



*Saint Paul Heritage Preservation Commission
Department of Planning and Economic Development
25 Fourth Street West, Suite 1400
Saint Paul, MN 55102
Phone: (651) 266-9078*

HERITAGE PRESERVATION COMMISSION DESIGN REVIEW APPLICATION

This application must be completed in addition to the appropriate city permit application if the affected property is an individually designated landmark or located within an historic district. For applications that must be reviewed by the Heritage Preservation Commission refer to the HPC Meeting schedule for meeting dates and deadlines.

1. CATEGORY

Please check the category that best describes the proposed work

- | | | |
|--|---|--|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning | <input checked="" type="checkbox"/> New Construction/Addition/ |
| <input type="checkbox"/> Moving | <input type="checkbox"/> Fence/Retaining Wall | Alteration |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Other _____ | <input type="checkbox"/> Pre-Application Review Only |

2. PROJECT ADDRESS

Street and number: 1890 Summit Avenue Zip Code: 55105

3. APPLICANT INFORMATION

Name of contact person: Bill Marzolf

Company: _____

Street and number: 1890 Summit Avenue S

City: St. Paul State: MN Zip Code: 55105

Phone number: (612) 701-2465 e-mail: BillMarzolf@Comcast.Net

4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: Same

Street and number: _____

City: _____ State: _____ Zip Code: _____

Phone number: (____) _____ e-mail: _____

5. PROJECT ARCHITECT (If applicable)

Contact person: Meghan Kell

Company: Kell Architects

Street and number: 821 Raymond Ave. Suite 400

City: St. Paul State: MN Zip Code: 55114

Phone number: (612) 812-5687 e-mail: Meghan@KellArchitects.Com

6. PROJECT DESCRIPTION

Completely describe ALL exterior changes being proposed for the property. Include changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

The project is a proposed addition on the rear of this Colonial Revival home originally built in 1926. On the Main Level, the kitchen will be remodeled and extended into the new addition, a family room will be added as well as a powder room and mudroom at a new back entry, defined by a trellis. A patio is also proposed at the backyard. The upper level addition/remodel will include expansion of the Master Bedroom and the addition of a Master Bathroom while adding a Walk-in Closet to the existing space. The existing Screened Porch will be removed. The existing gable roof will remain in tact and prominent, with a new gable roof over the addition intersecting perpendicularly. Two existing windows will need to be resized and replaced, one in the existing kitchen and one in the southwest corner bedroom. All other South windows will be removed for addition.
SEE ADDITIONAL INFORMATION ATTACHED

Attach additional sheets if necessary

7. ATTACHMENTS

Refer to the *Design Review Process sheet* for required information or attachments.

****INCOMPLETE APPLICATIONS WILL BE RETURNED****

ARE THE NECESSARY ATTACHMENTS AND INFORMATION INCLUDED?

☒ YES

Will any federal money be used in this project?
Are you applying for the Investment Tax Credits?

YES _____ NO ☒
YES _____ NO ☒

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: William J. Hayoff, Jr.

Date: 7/31/2013

Signature of owner: SAME

Date: _____

FOR HPC OFFICE USE ONLY

Date received: _____

FILE NO. _____

District: _____/Individual Site: _____

Contributing/Non-contributing/Pivotal/Supportive/:

Type of work: Minor/Moderate/Major

____ Requires staff review

Supporting data: YES NO
Complete application: YES NO

The following condition(s) must be met in order for application to conform to preservation program:

It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).

HPC staff approval

Date _____

____ Requires Commission review

Submitted:

- ☐ 3 Sets of Plans
- ☐ 15 Sets of Plans reduced to 8 1/2" by 11" or 11" by 17"
- ☐ Photographs
- ☐ City Permit Application
- ☐ Complete HPC Design Review application

Hearing Date set for: _____

City Permit # _____ - _____



1890 SUMMIT AVENUE – PROPOSED ADDITION

Owner: Bill Marzolf

Architect: Kell Architect(s)



PROJECT DESCRIPTION

The project is a proposed addition on the rear of this Colonial Revival home originally built in 1926. On the Main Level, the kitchen will be remodeled and extended into the new addition, a family room will be added as well as a powder room and mudroom at a new back entry, defined by a trellis. A patio is also proposed at the backyard. The upper level addition/remodel will include expansion of the Master Bedroom and the addition of a Master Bathroom while adding a Walk-in Closet to the existing space. The existing Screened Porch will be removed. The existing gable roof will remain in tact and prominent, with a new gable roof over the addition intersecting perpendicularly. Two existing windows will need to be resized and replaced, one in the existing kitchen and one in the southwest corner bedroom. All other South windows will be removed for addition

The existing footprint of the home is 1055 square feet. Total existing square footage of the three levels is 3165 square feet, not including the attic level. The space being added to the existing is as follows:

Lower Level Addition = 755 square feet

Main Level Addition = 755 square feet

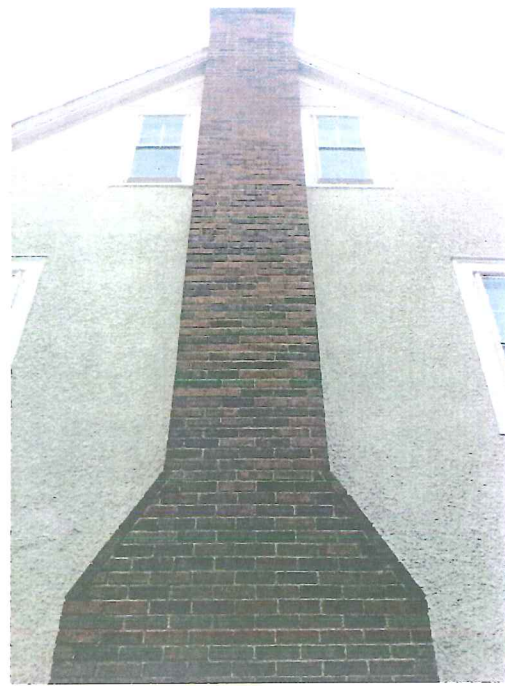
Upper Level Addition = 264 square feet

EXTERIOR MATERIALS AND FINISHES

SIDING - The new stucco finish will match existing color and texture



EXISTING STUCCO TEXTURE



EXISTING STUCCO, TRIM COLOR & BRICK

ROOFING - Existing roofing will need to be replaced. The new roofing shingles for existing and new roofs are proposed to be traditional asphalt shingles by CertainTeed XT30, color to be "Weathered Wood."

WINDOWS - Existing wood windows to remain and will be repaired and painted. New windows at addition/remodeling to be Marvin Windows. New windows to be provided in sizes as indicated on plans. Where Double Hung windows are indicated, Marvin Clad Ultimate Double Hung units are specified. Where Awning windows are indicated, Marvin Clad Ultimate Casement units are specified.

Glazing: to be double pane, clear, low-e with argon.

Finishes: Interiors to be Clear Pine, factory primed for on-site finish painting.

Exteriors to be aluminum clad, standard color "Stone White."

Hardware: to be standard

Screen: to be full screens, aluminum frame, standard color "Stone White"

Simulated Divided Lites (SDL): 5/8 inch (16 mm) wide, with spacer bars.

Exterior muntins: 0.055 inch (1.4 mm) thick extruded aluminum.

Interior muntins: Pine. Muntins adhered to glass with double coated acrylic foam tape.

Pattern: see exterior elevations.

Finish: Match sash finish.

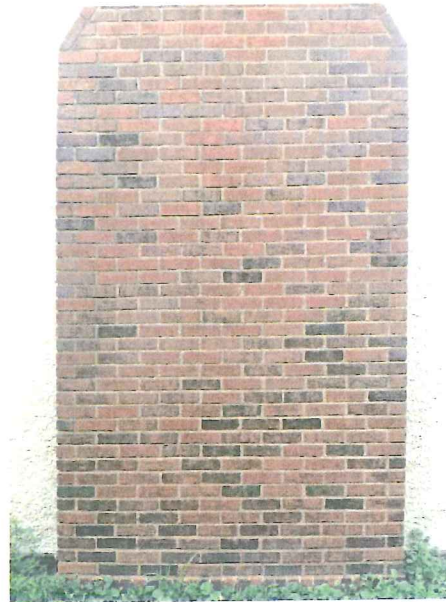


EXISTING WINDOW PATTERN
PAINTED WOOD TRIM WITH BACKBAND
(NEW TRIM TO MATCH EXISTING)

BRICK – New brick at base of building and at new fireplace bumpout and chimney to match as close to existing as possible.



EXISTING BASE AT CORNER DETAIL



EXISTING CHIMNEY BRICK

BRICK PAVERS AT PATIO – New brick at base of building and at new fireplace bumpout and chimney to match as close to existing as possible. Proposed pavers to be Willow Creek in "Brickstone."



PROPOSED BRICK PAVER HARRINGBONE PATTERN

EXISTING PHOTOS



NORTH (STREET) ELEVATION



ENTRY DETAIL



SOUTH (BACKYARD) ELEVATION



BACKYARD VIEW, EXISTING SINGLE CAR GARAGE



SOUTH VIEW TO EAST NEIGHBOR



SOUTH VIEW TO WEST NEIGHBOR



FRIEZEBOARD, SOFFIT AND FASCIA DETAIL AT GARAGE



WINDOW TRIM DETAIL TO MATCH



ENTRY COLUMN DETAIL TO MATCH

THE MARZOLF RESIDENCE
1890 SUMMIT AVENUE
CITY OF ST. PAUL, RAMSEY COUNTY, MINNESOTA

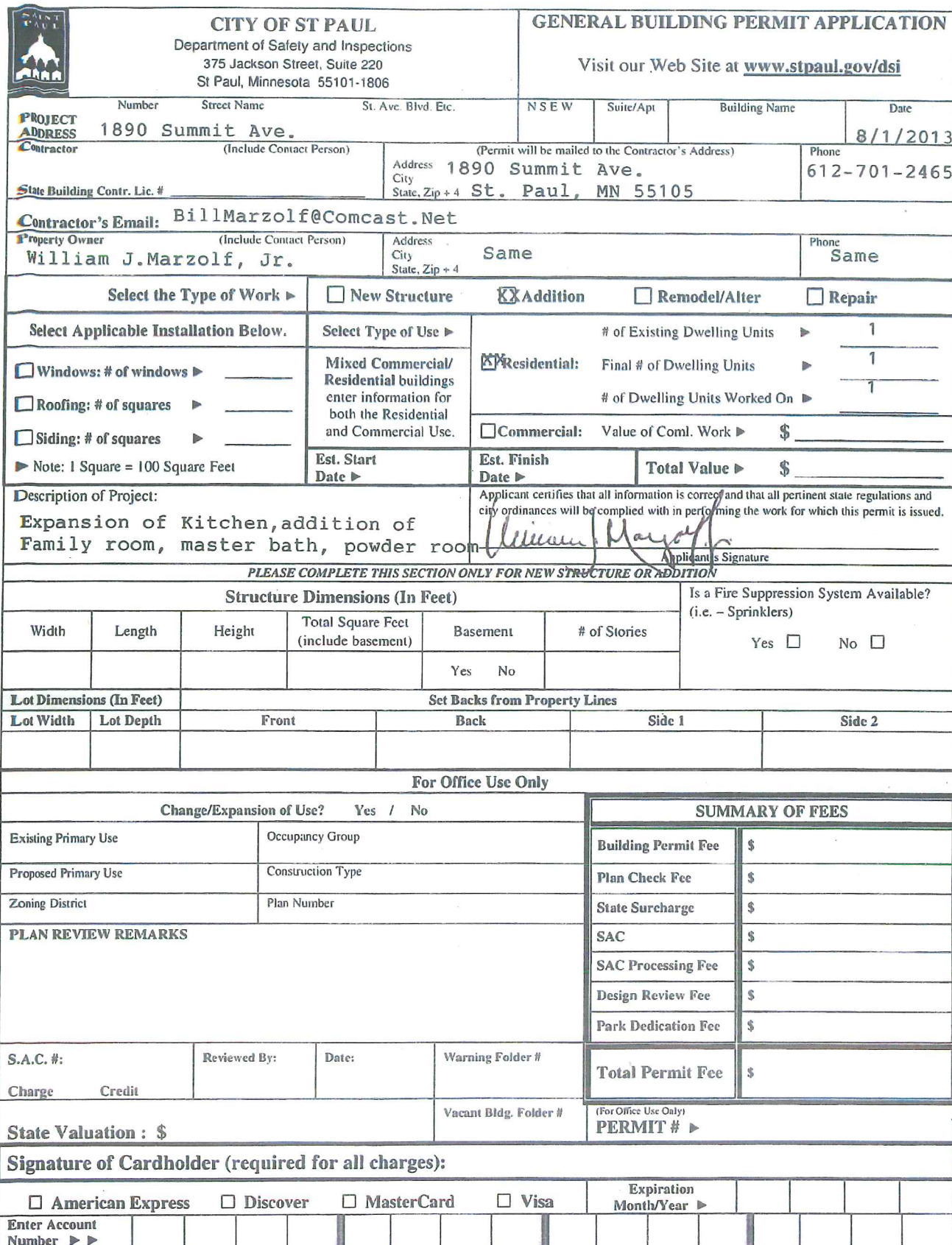


2000年12月29日



CERTIFICATE OF SURVEY





GENERAL BUILDING PERMIT APPROVALS & REQUIREMENTS

*If you are paying for your permit by American Express, Discover, MasterCard or Visa, you may fax your application.
The credit card information section must be filled in and signed.*

Our FAX number is 651-266-9124.

If paying by check, please mail the application and check to us. Make checks payable to: City of St. Paul

FOR NEW CONSTRUCTION AND MULTI-FAMILY RESIDENTIAL OR COMMERCIAL ADDITIONS
Building Permit Application and two (2) complete sets of plans must have stamped approval by the following
Offices prior to submittal to the plan examination section in DSI at 375 Jackson Street, Suite 220.

REQUIRED

- 1) Public Works – 10th Floor City Hall Annex
25 W. 4th Street
(Bring Lot Survey with Legal Description)

Assigned Address: _____

Pin # : _____

Legal Description:

REQUIRED

- 2) Public Works – Sewer 7th Floor City Hall Annex
25 W. 4th Street
(Sewer Size and Location)

FOR OFFICE USE ONLY

Review	Required	Initials/OK	Date
HPC			
SITE PLAN REVIEW*			
SPECIAL USE PERMIT			
ENVIRONMENTAL / FOOD			

Site Plan Review is required for new construction
and additions to commercial buildings or residential
buildings with 3 or more units.
(651-266-9086)

Building Field Inspectors are in the office for inspection requests between 7:30 – 9:00 AM, Monday – Friday. Phone number is 651-266-9002.
Permit Fee Information can be obtained by calling 651-266-8989, Monday – Friday, 7:30 – 4:30.

Visit our Web Site at www.stpaul.gov/dsi



CITY OF SAINT PAUL
Christopher B. Coleman, Mayor

375 Jackson Street, Suite 220
St Paul, Minnesota 55101-1806

Telephone: 651-266-8989
Facsimile: 651-266-9124
Web: www.stpaul.gov/dsi

Building Permit Affidavit for the Owner of Residential Real Estate¹

I, the undersigned, certify that I own the residential real estate for which I am applying for a building permit, located at:

1890 Summit Avenue St. Paul, MN 55105

(Property Location)

I understand that the State of Minnesota requires all residential building contractors, remodelers and roofers to obtain a state license for work performed on residential real estate (as defined by Minnesota Statute 326.83, subd.17) unless they qualify for a specific exemption from licensing requirements. I hereby claim to be exempt from state licensing requirements because I am not building or improving this property for purposes of resale.

I acknowledge that I may be hiring independent contractors to perform certain aspects of the construction or improvement of this property and I understand that some of these contractors may require a license. I understand that unlicensed residential contracting, remodeling, and/or roofing activity is a misdemeanor under Minnesota Statute 326.92, subd.1, and that I would forfeit my right to reimbursement from the Contractors' Recovery Fund in the event that any contractor I hire is unlicensed.

I also acknowledge that as the contractor for this project, I am personally responsible for any violation of the state building code or other applicable law or ordinance resulting from work performed on this property.

William J. Marzolf, Jr.

(Print Name)

(Signature of William J. Marzolf, Jr.)
(Signature of Property Owner)

July 31, 2013

(Date)

To determine if a contractor is required to be licensed, or to verify the licensing status of an individual contractor, please contact the following:

for building contractor MN Commerce Dept., Enforcement Div., (651) 284-5065

for electrical contractor MN State Board of Electricity, (651) 284-5064

for plumbing contractor City of St. Paul, Dept. of Safety and Inspections, (651) 266-9090

for mechanical contractor City of St. Paul, Dept. of Safety and Inspections, (651) 266-9090

¹ "Residential real estate" means a new or existing building constructed for habitation by one to four families, and includes detached garages. (Minnesota Statute 326.83, subd.17)