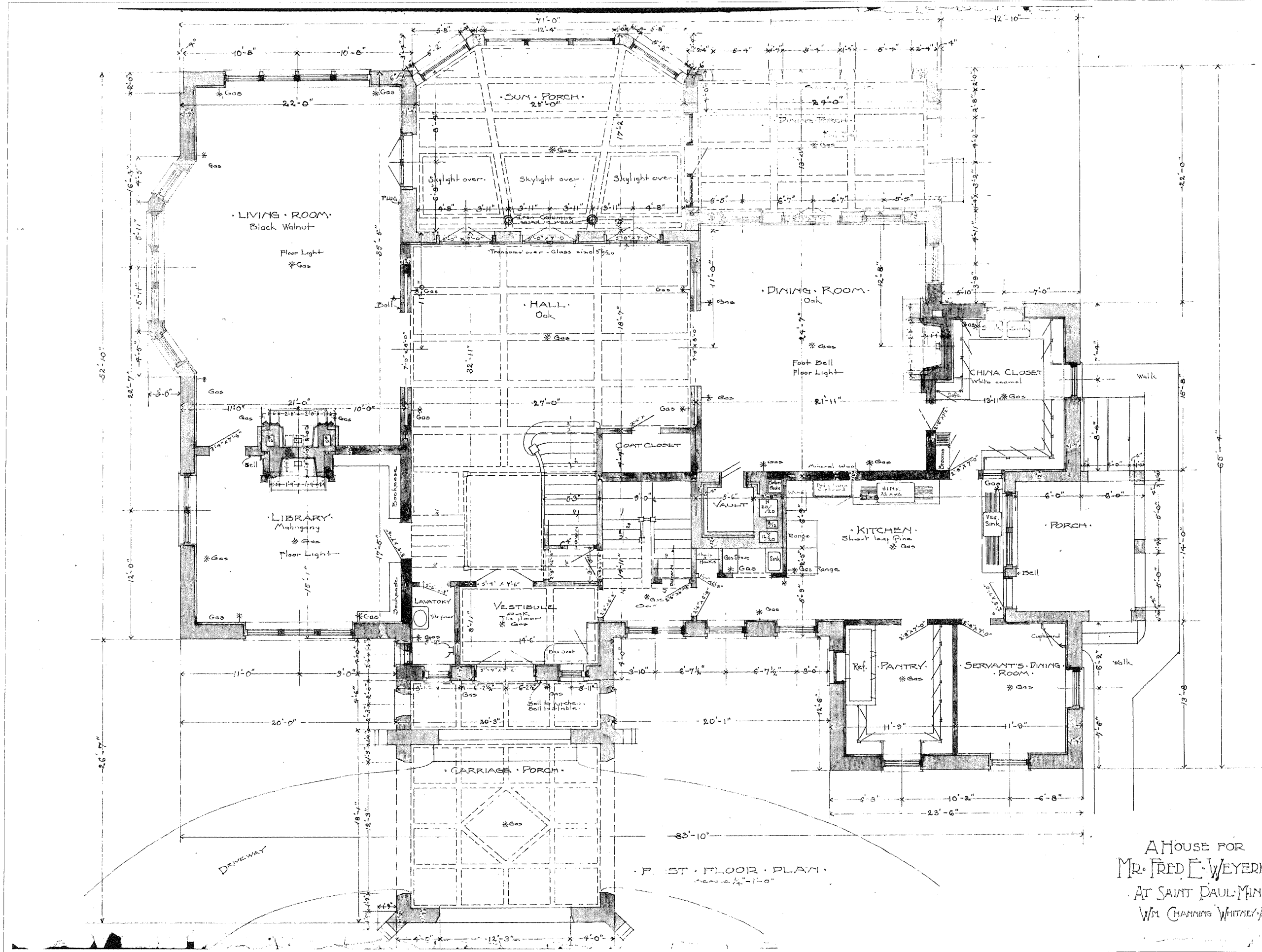
GRAND HILL



PROPERTY ADDRESS

480 Grand Hill
St. Paul, MN

REVISIONS	PREPARED FOR:		JACOBSON	
	Progressive Rail Inc.		ENGINEERS & SURVEYORS	
	Attn: Dave Fellon		21029 HERON WAY LAKEVILLE, MN 55044	
	21778 Highview Avenue		(952) 469-4328 jacobson@engrsurv.com	
	DRAWN: GAM	CHECKED: GDJ	BEARINGS ARE ASSUMED DATUM	PROJ: 213002
	DATE: 2/04/13	SCALE: AS SHOWN	O - DENOTES IRON MONUMENT	F.B.: A 213002



IMPORTANT NOTE FOR ALL CONTRACTORS & SUB-CONTRACTORS

1. The Owner/General Contractor must take full responsibility including providing additional details, drawings, and engineering as needed, and to resolve configuration deficiencies in order to coordinate and properly complete the Work. The General Contractor has the right and responsibility to revise configurations and details depicted in the Architect's Drawings, as required, to properly construct a code compliant and technically sound project.
2. All structural requirements, including but not limited to footing, foundation and framing work are to be specified by a Licensed Structural Engineer, provided by the Owner.
3. The General Contractor is responsible for verifying all coverings, zoning, building, fire, heating, plumbing and electrical code requirements.

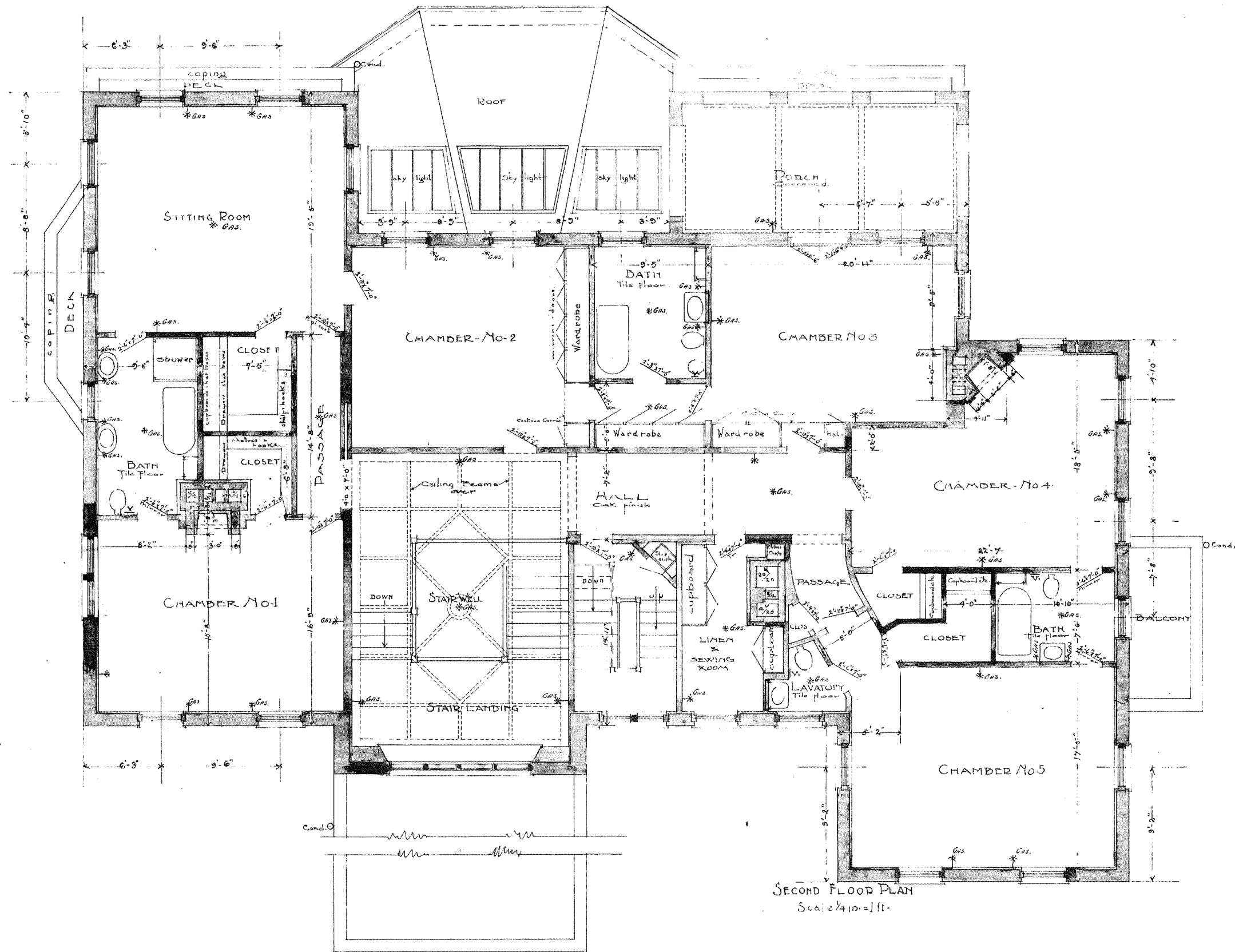
SUMMIT HILL RESIDENCE

480 Grand Hill
St. Paul, MN 55102

Original First Floor Plan

Not for Construction

A HOUSE FOR
MR. FRED E. WEYERHAEUSER
AT SAINT PAUL, MINN.
WM. CHANNING WHITNEY, ARCHT.



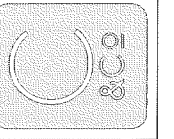
Note: All Closets to be provided with Electric Lights.

A HOUSE FOR
MR. FRED E. WEYERHAEUSER
AT SAINT PAUL MINN
WM CHANNING WHITNEY ARCHT

3

Charlie
& COMPANY

212 3rd Ave. N., Ste. 356
Minneapolis, MN. 55401
(ph) +612.333.2246



IMPORTANT NOTE FOR
ALL CONTRACTORS &
SUB-CONTRACTORS

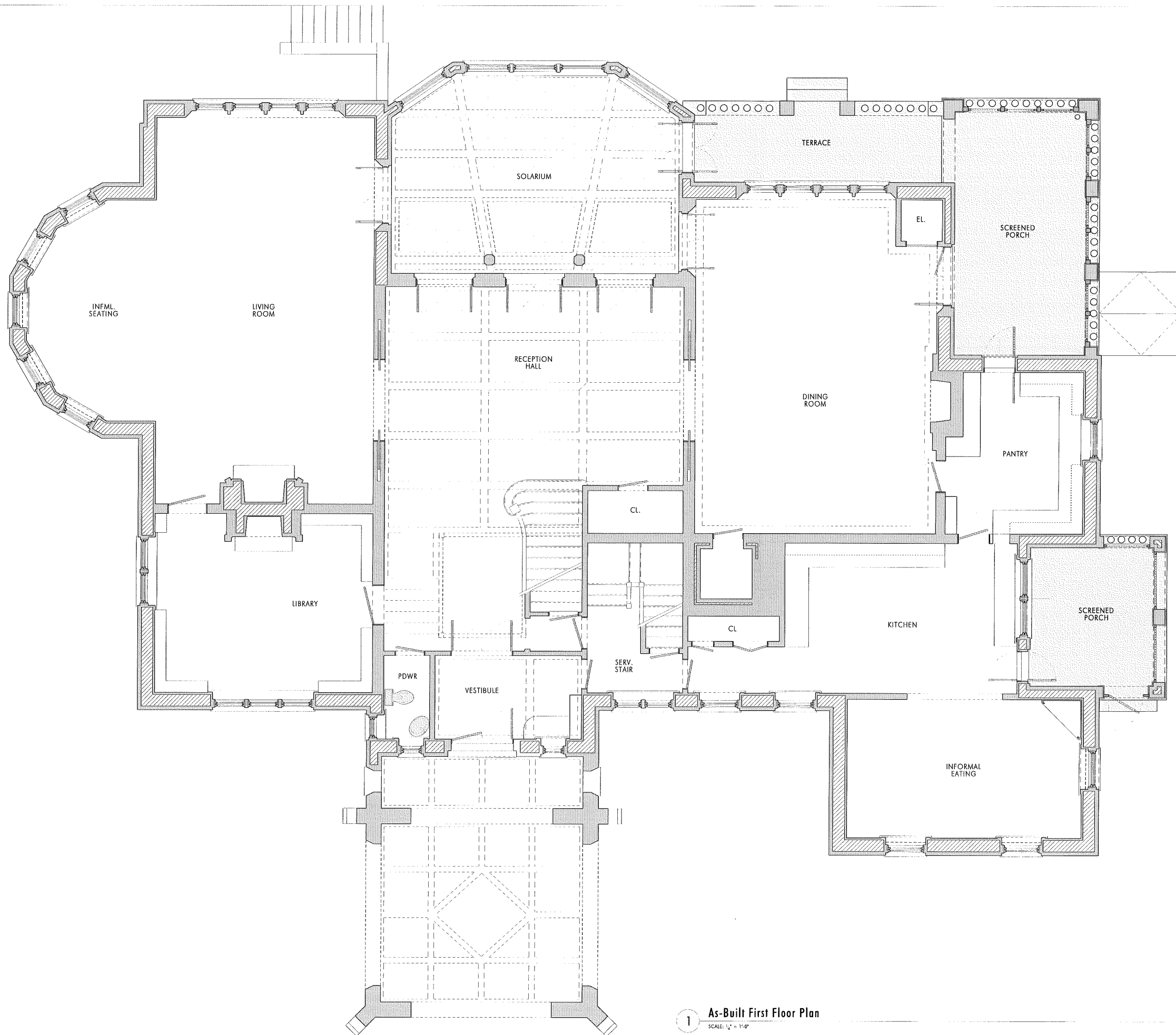
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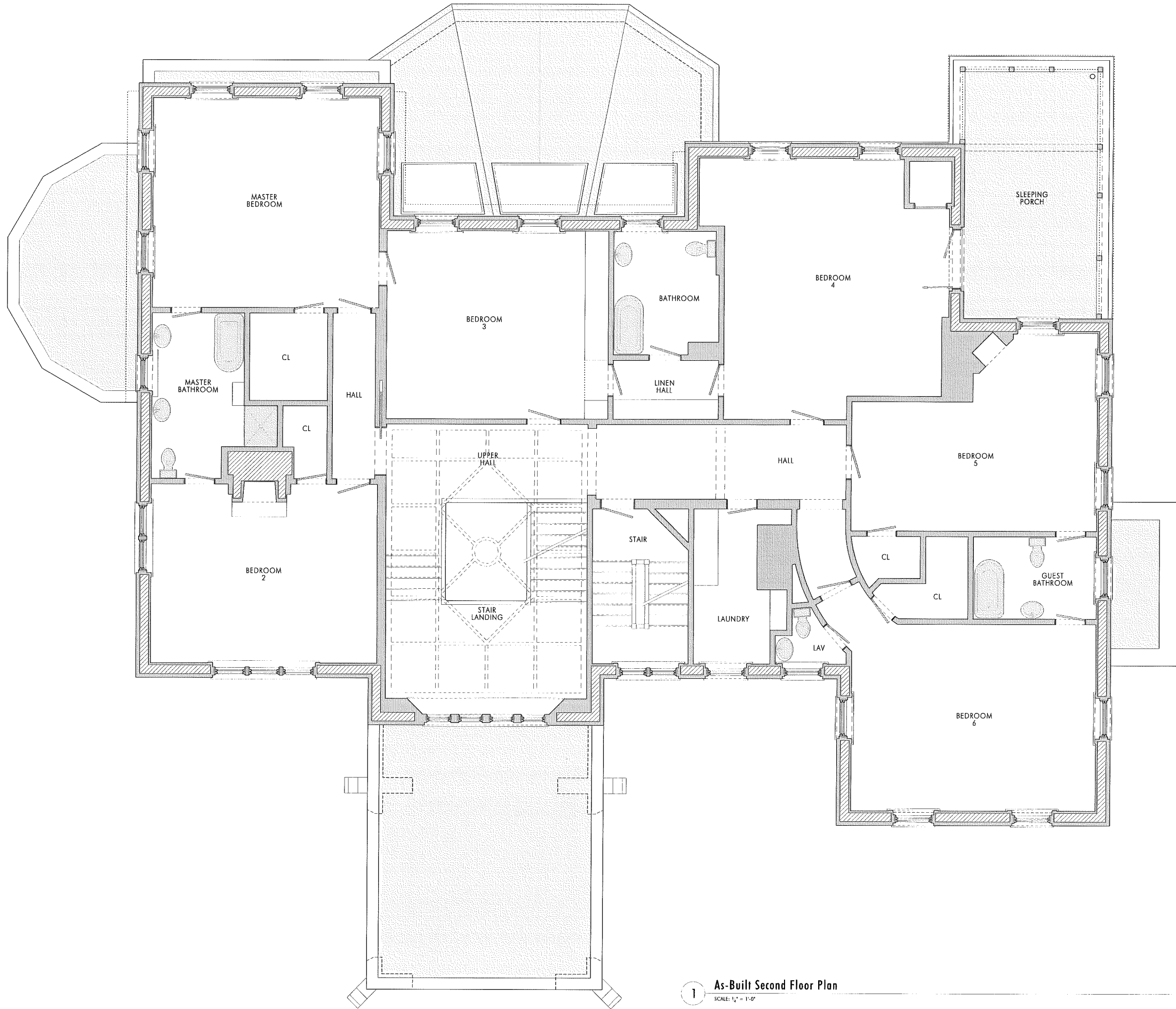
SUMMIT HILL
RESIDENCE

480 Grand Hill
St. Paul, MN. 55102

Original
Second Floor
Plan

Not for
Construction





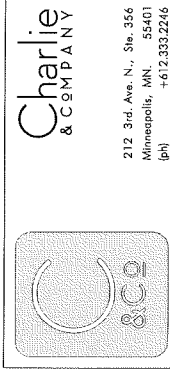
1 As-Built Second Floor Plan
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. GRIDLINES ARE PRIMARY LAYOUT LINES FOR INTERIOR PARTITIONS. ESTABLISH AND MAINTAIN THESE LINES THROUGHOUT CONSTRUCTION.
2. ALL WOOD IN CONTACT W/ CONC. TO BE FOUNDATION GRADE, PRESSURE TREATED LUMBER.
3. INTERIOR WALLS: 2x4 WD. STUDS w/ 1/2" GYP. BD. EACH SIDE - U.N.O.
4. INTERIOR BEARING WALLS: 2x6 WD. STUDS w/ 5/8" GYP. BD. EACH SIDE - U.N.O.
5. ALL DIMENSIONS ARE TAKEN FROM FACE OF ROUGH FRAMING OR TO EXISTING FINISH - U.N.O.
6. CONTRACTOR TO COORDINATE DESIGN OF MECHANICAL, HVAC, PLUMBING, & ELECTRICAL SYSTEMS AND ASSURE THEY ARE INTEGRATED INTO THE ARCHITECTURE.
7. COORDINATE FLOOR FINISHES AND FLOOR FINISH TRANSITIONS - REQUIREMENTS NOT SHOWN.
8. THE CABINET MAKER IS TO FIELD VERIFY ALL AS-BUILT MEASUREMENTS BEFORE MANUFACTURING.
9. SEE STRUCTURAL DETAIL FOR FRAMING INFORMATION @ KITCHEN BEAM

PLAN LEGEND

- EXISTING WALL - NO WORK
- SPECIALTY WALL - SEE SPEC.
- NEW WOOD FRAME WALL
- LINE OF EXIST. HOUSE
- CONCENTRATED POINT LOAD



IMPORTANT NOTE FOR ALL CONTRACTORS & SUB-CONTRACTORS

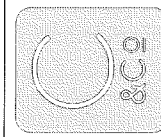
1. The Owner/ General Contractor must take full responsibility including providing additional detailing, drawings, and engineering as needed, and to resolve configuration deficiencies in order to coordinate and properly complete the Work. The General Contractor has the right and responsibility to review configurations and details depicted in the Architect's Drawings, as required, to properly construct a code compliant and technically sound project.
2. All structural requirements, including but not limited to loading, foundation and framing work are to be specified by a licensed Structural Engineer, provided by the Owner.
3. The General Contractor is responsible for verifying all constraints, zoning, building, fire, heating, plumbing and electrical code requirements.

SUMMIT HILL RESIDENCE

480 Grand Hill
St. Paul, MN. 55102

As-Built Second Floor Plan

Not for Construction



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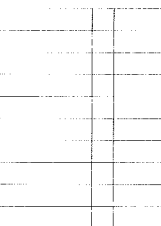
3. The General Contractor is responsible for verifying all covenants, zoning, building, fire, heating, plumbing and electrical code requirements.

SUMMIT HILL
RESIDENCE

480 Grand Hill
St. Paul, MN. 55102

Existing Front
Elevation w/
Window Keys

Not for
Construction



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Charles E. O'Neil, LLC




FRONT ELEVATION
SCALE: 1/4" = 1'-0"

A HOUSE FOR
MR. FRED E. WEYERHAEUSER
AT SAINT PAUL MINN
WM CHANNING WHITNEY ARCHT.

5

Existing Front Elevation w/ Window Keys

SCALE: NTS

 = Indicates damaged windows

The Owner/General Contractor must be full responsible including providing additional detailing, drawings, and engineering as needed, and resolve configuration deficiencies in order to coordinate and properly complete the Work. The General Contractor has the right and responsibility to review calculations of details depicted in the Architect's drawings, as required, to properly instruct a code compliant and technically sound project.

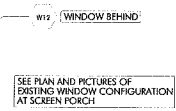
All structural requirements, including but not limited to loading, foundation and framing work are to be as specified in the approved Structural Engineer, provided by the Owner.

The General Contractor is responsible for verifying all covenants, zoning, grading, fire, heating, plumbing and electrical code requirements.

St. Paul, MN. 55102


[illegible]

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Charles & Co. Design, LLC




A HOUSE FOR
MR. FRED E. WEYERHAEUSER
AT SAINT PAUL MINN
WM CHANNING WHITNEY ARCHT

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 = Indicates damaged windows



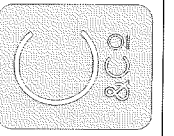
SOUTH ELEVATION
Scale: 1/4" = 1'-0"

A HOUSE FOR
MR. FRED E. WEYERHAEUSER
AT SAINT PAUL MINN
WM CHANNING WHITNEY ARCHT. 

1 Existing South Elevation w/ Window Keys
SCALE: NTS

 = Indicates damaged windows

Charlie
& COMPANY
212 3rd Ave. N., Ste. 356
Minneapolis, MN. 55401
(612) 333-2246



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SUMMIT HILL
RESIDENCE
480 Grand Hill
St. Paul, MN. 55102

Existing South
Elevation w/
Window Keys

Not for
Construction

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SUMMIT HILL
RESIDENCE

480 Grand Hill
St. Paul, MN. 55102

Existing East
Elevation w/
Window Keys

Not for
Construction

[illegible]

15

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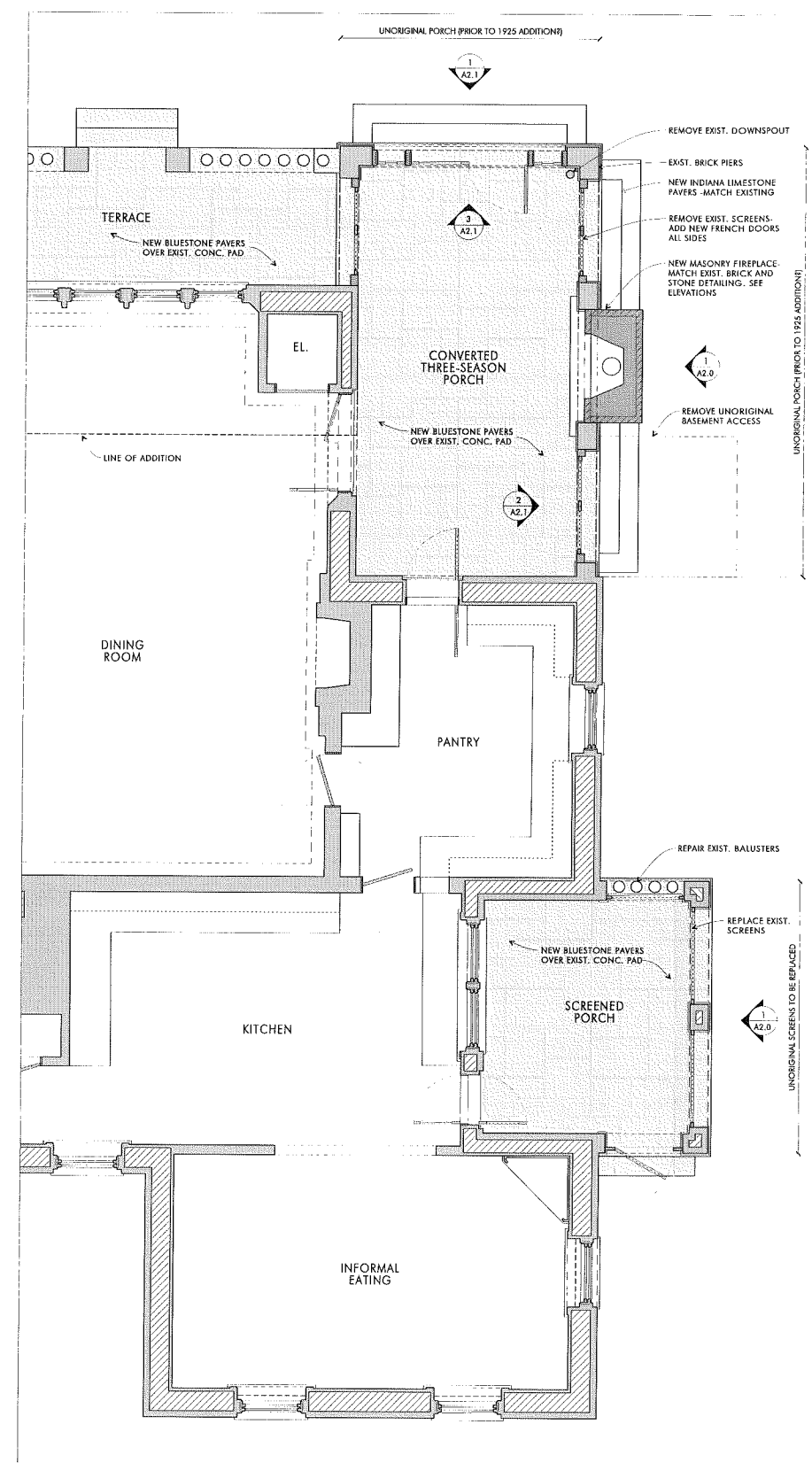
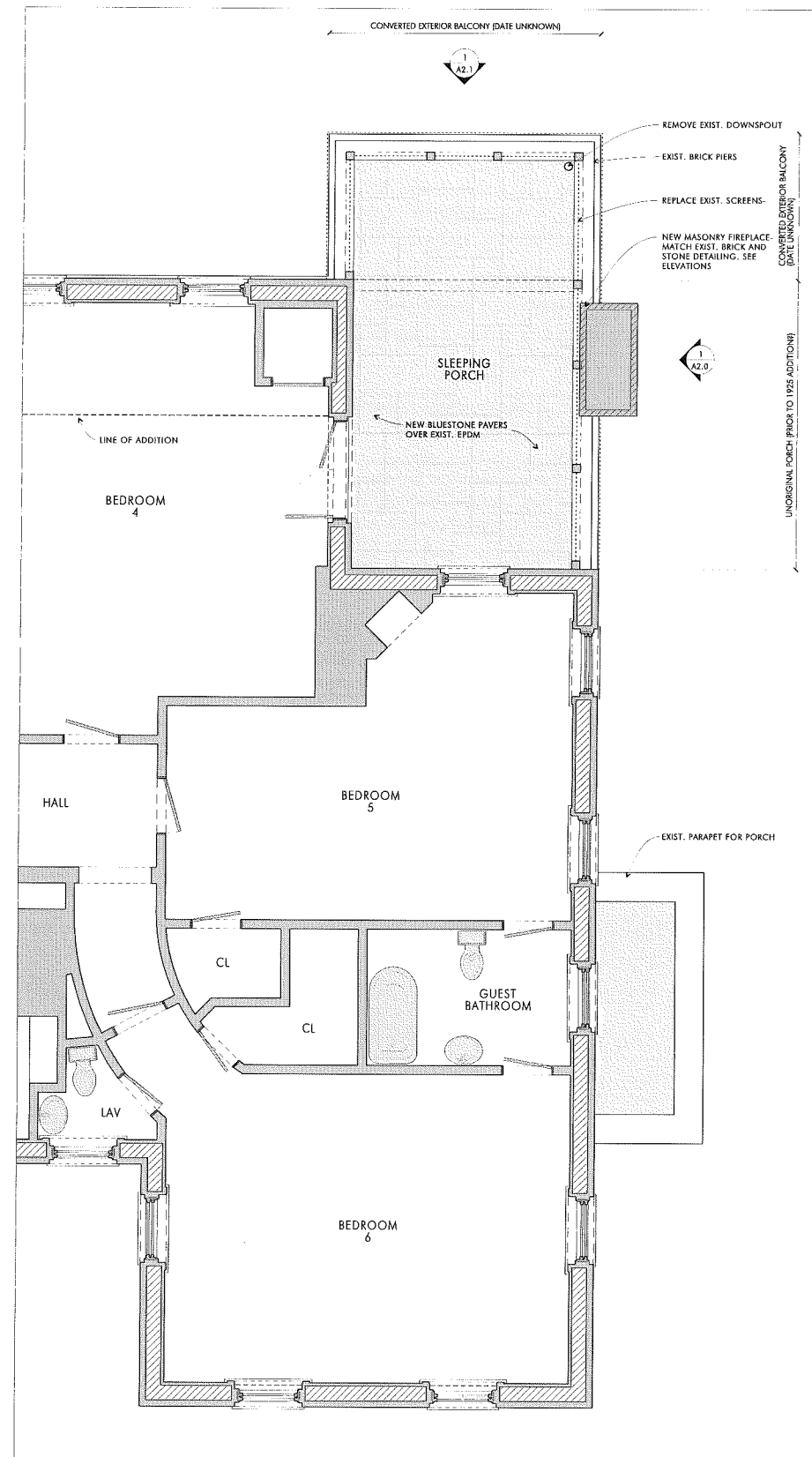
EAST ELEVATION
SCALE $\frac{1}{4}'' = 1'-0''$

A HOUSE FOR
MR. FRED. E. WEYERHAEUSER
AT SAINT PAUL MINN
WM CHANNING WHITNEY ARCHT.

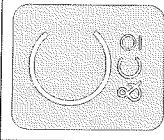
6

1 Existing East Elevation w/ Window Keys
SCALE: NTS

 = Indicates damaged windows







IMPORTANT NOTE FOR ALL CONTRACTORS & SUB-CONTRACTORS

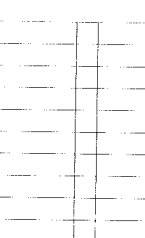
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**SUMMIT HILL
RESIDENCE**

480 Grand Hill
St. Paul, MN 55102

**Proposed South
Elevation**

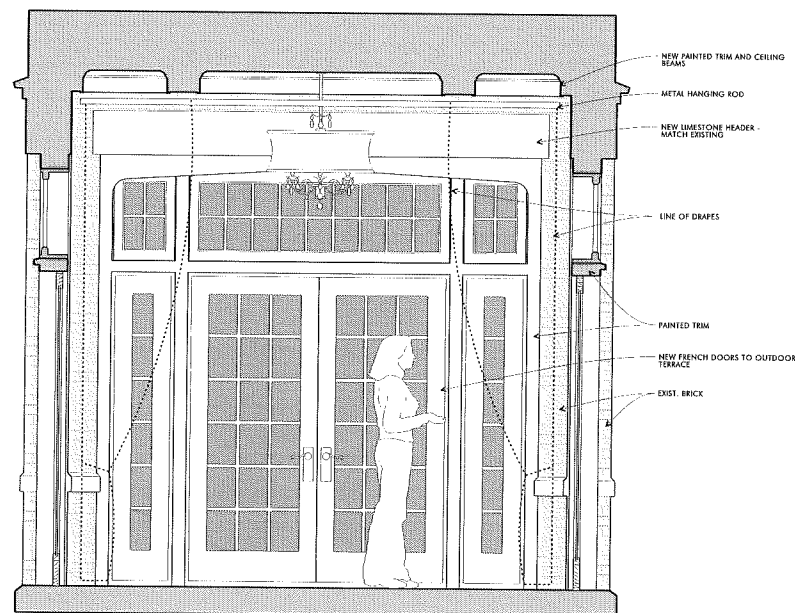
Not for
Construction



43



2 Proposed Interior Elevation @ Three-Season Porch
SCALE: 1/2" = 1'-0"



3 Proposed Interior Elevation @ Three-Season Porch
SCALE: 1/2" = 1'-0"



1 Proposed Exterior Elevation Modifications to Porches
SCALE: 1/2" = 1'-0"