



Saint Paul Heritage Preservation Commission
Department of Planning and Economic Development
25 Fourth Street West, Suite 1400
Saint Paul, MN 55102
Phone: (651) 266-9078
ApplyHPC@stpaul.gov

HERITAGE PRESERVATION COMMISSION DESIGN REVIEW APPLICATION

This application must be completed in addition to the appropriate city permit application if the affected property is an individually designated landmark or located within an historic district. For applications that must be reviewed by the Heritage Preservation Commission refer to the HPC Meeting schedule for meeting dates and deadlines.

1. CATEGORY

Please check the category that best describes the proposed work

- | | | |
|--|---|---|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning | <input type="checkbox"/> New Construction/Addition/ |
| <input type="checkbox"/> Moving | <input type="checkbox"/> Fence/Retaining Wall | Alteration |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Other _____ | <input checked="" type="checkbox"/> Pre-Application Review Only |

2. PROJECT ADDRESS

Street and number: 928 West Seventh Street Zip Code: 55102-3641

3. APPLICANT INFORMATION

Name of contact person: Laura Hughes or Kim Daileader

Company: EHT Traceries, Inc

Street and number: 1121 5th Street, NW

City: Washington State: DC Zip Code: 20001

Phone number: (202) 393-1199 e-mail: laura.hughes@traceries.com

4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: Craig Cohen/Schmidt Keg House, LLC

Street and number: 565 Holly Avenue

City: Saint Paul State: MN Zip Code: 55102

Phone number: (651) 485-1738 e-mail: craigcohen39@aol.com

5. PROJECT ARCHITECT (If applicable)

Contact person: Adam Meyer

Company: Studio M Architects, Inc.

Street and number: 530 N 3rd Street, Suite 230

City: Minneapolis State: MN Zip Code: 55401

Phone number: (612) 524-5375 e-mail: adam.meyer@studiomarchitects.net

6. PROJECT DESCRIPTION

Completely describe ALL exterior changes being proposed for the property. Include changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

See continuation sheets.

Attach additional sheets if necessary

7. ATTACHMENTS

Please list any attachments that are included in this application. Refer to the [Design Review Application Process Checklist](#) for required information or attachments.

- Continuation sheets that describe all existing conditions and proposed rehabilitation work
- 15 11x17 sets of drawings that include existing conditions and proposed rehabilitation work
- 1 set of 8x10 existing conditions photos
- 2 CD-ROMs with photos (lists and photo keys), drawings, application

Attach the above listed to this application or attach in an email to ApplyHPC@stpaul.gov

Will any federal money be used in this project?

YES ☒ NO ☐

Are you applying for the Investment Tax Credits?

YES ☐ NO ☒

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: _____

Date: _____

Signature of owner: _____

Date: _____

Send completed application with the necessary attachments to ApplyHPC@stpaul.gov or to:

Saint Paul Heritage Preservation Commission
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FOR HPC OFFICE USE ONLY

Date received: 08/17/15 via FedEx FILE NO. _____
Date complete: 8.17.15 PA
District: JSBCL / Individual Site: _____
Pivotal/ Contributing / Non-contributing / New Construction / Parcel

☐ Requires staff review

Supporting data: YES NO
Complete application: YES NO
The following condition(s) must be met in order for application to conform to preservation program:

It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).

HPC staff approval

Date _____

☒ Requires Commission review

Submitted:

- ☒ ~~3 Sets of Plans~~
- ☒ 15 Sets of Plans reduced to 8 1/2" by 11" or 11" by 17"
- ☒ Photographs
- ☒ CD of Plans (pdf) & Photos (jpg)
- ☒ ~~City Permit Application~~
- ☒ Complete HPC Design Review application

PA
~~Hearing Date set for:~~ Sept. 10

~~City Permit # _____~~

HPC Staff Notes

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Jacob Schmidt Brewing Company Keg House

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Detailed Description of Rehabilitation Work

Exterior:

1. Site (1921 & 1937)(photos: 1-12, 14-18, 21-32, 36-39) (drawing 1):

Existing: The Keg House at 928 West Seventh Street is situated on the northeast corner of a 1.89 acre lot in Saint Paul, Minnesota within the Jacob Schmidt Brewing Company Historic District. The trapezoidal lot encompasses an entire block and is bound by West Seventh Street to the north, Webster Street to the east, West James Avenue to the south, and Toronto Street to the west. The Keg House lot lies to the west of the Jacob Schmidt Brewing Company Main Brewery Complex. The site has an industrial character and can be accessed by public sidewalks from all streets except Webster Street. In general, the site reflects a lack of regular use since it was vacated in 2004 and in a severely deteriorated condition.

The portion of Webster Street between West Seventh Street and West James Avenue was once closed and held contemporary buildings that were part of the larger brewery complex; the street has recently been reopened. There are some trees, low brush, and grass throughout the site. To the south of the Keg House, the site is covered in deteriorated and broken asphalt. There are also some remnants of small, non-contributing concrete, industrial structures to the south of the building that were built in 2000 to assist in the ethanol production that occurred on site. There is a contemporary, ornamental metal fence that runs along the south and west portion of the site that connects to a contemporary, chain link fence near West Seventh Street that runs parallel to West James Street and terminates near the West Elevation of the Keg House.

Proposed: The overall intent of the project is to rehabilitate the existing site into a commercial development that features a food market, called the *Keg & Case Market*. The commercial program of the site will also feature a restaurant and retail tenant spaces. The physical site will retain and protect the industrial and historic character of the Keg House and the greater historic district as it exists today. The majority of the proposed site work will focus on the addition of a parking lot, lawn greenspace, market plaza, and various outdoor seating areas. All remnants of the non-contributing, concrete structures used in the ethanol operation will be demolished. This includes all foundations, floor slabs, and concrete walls. The deteriorated asphalt on the southern portion of the site and the non-historic fencing will also be removed. All materials and surface design introduced to the site will reference those used throughout the surrounding historic district.

As per the *Preservation Program and Design Review Guidelines of the Jacob Schmidt Brewing Company Historic District*, hereafter referred to as the *Historic District Design Guidelines*, the proposed parking lot will be constructed to the rear of the Keg House building, where the existing site is covered by deteriorated asphalt. To ensure adequate drainage from the site the new parking area will be surfaced with stone pavers, typical to throughout the existing Jacob Schmidt Historic District. The parking lot will be accessed from Webster Street, just south of the Keg House, and West James Avenue, along the site's southern boundary. The parking lot will hold seventy-five parking spots, four of which are handicap accessible, located in the northwest corner. Some trees typical in scale to the existing trees will be planted in and around the parking area.

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In the southwest corner of the site, to the west of the parking lot, will be a rectangular grass lawn. The flat greenspace will be framed to the north by a minimal interactive water feature and to the south by a slightly raised performance space. It will be framed on the east and west by a row of trees, similar in scale and type of the trees that currently exist on the site.

The portion of the site to the north of the lawn, framed by West Seventh Street and the extended wall of the west elevation of the Keg House, will be converted to a market plaza faced in permeable concrete pavers typical of the rest of the site. This outdoor space will have a flexible, undefined program, adaptable to the various seasonal events that may occur at the market site. Just to the northwest of the plaza, portions of the site directly adjacent to West Seventh Street will be used to display public art and hops planting beds. The plaza will also feature trees, typical to those used throughout the rest of the site.

The corner of the site at the intersection of West Seventh Street and Webster Street, adjacent to the extended wall of the north elevation of the Keg House, will be faced in the same type of pavers and grass. The exact configuration of this portion of the site will become more defined by the tenant of the bar/restaurant space but will most likely feature outdoor seating. Additionally, the northern portion of this area of the site will feature public art or interpretive information for the site.

The proposed site work also includes additional circulation, outdoor seating areas, loading area, waste receptacle, sidewalks, and landscaping. Concrete sidewalks will be added throughout the site to provide access to the indoor market, parking lot, plaza, and lawn. An ADA accessible ramp will be adjacent to the parking lot and market plaza to provide access to the interior of the market. Along the southwest corner of the Keg House, an elevated concrete deck with level access to the interior of the market along the south and west elevations will be constructed. This deck will be accessed by both the ramp on the west side, and stairs adjacent to the market plaza and parking lot. The raised deck will be used for outdoor seating, loading area, and waste disposal and recycling service. The deck, ramp, and stairs will all feature metal rail systems that are compatible in material and design with the historic Keg House, following the *Historic District Design Guidelines*.

A curb and concrete sidewalks will be constructed along Webster Street to provide adequate access to the east side of the site. Portions of the sidewalks will be faced with the same permeable concrete pavers used on other portions of the site and planters that feature small trees. As per the *Historic District Design Guidelines*, new landscaping will not obstruct any views of any of the brewery structures within the historic district. All proposed site work will be of appropriate materials, design, and scale that maintain the overall industrial character of the Keg House and the rest of the buildings south of West Seventh Street within the Jacob Schmidt Historic District.

2. Building (1921 & 1937)(photos: 1-73)(drawings 1-11):

Existing: The single-story, double-height Keg House is a 181 by 125 foot, rectangular building with a chamfered corner on the northwest portion of the building, which runs along the diagonal orientation of West Seventh Street. The building consists of a garage that was built in 1921 on the northern portion of the site and a large addition built in 1937. This addition, the majority of the existing structure, converted

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the building into the keg storage facility for the brewery. The twentieth century Keg House is contributing to the locally certified Jacob Schmidt Brewing Company Historic District. The steel-framed, brick building is supported by a stone foundation and capped by a mostly flat, asphalt-sheathed roof. There are two large, light monitors which historically extended the width of the structure that provide natural light to the interior of the building. Designed in the PWA Moderne style, the building is faced in brick masonry and ornamented with horizontal, limestone beltcourses. The open, free-span interior of the building retains the industrial character of the exterior of the building that existed historically. The building has been abandoned since 2004.

Proposed: The existing Keg House building will be adaptively used to create a commercial retail development that will create a contemporary use for the abandoned site. This program will utilize the entire historic Keg House to draw both visitors and local residents of Saint Paul to the site. The historic Jacob Schmidt Brewing Company Keg House will be rehabilitated into the *Keg & Case Market* which will feature local food vendors, retail, and a restaurant.

The exterior of the building will be cleaned and preserved. The majority of modifications will be limited to code requirements and to necessary system upgrades throughout the existing building. Most of the windows have been removed from the building. The openings have been infilled with concrete block and brick or left open to the elements. Windows and doors will be installed at the existing openings. Work will also include the addition of reversible partitions and a mezzanine that allows for additional commercial program while maintaining the industrial character of the space. All building systems and utilities will be upgraded as needed. All work will follow the *Secretary of the Interior's Standards for Rehabilitation*, hereafter referred to as the *Standards for Rehabilitation*, and the *Historic District Design Guidelines*.

Historic finishes and features will be retained or restored where possible. The overall design aim of the project is to respect both the PWA Moderne aesthetic of the Keg House and the greater nineteenth- and twentieth-century industrial character of the rest of the surrounding brewery complex. All materials and designs will be compatible with the existing historic character of the site.

3. Brick and limestone masonry (1921, 1937, late-20th c.)(photos: 1-2, 10-39)(drawings 7-10):

Existing: The majority of the Keg House is clad in five- and six-course common bond brick masonry with flush mortar joints. The inconsistent coursing patterns reflect the different phases of construction consisting of the original 1921 portion of the building, and the 1937 addition built to convert the space into the Keg House for the Jacob Schmidt Brewing Company.

The building also features limestone masonry beltcourse accents. The chamfered portion of the north elevation along West Seventh Street, and the north and south recessed sections of the east elevation along Webster Street are each ornamented with five, limestone masonry beltcourses. The beltcourses on the chamfer extend the entire length of this section. These elevations are also topped by a brick parapet wall with limestone cap. There are remnants of contemporary flashing and piping anchors associated with the site's ethanol production attached to north, south, and east elevations. The brick

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masonry on the north elevation is painted with an advertisement for the brewery that was added between 1960 and 1979. There is also contemporary graffiti towards the building's foundation.

The south elevation is divided in to seven bays by seven brick pilasters; the capitols of the pilasters have been removed. The west elevation is divided in to six bays by seven brick pilasters topped by angled, rowlock brick capitols. The simple, strip pilasters begin at the building's foundation and do not extend its full height. These portions of the building also feature brick parapet walls topped by terra cotta caps. The majority of the west elevation, that faces Toronto Street, is also covered with a contemporary mural that dates to the late twentieth or earlier twenty-first century.

Overall, the brick and limestone masonry appears to be in fair condition. There are portions where there is severe damage to the brick masonry including missing bricks and mortar due to the addition of contemporary piping, flashing, structural beams and in general, the exterior reflects the years of neglect. There is some discoloration on both the limestone and brick. The majority of the mortar joints are in good condition.

Proposed: Existing exposed exterior brick and limestone masonry will be restored and cleaned in its entirety. All of the non-historic existing piping anchors and flashing associated with the site's ethanol production that is attached to the masonry on the exterior elevations will be removed. Existing holes in the masonry wall that measure less than four inches in dimension will be patched and repaired with replacement mortar. Where holes measure greater than four inches, the holes will be patched with replacement masonry infill. All replacement mortar and masonry will match the historic in size, shape, color, texture, and profile.

On the southern corner of the east elevation, the damaged brick and stone cap will be restored to match the historic configuration using materials that match the historic in size, shape color, texture, and profile. The portion of the damaged north elevation near the roof parapet will also be restored to its historic configuration using materials to match the historic brick and terra cotta tile cap.

Although the Schmidt advertisement was painted on the north elevation outside the historic district's period of significance, it is currently proposed to remain in place. The west and south elevations will be re-painted in one color that will be historically appropriate and compatible to the character of the rest of the building.

A new sign will be attached to the west elevation of the Keg House. The new sign will be compatible to the character of both the building and historic district based on the *Historic District Design Guidelines*. Its design and materials will be appropriate and compatible to the existing site. The method of attachment will respect the historic fabric and will attach to the physical elevation as little as structurally possible.

The exterior masonry of the building will be cleaned after all of the restoration, repointing, and opening modifications are completed using the gentlest means possible. In accordance with the *Standards for Rehabilitation* and *Historic District Design Guidelines*, low water pressure under 300 psi will be used to clean the brick and limestone masonry. Also, testing will be done to insure no damage is done to the historic masonry.

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The following references will also be used:

Preservation Brief #1: Assessing Cleaning and Water-Repellent Treatments in Historic Masonry Buildings.

Preservation Brief #2: Re-pointing Mortar Joints in Historic Masonry Buildings.

4. Window, doors, and other openings (1921, 1937, late 20th c.)(photos: 1,2, 10-34)(drawings 7-11):

Existing: On the seven-bay north elevation, there are two entries: a single-leaf door on the eastern portion of the elevation and a garage bay opening to the west; both are currently obscured by plywood. These openings were added in the later twentieth century. The five historic window openings on the longer portion of this elevation have been infilled with brick masonry and are covered by the "Jacob Schmidt Brewing Co." sign, added between 1960 and 1979. The window openings are supported by slip, stone sills and supported by soldier brick lintels. There are two window openings on this elevation's chamfered corner that runs parallel to West Seventh Street. These openings have been infilled with concrete blocks and parged with stucco. The north elevation, which is potentially part of the garage that was built in 1921, most likely featured windows with conventional divided light.

The six-bay, east elevation along Webster Street includes four window openings and three large entry bays, two of which are paired. All but one of the openings has been infilled with concrete block. There are remnants of the windows that once filled the windows on the north opening. The third bay is stepped out and features two large, paired openings that extend to the graded level. Below the windows on the north and south portions of this elevation are openings that were used to transfer kegs from the interior of the building to carts or trucks.

The seven-bay, south elevation along West James Avenue historically features seven, square window openings supported by slip, stone sills and supported by soldier brick lintels. Four of the openings have been entirely infilled with concrete block; two have been left open. The central window was previously demolished to create a large opening most likely for the ethanol operation; only the soldier-brick lintel remains. Historic photos show industrial windows in the openings on this elevation.

The six-bay west elevation along Toronto Street once featured five, square window openings supported by slip, stone sills and supported by soldier brick lintels; all of the opening have been infilled with concrete block.

Proposed: All historic windows have been removed, greatly altered, or are severely deteriorated. Almost all window openings will be restored to their historic sizes and hold new windows. New doors at openings will be provided on some elevations. All existing doors have been removed or covered with contemporary plywood.

The existing door openings on the north elevation will be retained. The non-historic, single-bay garage door on the western portion of the façade will be removed and replaced with a double-leaf metal and glass entrance door with sidelights and transom. The entry will be accessed by three steps and an ADA

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accessible ramp. The single-leaf opening on the eastern portion of the façade will function as a secondary entrance. The existing opening is enclosed by a temporary plywood door and will be replaced by a contemporary glass and metal door. This entrance will also be accessed by three steps and a flat concrete sidewalk that parallels the elevation.

The two window openings that are located on the northwest chamfer of the building will be restored. The stucco infill will be removed to expose the historic openings. New multi-light, fixed industrial metal windows with insulated glass will be added to the historic openings.

On the east elevation, all door and window openings will be retained and restored to their original shape and size. This includes the removal of all stucco and added contemporary steel supports. The large, paired bays will be opened up and replaced with two, recessed, single-leaf entry doors surrounded by metal windows, reflecting the design of the historic train doors that have since been demolished. The multi-light, fixed industrial metal windows on either side of the door will be flush with the exterior elevation. Combined, the replacement windows and doors will maintain the character of the historic openings while providing access into the interior of the market from Webster Street. The opening on the second bay from the north will be restored to its original shape and size. This masonry and mortar will match the historic, like the rest of the proposed replacements throughout the building. The five window openings will feature multi-light, fixed industrial metal windows that hold insulated glass.

The four small historic doors used to move kegs from the interior of the building will be restored. The three that have been infilled with stucco will be opened up. The northernmost one that existed beneath the altered window will be restored. All of the openings will be replaced in kind with vertical wood plank doors with metal frames to match the historic doors. The non-historic opening closest to the building's north elevation will be infilled with brick and concrete to match the rest of the elevation.

On the south elevation, all of the contemporary concrete block infill in the existing openings will be removed to restore the historic fenestration. The openings will be replaced with multi-light, fixed industrial metal windows that hold insulated glass, typical of the rest of the building. The center opening, which has already been extended to the ground, will be configured to hold another entrance. The single-leaf metal entry door will be situation on the west side of the bay and framed by multi-light, fixed industrial metal windows.

On the west elevation, all of the contemporary concrete block infill in the existing openings will be removed to restore the historic fenestration. The openings will be replaced with multi-light, fixed industrial metal windows that hold insulated glass. A new opening will be in the third bay from the north to hold a new entry for the market. The opening will be much smaller in scale than the existing windows and will hold two, single-leaf metal doors with sidelights that hold insulated glass. This entrance is adjacent to the raised concrete deck that is accessed by the ramp and stairs south of the plaza.

All replacement doors and windows will maintain the historic visual rhythm, balance, and overall industrial character of the building. They will feature configurations and materials that are compatible to the historic building and greater historic district following the *Historic District Design Guidelines*.

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The following references will also be used:

Interpreting the Standards #14: New Openings in Secondary Elevations or Introducing New Windows in Blank Walls.

5. Roof (1921, 1937, c.1960)(photos: 1-2, 11, 36-40) (drawings 6-11):

Existing: The Keg House is capped by a mostly flat, asphalt-sheathed roof. Portions slope towards drainage receptacles in the center of the roof. Sections of the roof are severely deteriorated, exposing the interior of the building to natural elements. The roof is framed by a parapet wall on all sides. The parapet walls on the majority of the elevations are capped by clay tiles; the east elevation and northwest elevations are capped by limestone. Miscellaneous contemporary mechanical equipment and ductwork are scattered throughout the roof and a small rooftop shed along the Webster Street elevation. Currently, the roof is accessed by roof hatch on the northern portion of the building, reached by a steep and narrow, contemporary stair on the interior of the building.

On the roof, there are also the remnants of an elevated steel structure and piping that were once connected to the Main Brewing Complex. This partially demolished structure was constructed sometime during the 1950s or 1960s.

There are two large, light monitors that historically extended the width of the structure which provide natural light to the interior of the building. The northern monitor was previously altered and no longer extends the full width of the roof. The monitors are comprised of painted, horizontal wood boards and square, single-light windows that are framed with squared, wood surrounds. The monitors are capped by gently sloping, gabled roofs. There is some apparent damage and deterioration to these light features, mostly from years of neglect and weather exposure.

Proposed: The majority of modifications on the roof will update the overall roof system to meet code and energy standards. The roof membrane and insulation will be removed and replaced by a new insulated membrane and roof system that meets contemporary energy efficiency standards. The historic roof decking will be retained and repaired as needed. As per the *Historic District Design Guidelines* any alterations to the existing system will maintain the overall roof type, slope, and configuration. All miscellaneous contemporary duct work, conduit, abandoned support equipment, and light fixtures will be removed. The small rooftop shed along the Webster Street elevation will be restored.

The steel frame structure on the northern portion of the roof will be retained and repaired as needed. This structure will be used to support new signage for the market. The *Keg & Case Market* signage will be located on the north side of the structure. Like all new signage, it will be compatible to the industrial character of the existing building and surround Jacob Schmidt Historic District. The new sign will complement the historic design and materials of the Keg House. The method of attachment will respect the historic fabric and will attach to the steel frame as little as structurally possible.

The two wood and glass light monitors on the roof of the building will be retained in their entirety. The clerestory windows show some signs of deterioration and will be repaired as needed.

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6. Non-contributing Structures (2000)(photos: 22-28)(drawings 1):

Existing: To the south of the Keg House are two non-contributing structures that were added to the site in 2000 to assist in the production of ethanol. The first is a monolithic, circular concrete structure with two punched openings. It is all that remains of a silo built for the ethanol plant. The second structure, to the west of the silo foundation, is a rectangular, concrete enclosure that was built to house the ethanol tank, which has been removed.

Proposed: The remnants of the non-contributing, contemporary concrete structures associated with the site's ethanol production will be removed. They do not have any historic significance related to the Keg House or the Jacob Schmidt Historic District.

Interior:

7. Interior Floor Plan (1921 & 1937)(photos: 41-44, 50-59, 63-65, 68, 72-73)(1-6 & 11):

Existing: The interior plan of the building retains its historic industrial character. The open, free-span plan is punctuated by the existing steel structure. The structure divides the interior plan into roughly, three spaces. There are two, non-original, concrete block walls that have been added to enclose a portion of the northwest corner of the building. These walls do not extend the full height of the space and were most likely added sometime in the later portion of the twentieth century.

There is a narrow, metal stair along the north wall that extends the full height of the space to provide access to the roof. There is also a narrow, enclosed stair perpendicular to the west wall that provides access to a small basement space. The unfinished, dirt floor space once connected to the tunnels under the rest of the brewing complex; but they have since been abandoned.

Proposed: The interior of the Keg House will be adapted to function as the *Keg & Case Market*. The space will be used to house moveable vendor booths, a bar/restaurant space, and additional tenant spaces. The restaurant space will be located in the northern portion of the Keg House, oriented along the east-west axis of the space. Restrooms and a small mechanical/utility storage space will be added to the west of the restaurant space. An elevator shaft will also be added adjacent the restaurant to provide access to the upper level of the market. The exact design of the space will be determined once the market has the commitment of a future tenant.

The 1937 portion of the building will remain open and house the moveable vendor stalls. This space is accessed from two primary entrances, on the east and west sides of the space. The two entrances are on axis with each other. Both entrances feature two planes of doors that help to provide both security and temperature control. The entrance on the east elevation along Webster Street is recessed and a set of stairs provides access to the ground floor of the market space. The west elevation is accessed by both a ramp and stairs adjacent to the plaza. This entrance is on grade to the existing concrete slab floor level.

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The small basement space and vacated tunnel will be retained and preserved in place. The enclosed stair will include a new wall at the perimeter of the existing stair. The stair will be accessed from a single-leaf door on the south side of the stair well.

A mezzanine will be added along the interior of the Keg House. The mezzanine will be recessed from all exterior walls no less than five feet on all sides; at some points it will be recessed more and open to the space below. These spaces can be used as exhibition spaces. The intended use of the mezzanine is limited to dining, seating, and open stall vendors. The future configuration of this space will not use permanent partitions. In order to preserve the building's interior character, the mezzanine's design will resemble a light, reversible structure, comprised of materials appropriate to the historic industrial use of the building. The mezzanine will be compatible to the scale, design and overall character of the space.

Although the proposed mezzanine wraps around the entire perimeter of the 1937 portion of the Keg House, the majority of the space will remain a double-height space, and retain the building's interior volume and utilitarian character. Due to the minimum five foot setback of the mezzanine, it will not be seen from the exterior. The new construction will intervene very little with the historic fabric. In accordance with the *Standards for Rehabilitation* and *Historic District Design Guidelines*, the overall historic character of the interior of the building will be retained.

8. Structural System (1921 & 1937)(photos: 41-44, 46-48, 55-73) (drawings 2-5 & 11):

Existing: The interior of the Keg House is characterized by an open volume, punctuated by an original exposed steel structural system. This feature largely attributes to the building's industrial character. The structure visually separates the open space into three north-south sections. The northernmost section, that was once the garage, is approximately forty-five feet wide. The other two bays are approximately 67.5 feet long. The east-west component of the structure divides the space into seven bays. Each vertical member is approximately twenty feet apart. Some are supported by additional horizontal beams.

The building features various steel truss systems that reflect the two different construction periods of the building. The first, in the northern portion of the historic garage, is a flat Pratt truss system that supports the wood roof. The wood roof is spaced closely together and supported additionally with wood cross-bracing. The 1937 addition to the garage features a larger, flat Warren truss system. This also supports wood roof decking, but it is spaced much wider than the older section. This portion of the structural system also supports the two light monitors that puncture the roof. Most of the original structural system is in good condition.

Proposed: All of the existing structural system will be retained; this includes both the two different portions of the steel structure and the wood roof decking. In order to maintain the industrial character of the space, the steel trusses, beams, columns, and wood roof decking will remain exposed. The structure will be cleaned and repaired as needed. If upon further investigation portions of the structure are compromised, they will be replaced in kind.

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9. Interior finishes and treatments (1921, 1937, late 20th c.)(photos: 41-73)(2-5 & 11):

Existing: Typical of a large industrial warehouse space, there are very few interior finishes and treatments. Utilitarian in treatment, the interior features includes exposed brick masonry walls and steel structure. The building's floor is comprised of unfinished, poured concrete. The concrete is in varying conditions, some is severely deteriorated. Several portions of the interior walls have been covered up with contemporary wall boards. Also, several of the elevations feature contemporary graffiti. There is one utilitarian, metal stair, located in the northern section of the building that leads to the building's roof.

Proposed: The concrete slab floor will remain exposed. All existing contemporary wall boards, framing, and insulation that cover the historic walls will be removed to expose the historic brick on all interior elevations. The historic steel structure will remain exposed. The building will retain its utilitarian character. In following both the *Standards for Rehabilitation* and the *Historic District Design Guidelines*, all added interior finishes and treatments will retain the overall industrial character of the building. New interior treatments will be of appropriate design and materials to maintain the historic, utilitarian nature of the building. If additional historic interior finishes and treatments are uncovered they will be retained.

10. Electrical fixtures and systems (1921, 1937, late 20th c.)(photos: 41-73):

Existing: The existing electric system is severely deteriorated and in poor condition. There are no remaining historic light fixtures. The majority of the existing light fixtures were installed in the later portion of the twentieth century.

Proposed: The existing electrical system will be removed and replaced with a new system. No historic fixtures have been identified in the building, so the majority of existing interior light fixtures will be removed and replaced. In accordance with the *Historic District Design Guidelines*, the new electrical system will cause the least amount of alteration to the building's floor plan, exterior elevations, and historic building material as possible. The new fixtures will be compatible to the industrial character of the building.

11. HVAC and plumbing (1921, 1937, late 20th c.)(photos: 41-73):

Existing: The existing HVAC and plumbing systems have been abandoned. They are both in very poor condition.

Proposed: The existing HVAC and plumbing systems will be removed and replaced with new systems. In accordance with the *Historic District Design Guidelines*, the new electrical system will cause the least amount of alteration to the building's floor plan, exterior elevations, and historic building material as possible.

Photograph List: Jacob Schmidt Brewing Company Keg House

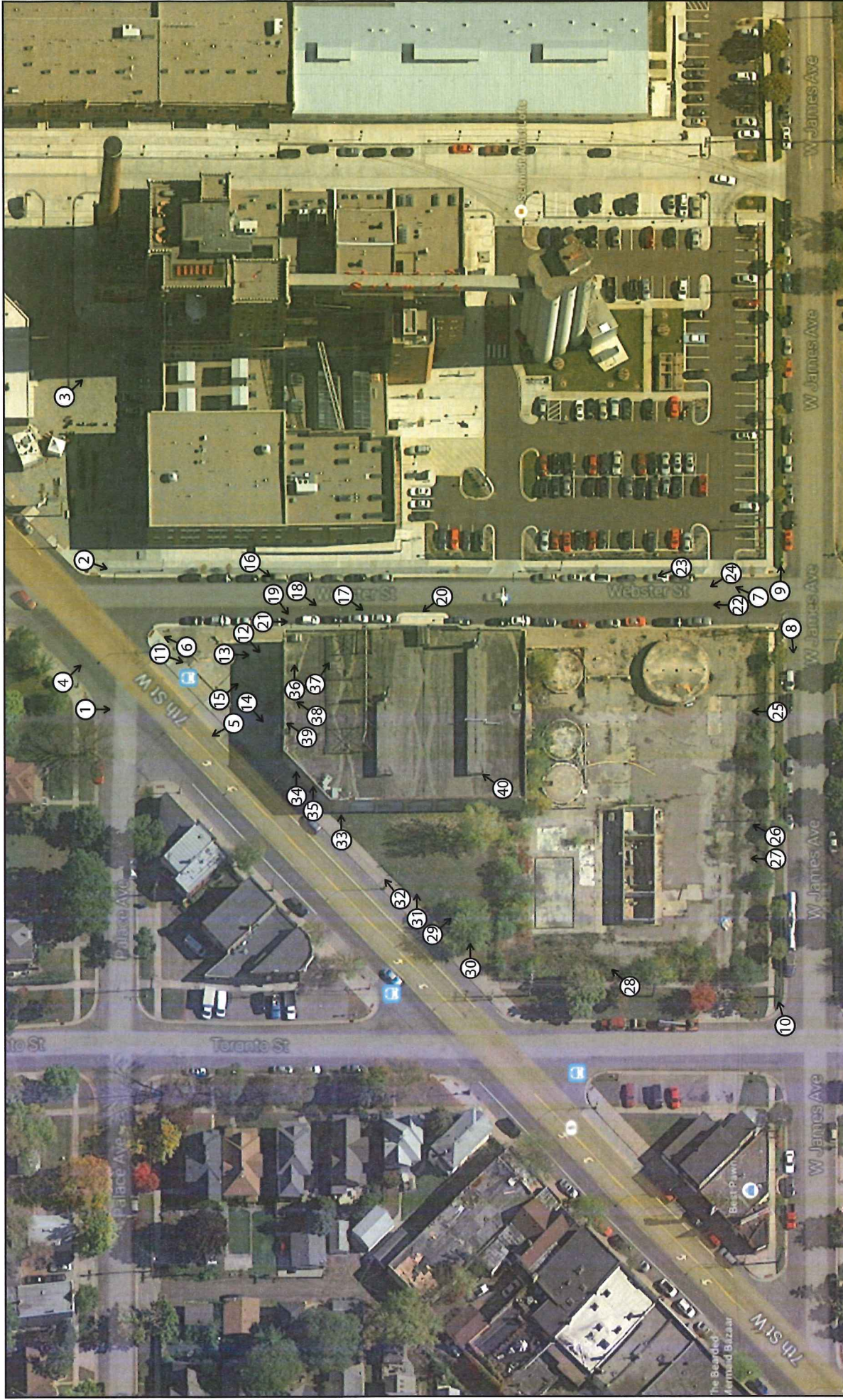
Exterior:

1. Exterior: North elevation, looking S
2. Exterior: North and east elevations, looking SW
3. Exterior: Main brewing complex, looking SE
4. Exterior: Main brewing complex, looking SE
5. Exterior: Residential and commercial buildings across West 7th Street, looking NW
6. Exterior: West Seventh Street and Webster Street, looking NE
7. Exterior: Main brewing complex, looking NE
8. Exterior: West James Street, looking W
9. Exterior: West James Street, looking E
10. Exterior: South elevation and main brewing complex, looking NE
11. Exterior: North elevation, looking SW
12. Exterior: North elevation, looking SW
13. Exterior: North elevation detail, looking S
14. Exterior: North elevation and West Seventh Street, looking SW
15. Exterior: North elevation and main brewing complex, SE
16. Exterior: East elevation, looking SW
17. Exterior: East elevation, looking SW
18. Exterior: East elevation, looking SW
19. Exterior: East and north elevations, corner detail, looking SW
20. Exterior: East elevation, brick and parapet detail, looking NW
21. Exterior: East elevation and Webster Street, looking S
22. Exterior: South and east elevation, main brewing complex, and Webster Street, looking N
23. Exterior: South and east elevation, looking NW
24. Exterior: South and east elevation, silo foundation, looking NW
25. Exterior: South elevation, looking N
26. Exterior: South elevation and tank enclosure, main brewing complex in background, looking NE
27. Exterior: Ethanol tank enclosure and south elevation, looking N
28. Exterior: West and south elevations, main brewing complex in background, looking NE
29. Exterior: West elevation, looking SE
30. Exterior: West elevation, looking E
31. Exterior: West elevation, looking E
32. Exterior: West elevation, looking NE
33. Exterior: West elevation, detail, looking NE
34. Exterior: North elevation, brick and limestone masonry detail, looking E
35. Exterior: North elevation, foundation detail, looking E
36. Exterior: Roof parapets of north and east elevations and main brewing complex, looking E
37. Exterior: Machinery remnants on roof, looking SE
38. Exterior: Detail of roof parapet on north elevation, looking NE
39. Exterior: Roof parapet on north elevation, West Seventh Street towards downtown, looking NE
40. Exterior: Wood and glass monitor skylight, looking NE

Interior:

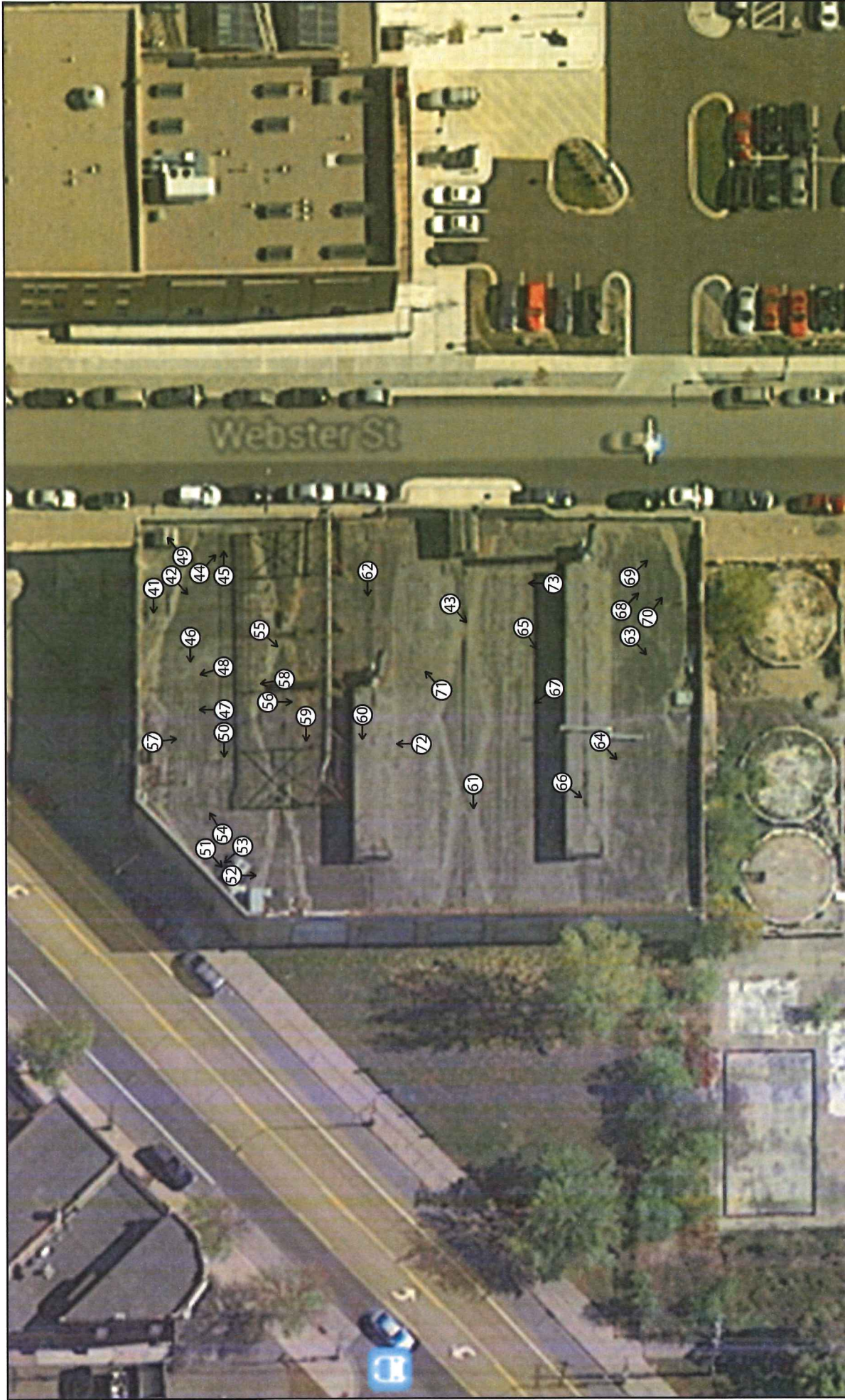
41. Interior: Garage portion, concrete block partitions in background, looking W
42. Interior: Floor plan and structural systems, looking SW
43. Interior: South and west walls, steel structure, looking SW

44. Interior: East wall and large opening, looking, SE
45. Interior: Large opening on the east wall, main brewing complex in the background, looking E
46. Interior: Roof detail and modern mechanical equipment, garage portion, looking W
47. Interior: Wood roof detail, garage portion, looking N
48. Interior: Wood roof detail showing cross-bracing, garage portion, looking NW
49. Interior: Deteriorated window detail, northeast corner, looking NE
50. Interior: Contemporary concrete block partition, NW corner, looking W
51. Interior: Inside concrete block partitions, looking SW
52. Interior: Inside concrete block partitions, looking S
53. Interior: Inside concrete block partitions, mechanical equipment and ceiling detail, looking NW
54. Interior: Inside concrete block partitions, looking at north wall, looking NE
55. Interior: Open floor plan, steel structure, looking SW
56. Interior: Openings on south wall, looking S
57. Interior: Three bays of interior, from utility ladder, looking, SE
58. Interior: Steel structure, north wall and concrete block partitions, looking NW
59. Interior: Concrete block partitions and west wall, looking W
60. Interior: Light monitor and roof structure, looking W
61. Interior: West wall, looking W
62. Interior: Partially enclosed light monitor and roof structure detail, looking W
63. Interior: Openings on south wall, looking SW
64. Interior: South and west walls, looking SW
65. Interior: South and west walls, roof structure and light monitor, looking SW
66. Interior: Detail of light monitor and steel roof structure, looking SW
67. Interior: Detail of steel structure, looking NW
68. Interior: South and east wall, looking SE
69. Interior: South and east wall, detail of structure, looking SE
70. Interior: Corner of south wall, detail of masonry and infilled windows, looking SW
71. Interior: East wall, looking NE
72. Interior: North wall from center of building, looking N
73. Interior: North and east wall, looking N



EXTERIOR PHOTO KEY - PART 2 Jacob Schmidt Brewing Company Keg House 928 West Seventh Street Saint Paul, MN

Image Courtesy of Google, Inc.
 Prepared by EHT Traceries 2014
 Diagram is not to scale



INTERIOR PHOTO KEY - PART 2

Jacob Schmidt Brewing Company Keg House
 928 West Seventh Street
 Saint Paul, MN

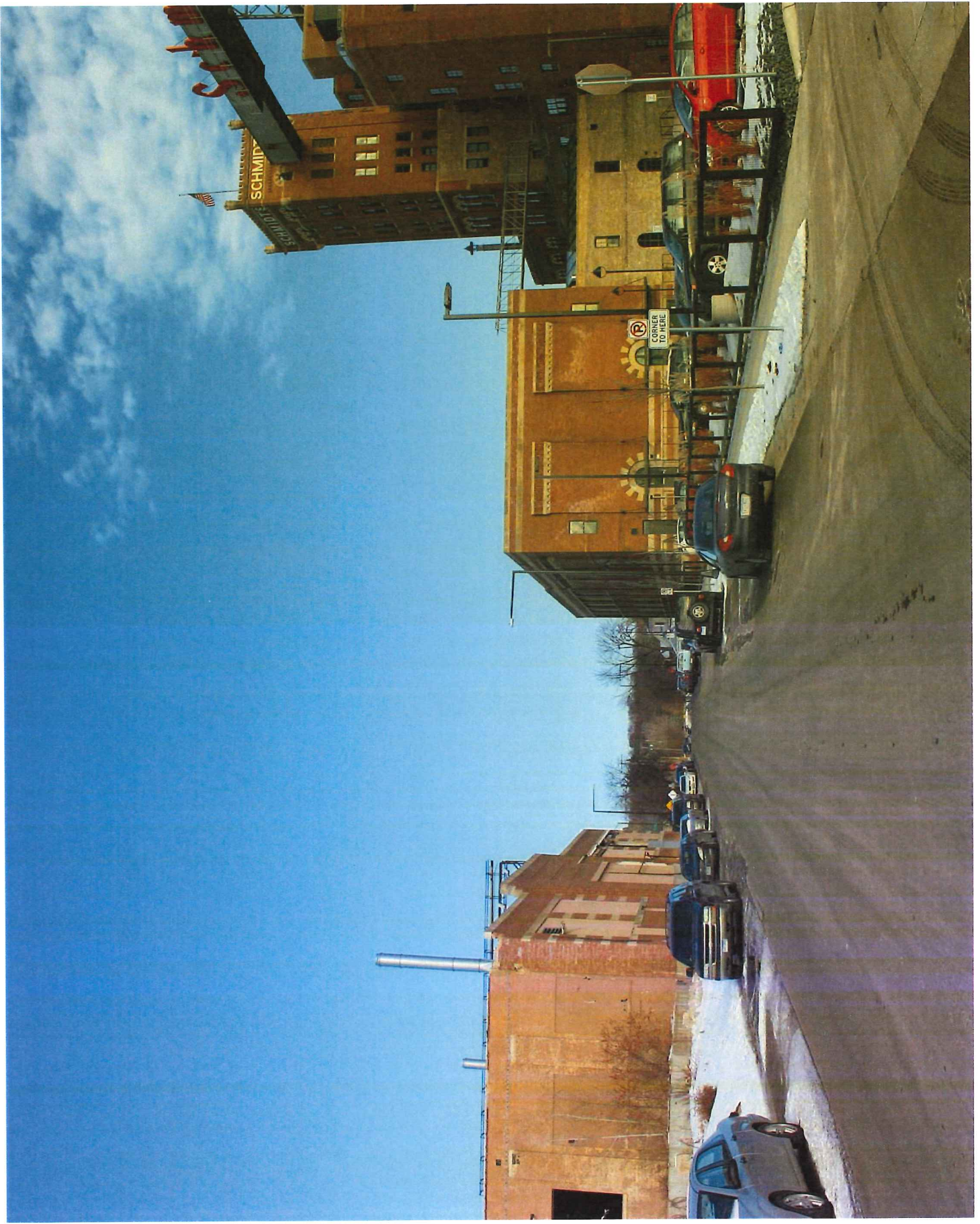


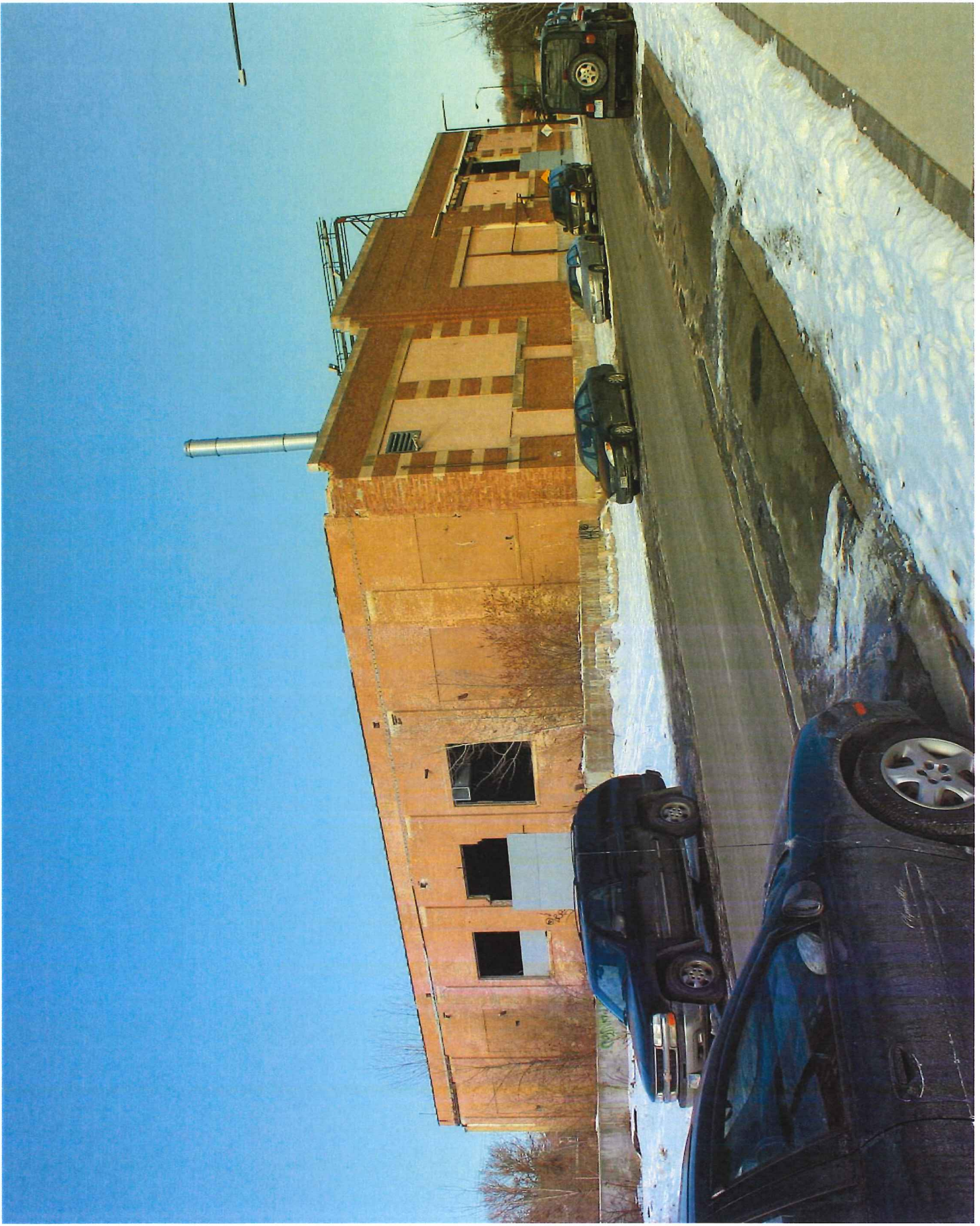
Image Courtesy of Google, Inc.
 Prepared by EHT Tracerics 2014
 Diagram is not to scale









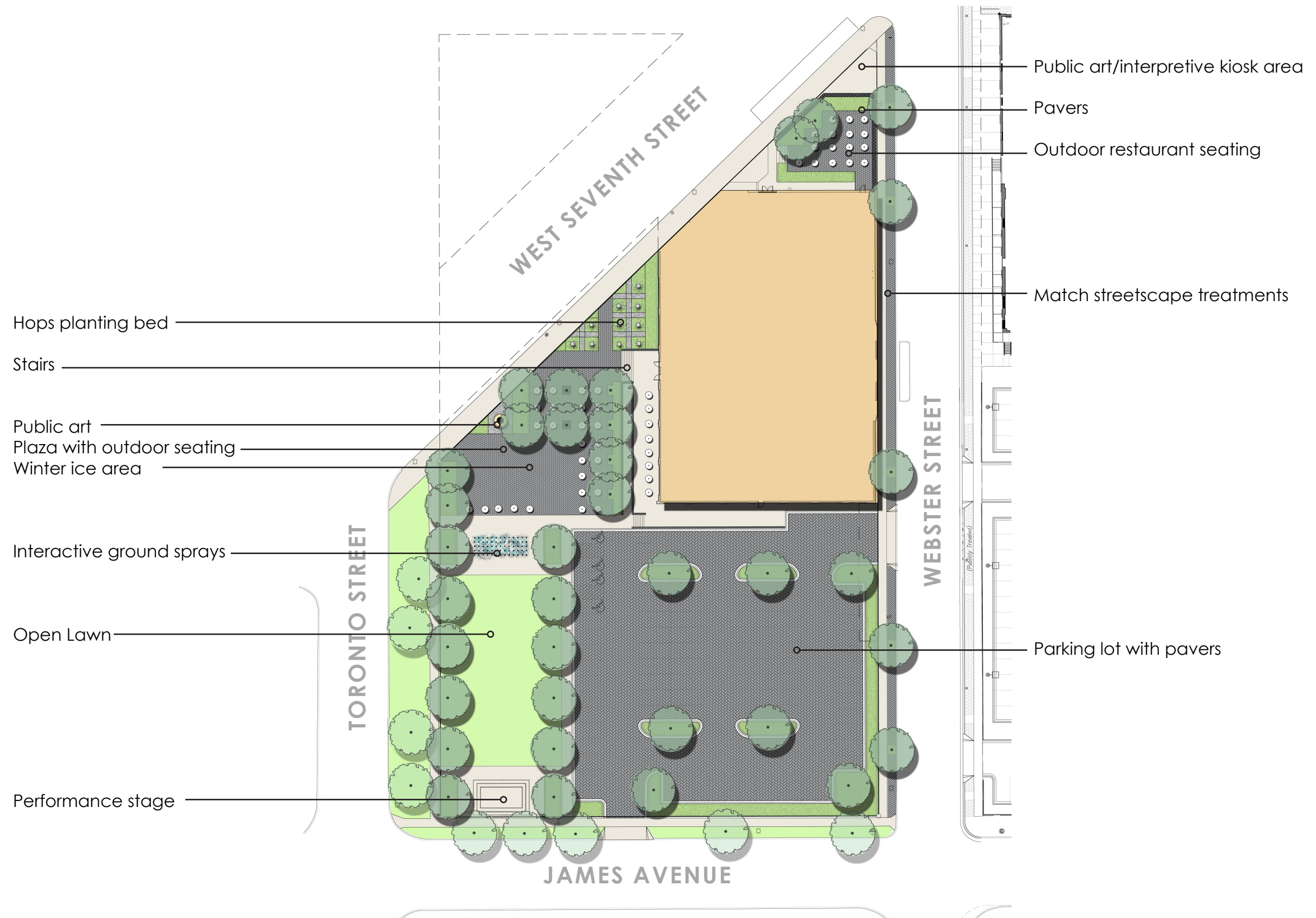




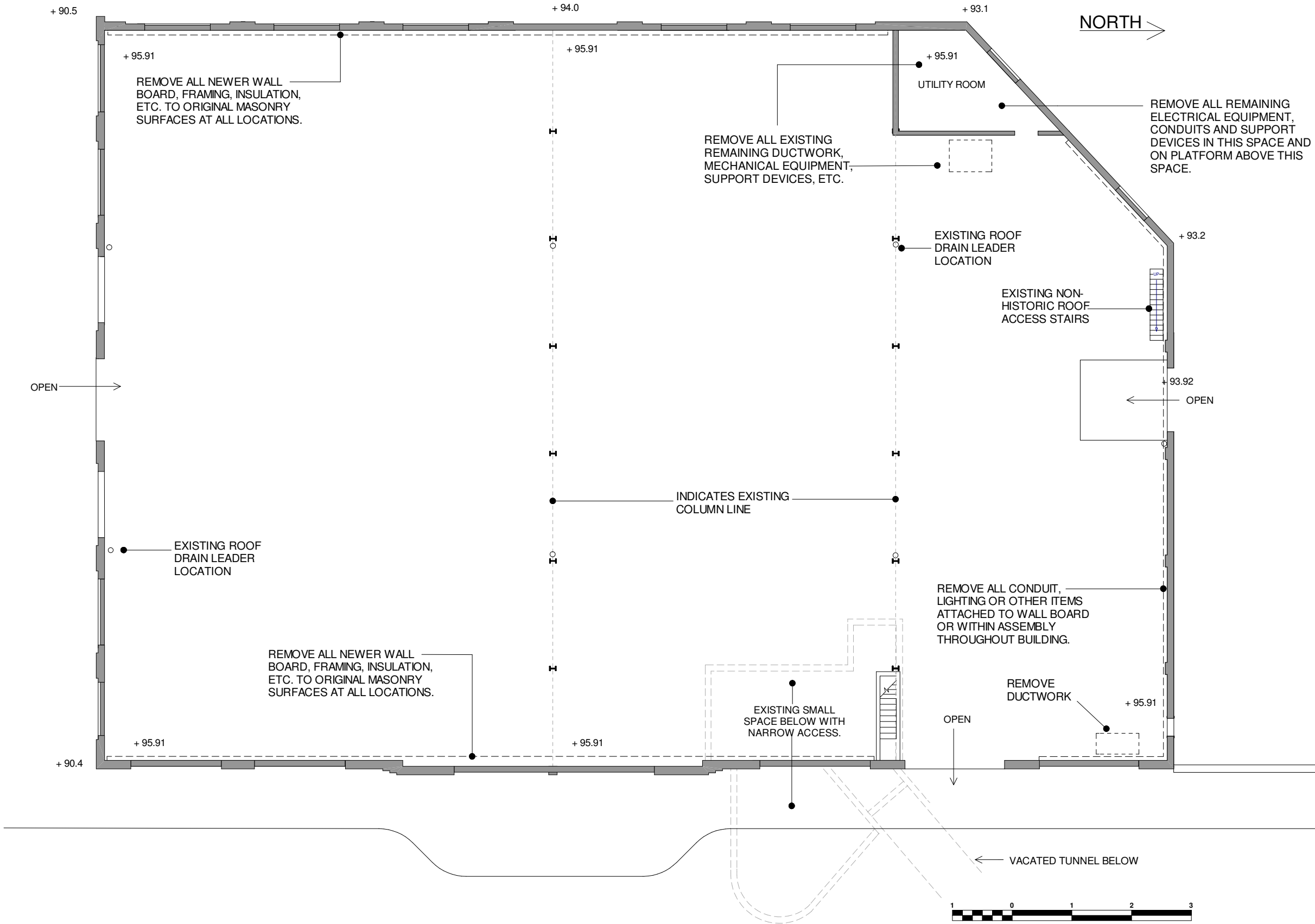






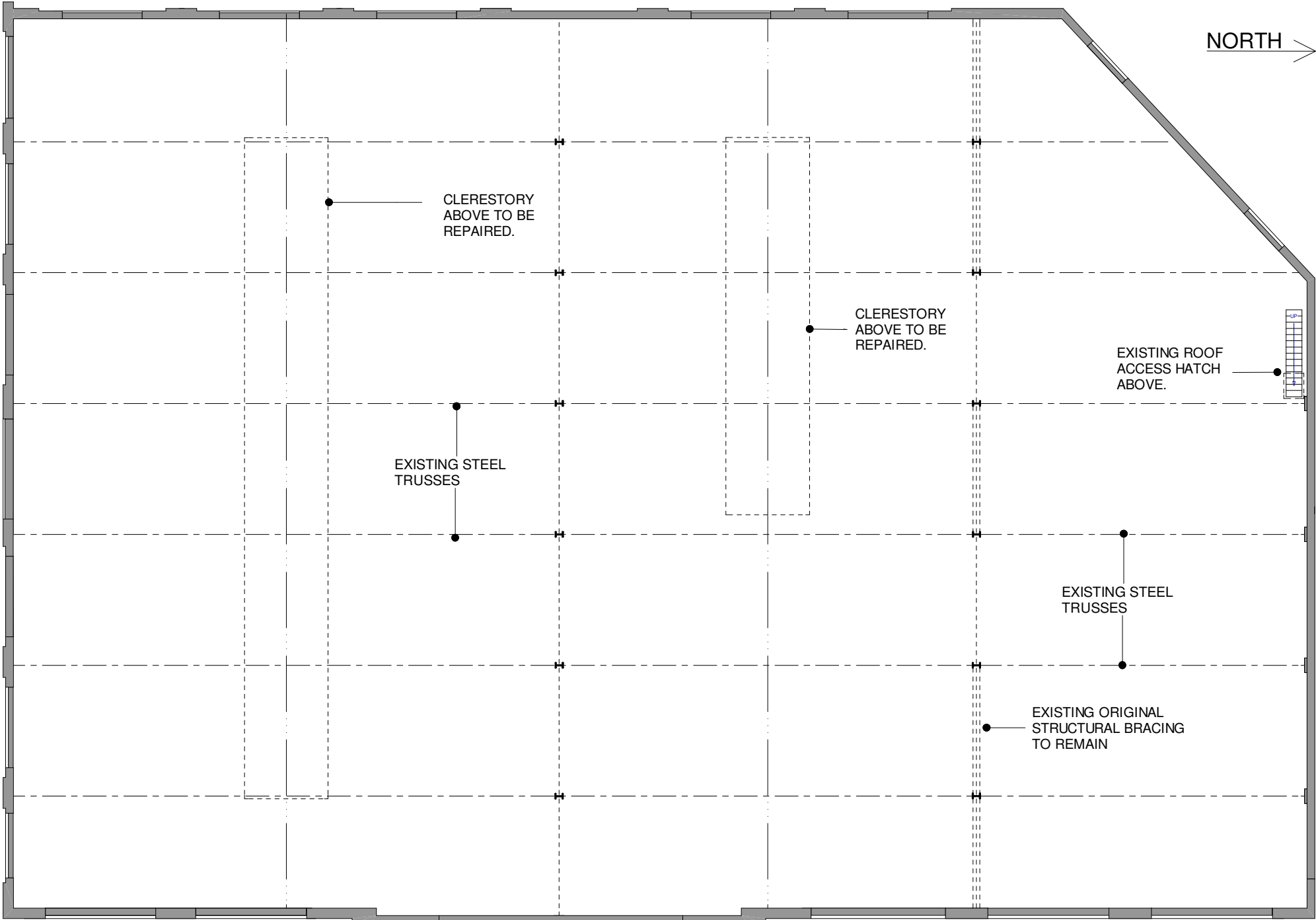


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REVISIONS:	05 - 08 - 2015

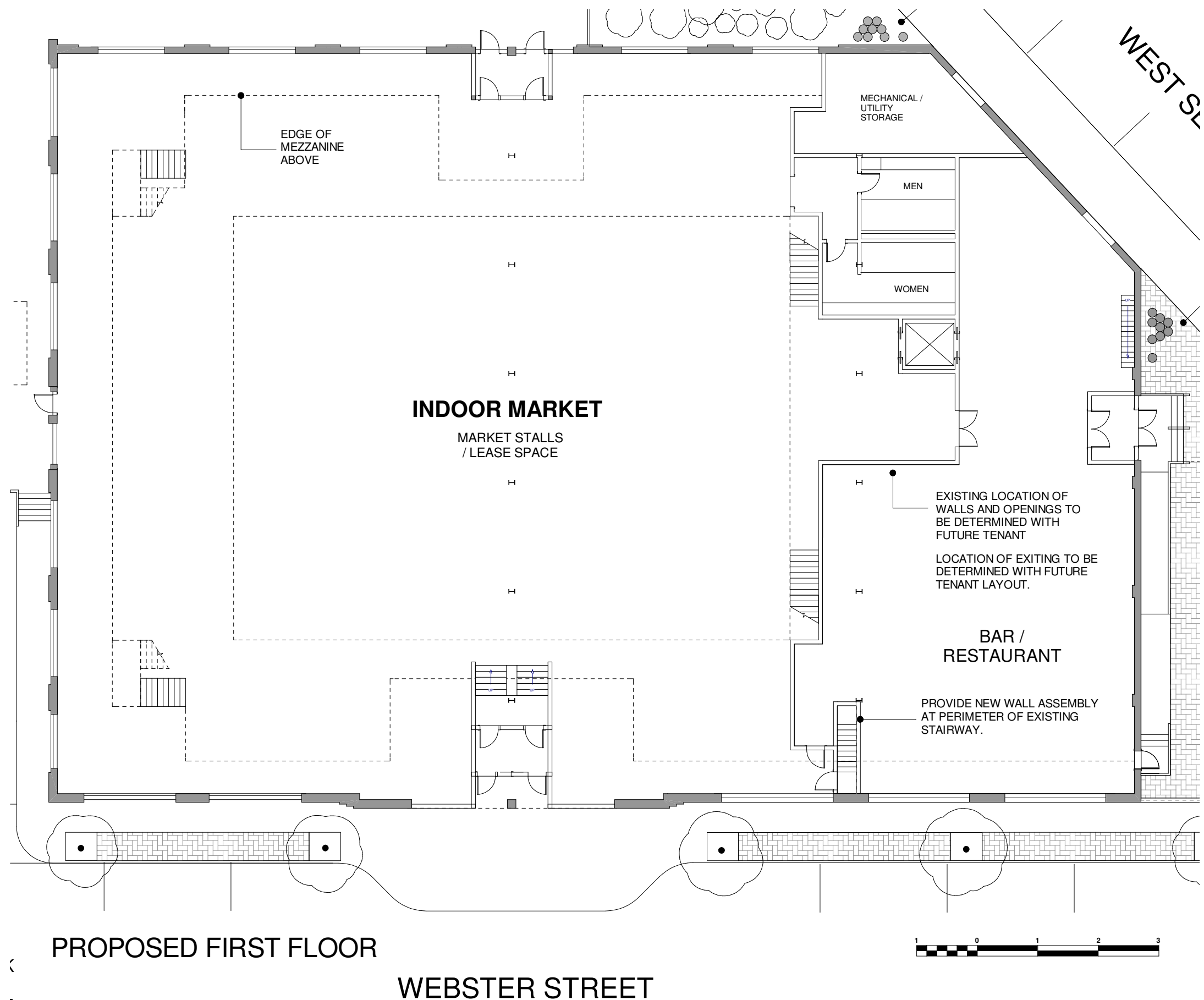


EXISTING FLOOR PLAN

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EXISTING TRUSS / CEILING PLAN

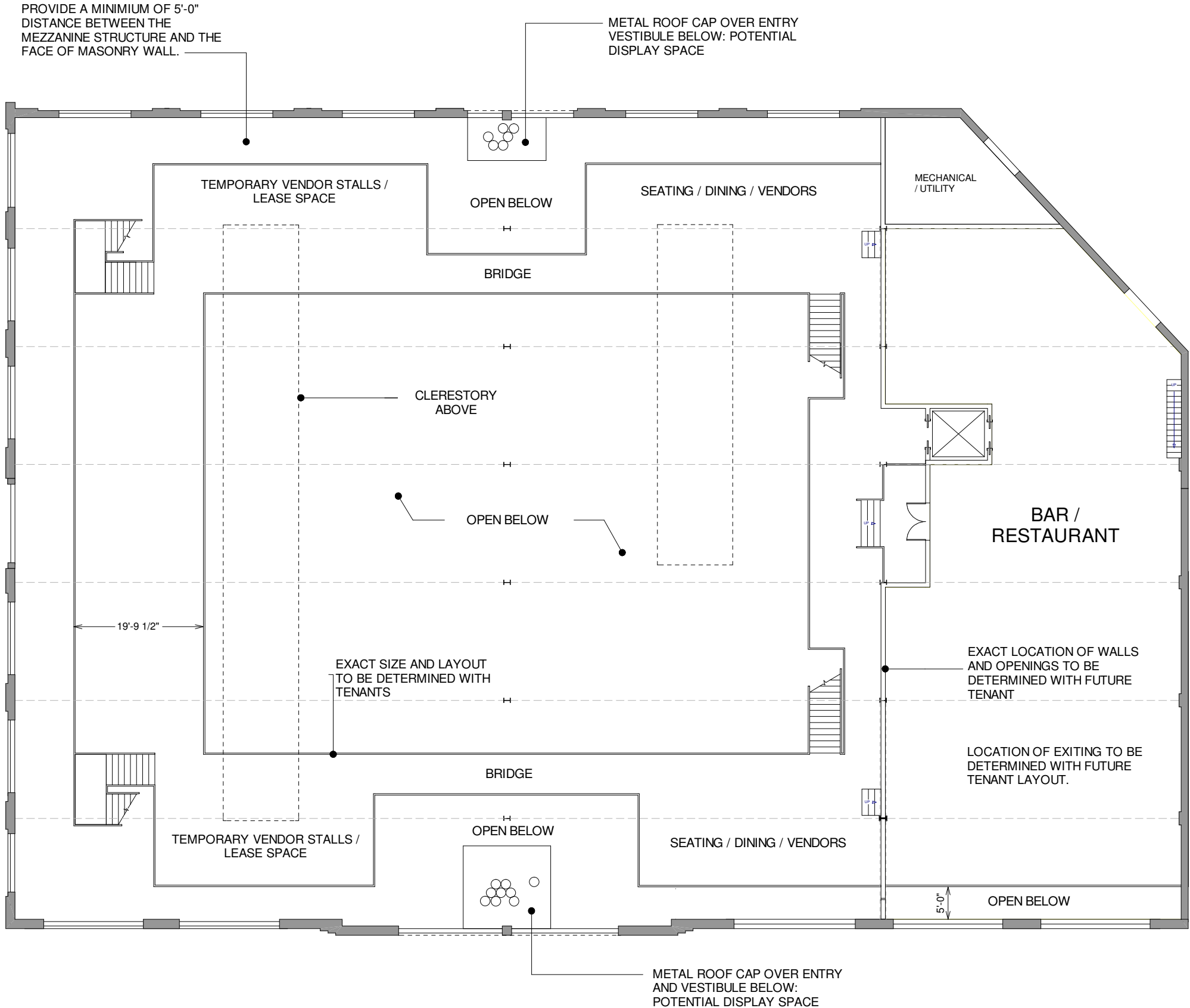


PROPOSED FIRST FLOOR

WEBSTER STREET

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PROPOSED UPPER LEVEL / MEZZANINE

DATE:	05 - 02 - 2015
PROJECT NUMBER:	
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CHECKED BY:	
REVISIONS:	05 - 08 - 2015

PROVIDE NEW TILE CAP
 AT AREAS WHERE
 MISSING OR DAMAGED.

REMOVE EXISTING
 MECHANICAL EQUIPMENT

CLERESTORY TO
 BE REPAIRED.

EXISTING ROOF
 RIDGE

EXISTING ROOF
 ACCESS HATCH.

INDICATES SLOPED
 ROOF INSULATION

PROVIDE NEW
 TILE CAP AT
 AREAS WHERE
 MISSING OR
 DAMAGED.

EXISTING ROOFTOP
 SHED TO BE REPAIRED

GENERAL NOTE:

REMOVE ALL MISC. DUCTING, CONDUITS AND
 UNUSED SUPPORT DEVICES. REMOVE THE
 EXISTING ROOFING AND INSULATION TO
 ORIGINAL WOOD DECK. REPAIR DECK AS
 NEEDED AND PROVIDE NEW MEMBRANE
 ROOFING SYSTEM AND INSULATION TO MEET
 CODE AND ENERGY STANDARDS.

EXISTING ROOF
 RIDGE

EXISTING STEEL FRAME
 STRUCTURE TO BE
 REPAIRED AS NEEDED.

REMOVE EXISTING
 NEWER METAL STACK.

CLERESTORY TO
 BE REPAIRED.

EXISTING ROOF
 RIDGE

INDICATES
 EXISTING ROOF
 DRAIN LOCATION.
 PROVIDE NEW
 MATERIALS..

REMOVE EXISTING
 NEWER METAL STACK.

REMOVE NEWER
 LIGHT FIXTURES

PROVIDE MASONRY REPAIR
 WORK AT TOP OF FRONT ENTRY
 ELEMENT TO STABILIZE ANY
 LOOSE BRICK OR STONE.

REMOVE
 EXISTING
 MECHANICAL
 EQUIPMENT

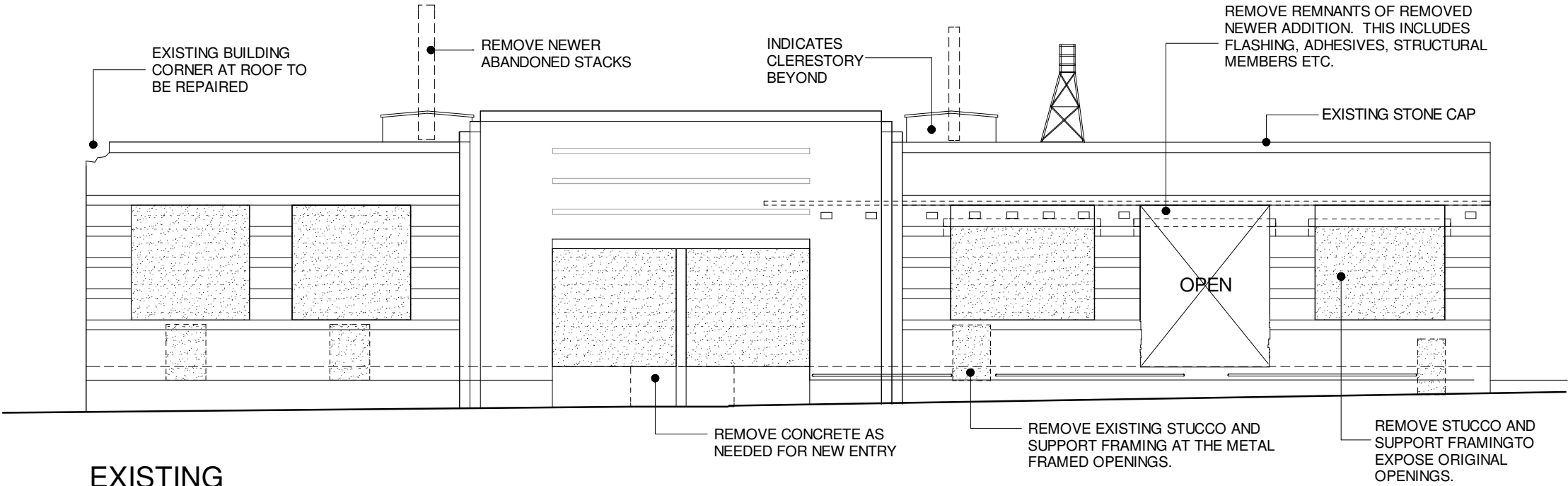
PROVIDE NEW
 STONE CAP AT
 AREAS WHERE
 MISSING OR
 DAMAGED.

PROPOSED ROOF PLAN

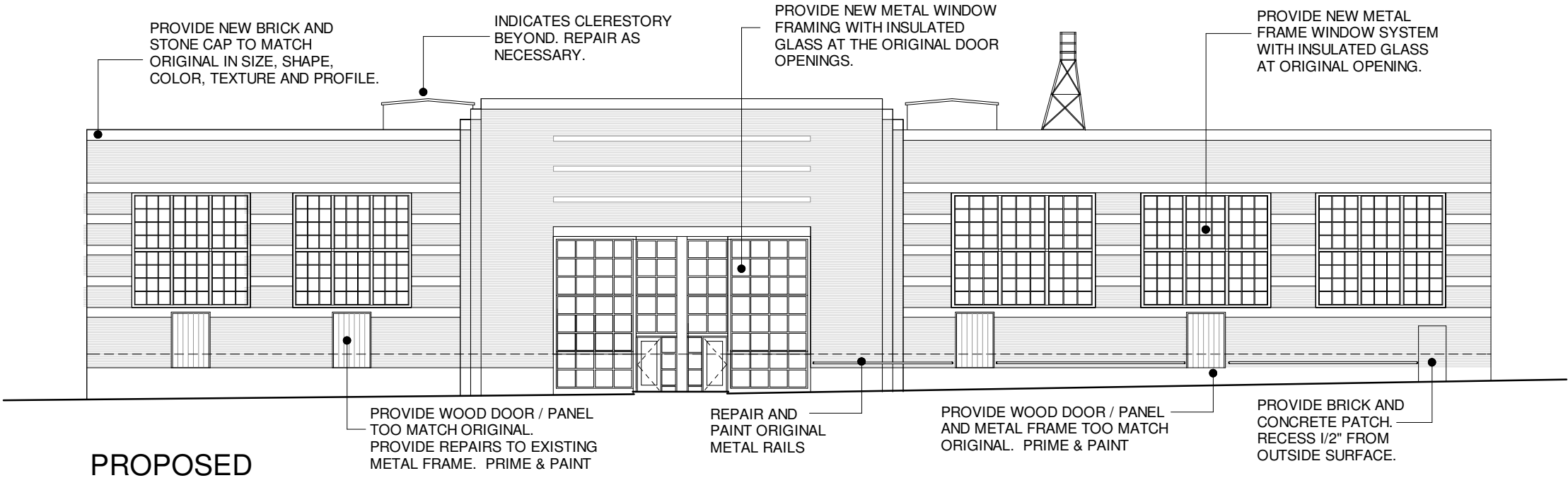
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EXTERIOR ELEVATION
 GENERAL NOTES:

1. WORK TO BE COMPLETED TO MEET SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION AND THE PRESERVATION PROGRAM & DESIGN REVIEW GUIDELINES OF THE JACOB SCHMIDT BREWING COMPANY HISTORIC DISTRICT.
2. PROVIDE NEW DOORS AT OPENINGS WHERE INDICATED. ALL EXISTING DOORS HAVE BEEN REMOVED OR COVERED OVER.
3. REMOVE ALL EXISTING PIPING ANCHORS FASTNERS ETC. REMAINING ON THE EXTERIOR ELEVATIONS FROM PREVIOUS USE AS AN ETHANOL PLANT.
4. MATCH THE EXISTING MORTAR TYPE AND DENSITY IN ALL REPAIR WORK.
5. AT EXISTING HOLES IN MASONRY WALLS LESS THAN 4" IN DIMENSION ARE TO BE PATCHED WITH MORTAR TO MATCH THE EXISTING ADJACENT MORTAR.
6. WHERE HOLES IN MASONRY WALL ARE GREATER THAN 4 INCHES IN DIMENSION BUT LESS THAN 2 SF, PATCH WITH BRICK OF SIMILAR TYPE TO MATCH EXISTING.
7. WHERE BRICK INFILL IS REQUIRED FOR AREAS GREATER THAN 2 SF PROVIDE INFILL WITH BRICK OR STONE THAT MATCHES THE EXISTING MASONRY IN SIZE, SHAPE, COLOR, TEXTURE, AND PROFILE.
8. EXTERIOR OF BUILDING IS TO BE CLEANED AFTER ALL EXTERIOR RESTORATION, REPOINTING, AND OPENING MODIFICATIONS ARE COMPLETED USING THE GENTLEST MEANS POSSIBLE WITH LOW WATER PRESSURE UNDER 300 PSI. TESTING WILL BE DONE TO INSURE NO HARM IS DONE TO HISTORIC MASONRY.
9. THE EXISTING CONCRETE SLAB IN BUILDING IS FROM 1' TO 1'-6" FOOT HIGHER THAN THE VISIBLE CONCRETE FOUNDATION AT THE EXTERIOR. NOTE THE EXISTING INTERIOR FLOOR HEIGHT IS INDICATED WITH THE DASHED LINE ON THE ELEVATIONS.



EXISTING



PROPOSED

EAST ELEVATION

Schmidt Keg House LLC

HISTORIC
 PRESERVATION
 APPLICATION:
 PART- 2

Keg & Case Storage Building: Proposed Adaptive Reuse Project
 Schmidt Brewery Redevelopment
 Saint Paul, Minnesota

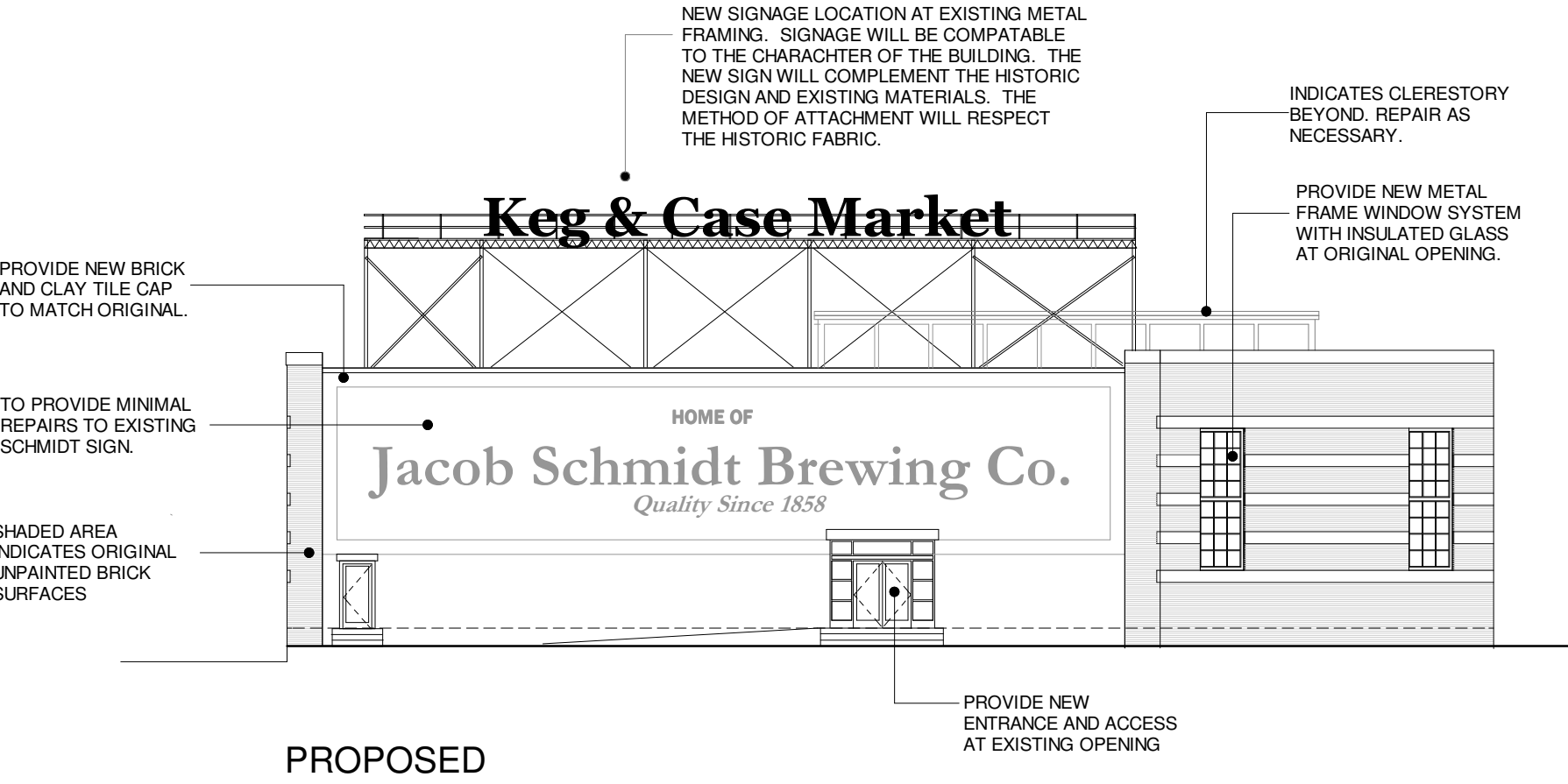
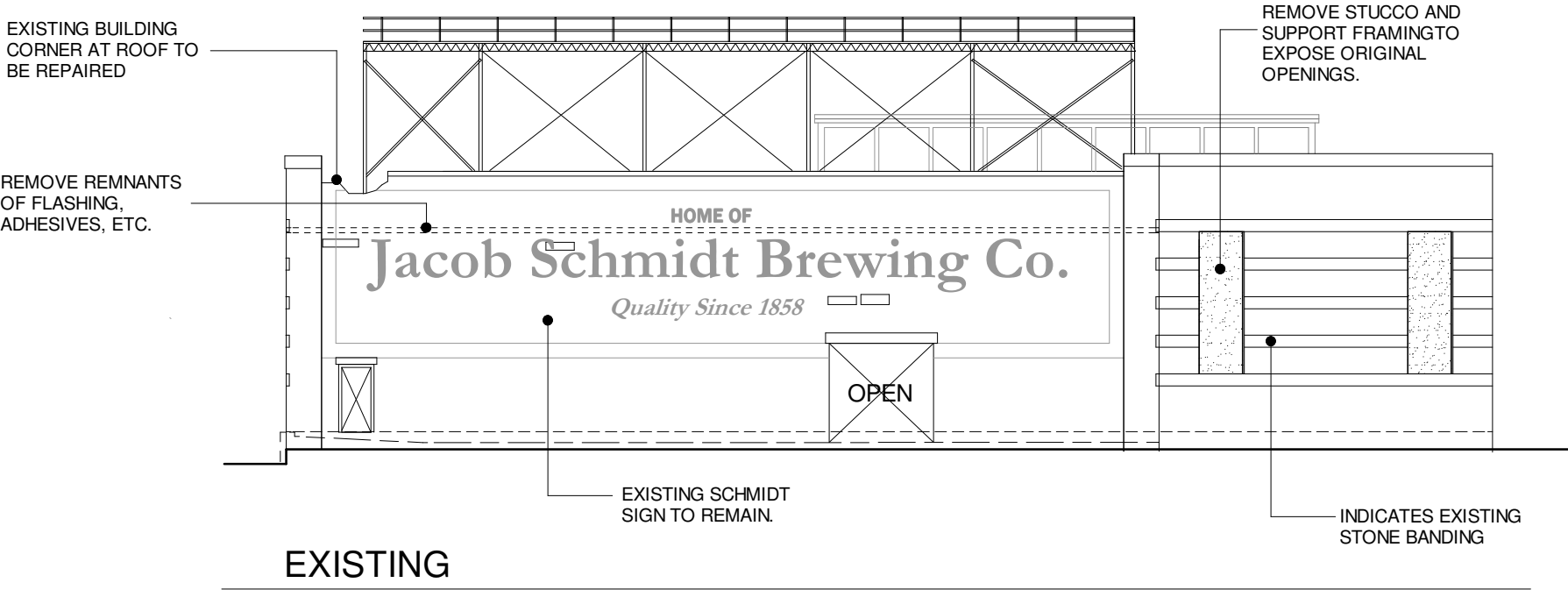
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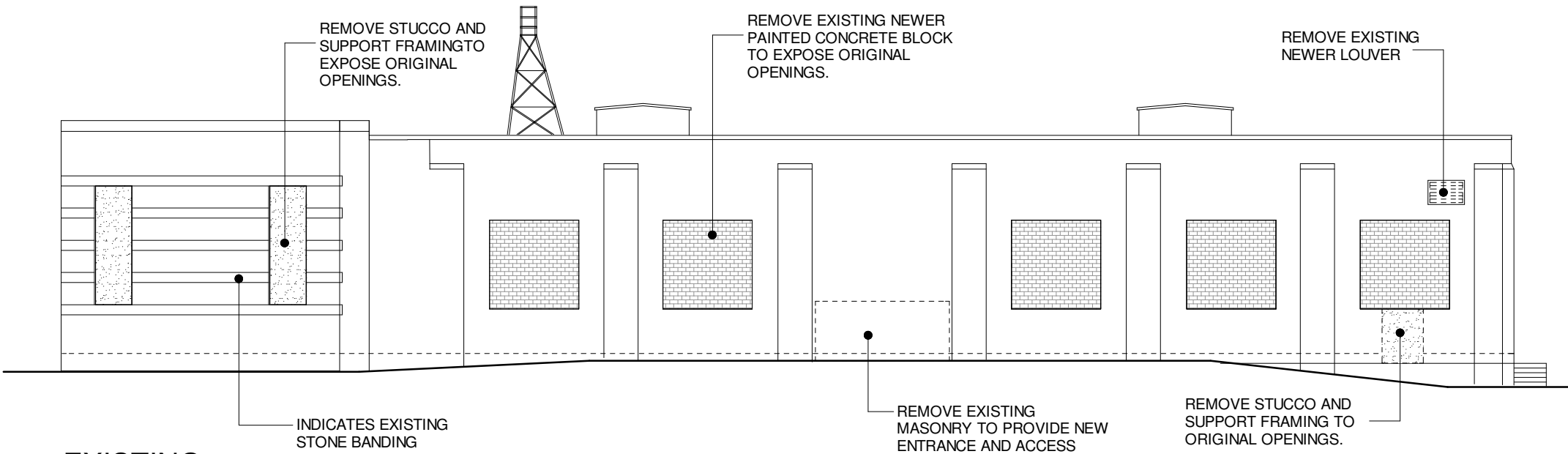


NORTH ELEVATION

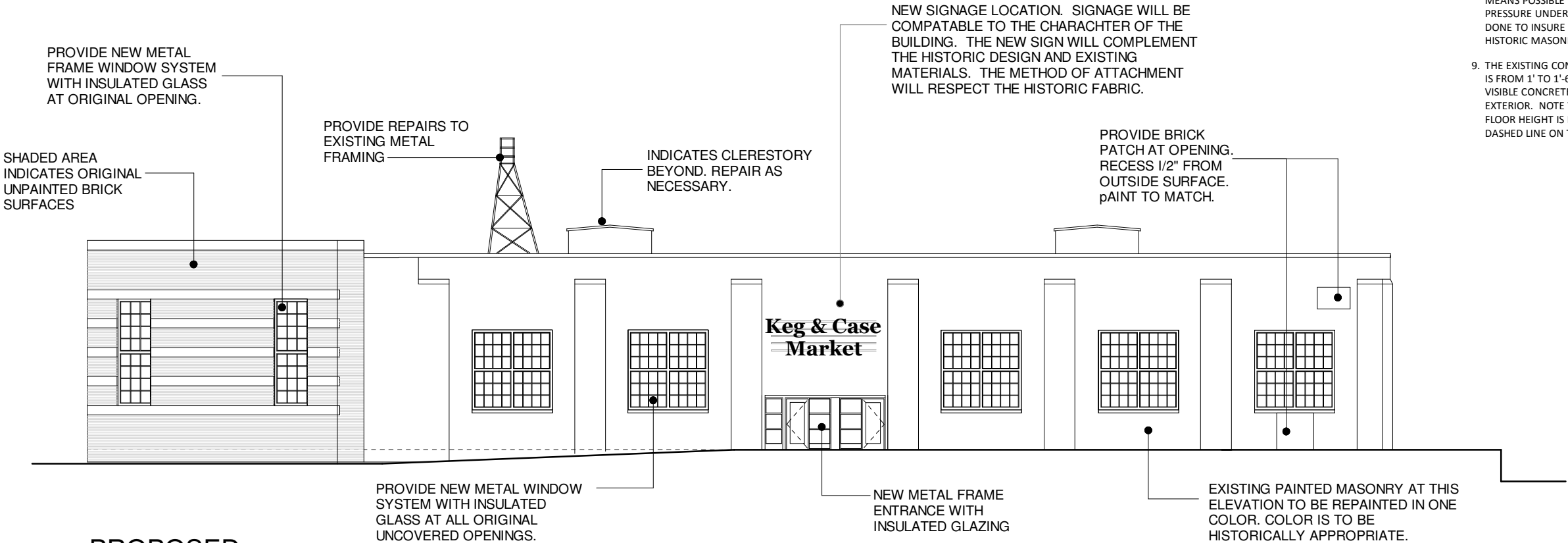
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EXISTING



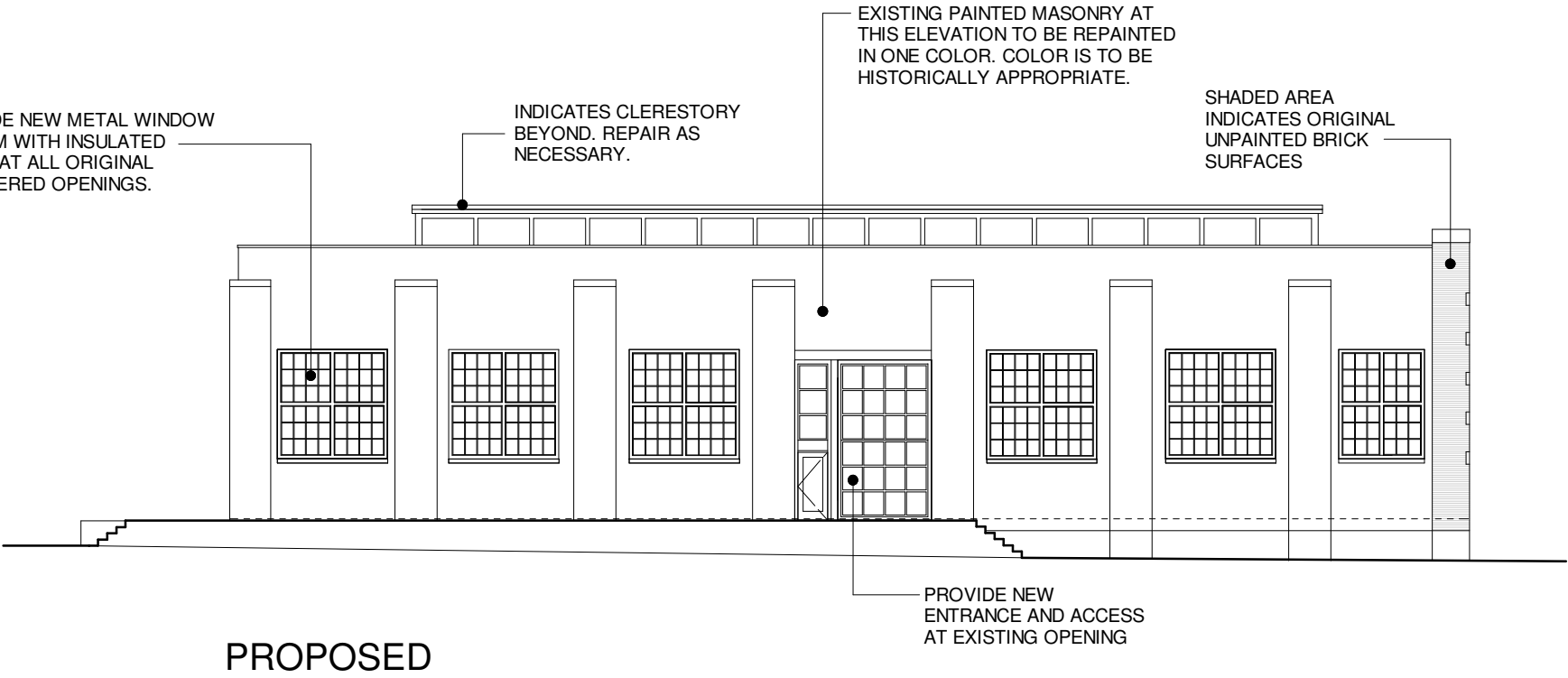
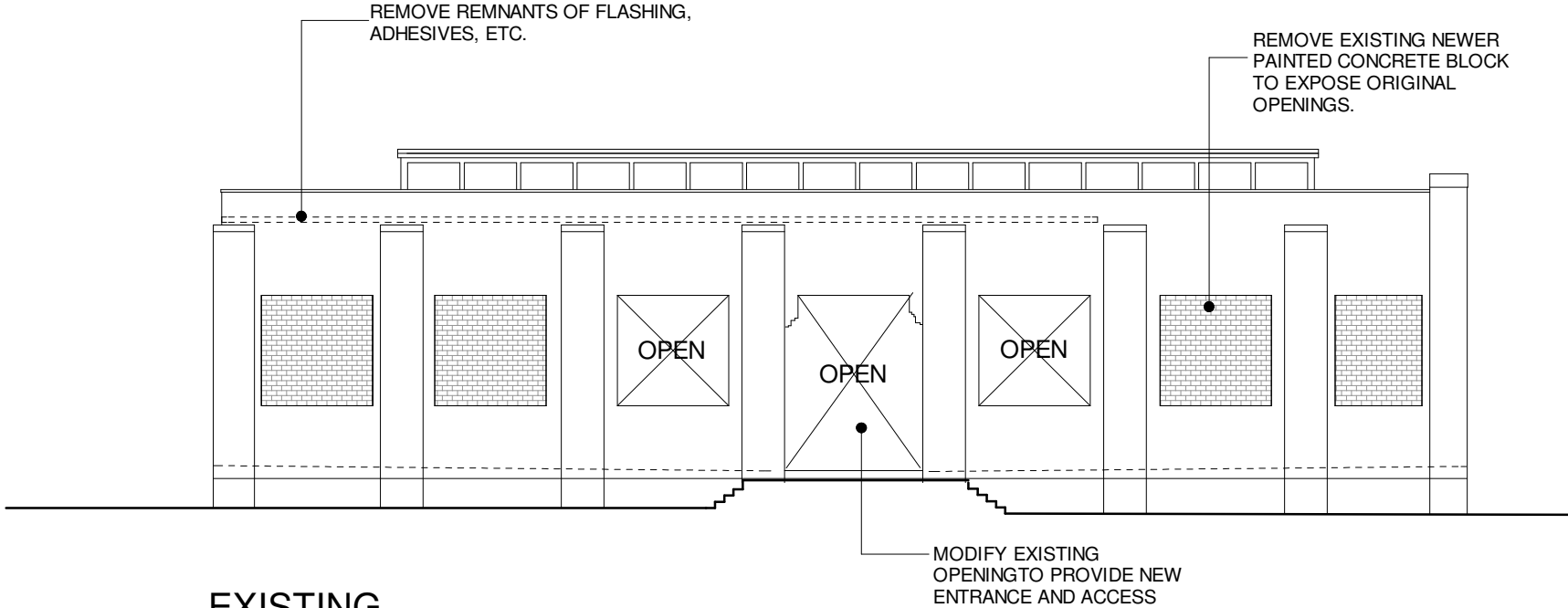
PROPOSED

WEST ELEVATION

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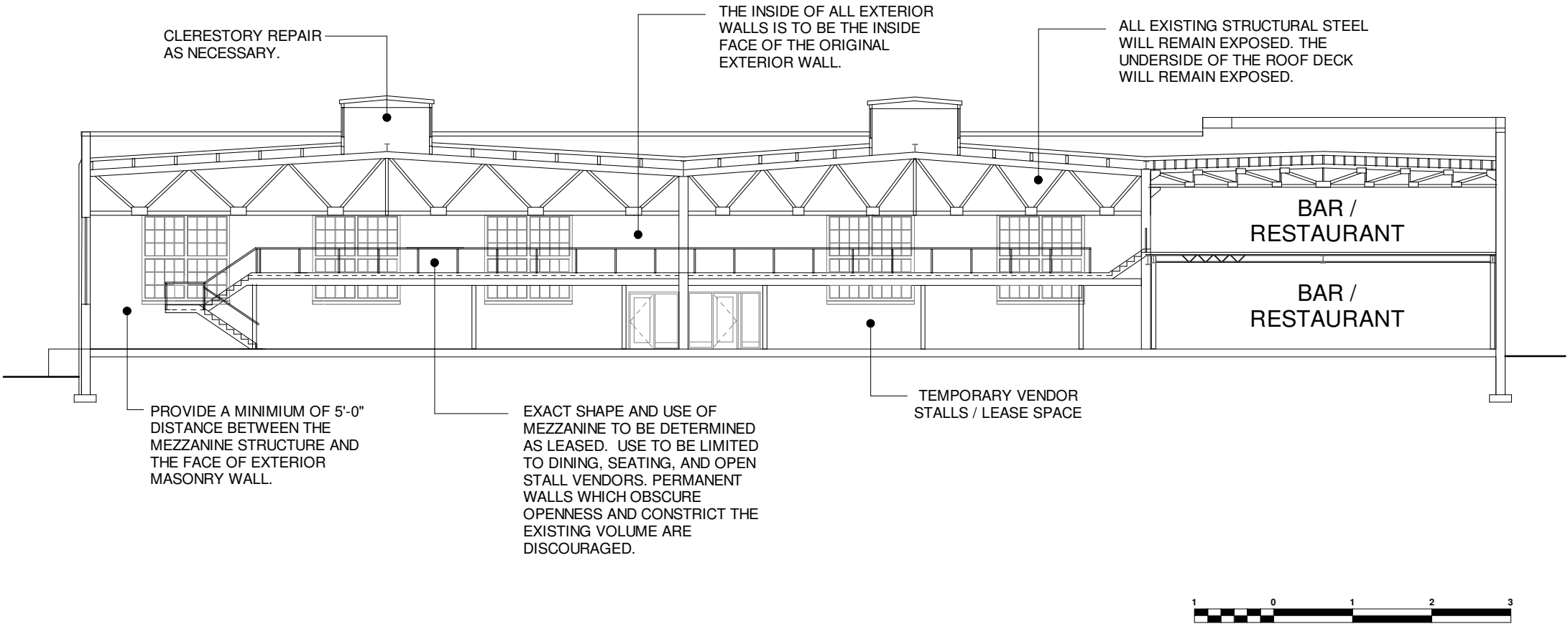
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SOUTH ELEVATION

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SECTION / CONCEPT