



CITY OF SAINT PAUL
Christopher B. Coleman, Mayor

*25 West Fourth Street
Saint Paul, MN 55102*

*Telephone: 651-266-6700
Facsimile: 651-266-6549*

MEMORANDUM

Date: October 2, 2015

To: Heritage Preservation Commission

From: Christine Boulware

Re: 216-218 Bates Avenue, Schornstein Garage – Dayton's Bluff Heritage
Preservation District

BACKGROUND

On February 27, 2014, the HPC reviewed and conditionally approved the demolition of the Schornstein Garage at 216-218 Bates Avenue with a vote of 7-1 (Mazanec).

The condition for approval is follows:

1. Prior to demolition, the applicant shall remove the siding to reveal the masonry exterior of the buildings and the buildings shall be documented following the Minnesota Historic Property Record (MHPR) archival photo documentation standards prior to demolition, at the owner's expense. Two copies of the 2012 HPC reviewed plans in 11" x 17" format will be accepted in lieu of as-built drawings. Two copies of the documentation shall be forwarded to the HPC (one copy to be delivered to the Ramsey County Historically Society.)

On March 3, 2015, the HRA requested an extension of the HPC decision. HPC staff granted a one year extension on April 9, 2015.

HRA SUBMITTAL

The HRA submitted photographic documentation (print and digital) on September 1, 2015.

The photographic and plan documentation meets the condition and is accepted as presented.

ATTACHMENTS

1. HPC decision letter (March 4, 2014)
2. Request for Extension (March 4, 2015)
3. Extension letter (April 9, 2015)
4. Archival photo documentation (July 31, 2015)
5. 2012 HPC reviewed plans (11"x17")



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Facsimile: 651-228-3220

March 3, 2014

Roxanne Young
Saint Paul Housing and Redevelopment Authority
1100 City Hall Annex
25 West Fourth Street
St. Paul, MN 55102

Re: 216-218 Bates Avenue –Dayton's Bluff Heritage Preservation District
Public Hearing/Permit Review, February 27, 2014 - Agenda Item VI.E. - HPC File #14-014

Dear Ms. Young:

The Heritage Preservation Commission (HPC) considered at its February 27, 2014 meeting your application for a **demolition permit to raze the Schorenstein Garage** at the property listed above. **The HPC voted 7-1 (Mazanec) to conditionally approve your proposal.** This decision was based on the discussion at the public hearing, public testimony and findings adopted by the HPC.

The application will be approved provided the following **conditions** are met:

1. Prior to demolition, the applicant shall remove the siding to reveal the masonry exterior of the buildings and the buildings shall be documented following the Minnesota Historic Property Record (MHPR) archival photo documentation standards prior to demolition, at the owner's expense. Two copies of the 2012 HPC reviewed plans in 11" x 17" format will be accepted in lieu of as-built drawings. Two copies of the documentation shall be forwarded to the HPC (one copy to be delivered to the Ramsey County Historically Society.)

You or any aggrieved party has the right to appeal the Heritage Preservation Commission's decision to the Saint Paul City Council under Chapter 73 of the Saint Paul Legislative Code. Such an appeal must be filed within 14 days of the date of the HPC's order and decision. Chapter 73 states:

(h) Appeal to city council. The permit applicant or any party aggrieved by the decision of the heritage preservation commission shall, within fourteen (14) days of the date of the heritage preservation commission's order and decision, have a right to appeal such order and decision to the city council. The appeal shall be deemed perfected upon receipt by the division of planning of two (2) copies of a notice of appeal and statement setting forth the grounds for the appeal. The

division of planning shall transmit one copy of the notice of appeal and statement to the city council and one copy to the heritage preservation commission. The commission, in any written order denying a permit application, shall advise the applicant of the right to appeal to the city council and include this paragraph in all such orders.

Please note, an HPC approval or conditional approval does not obviate the need for meeting applicable building and zoning code requirements, nor is it a permit to allow for work to commence. An HPC approval or conditional approval expires after one year if no permit has been issued. If revisions to the approved plans are made, be aware that additional HPC and/or staff review will be required.

Please contact me at 651.266.6715 with any questions you may have.

Sincerely,

Christine Boulware

Christine Boulware
Historic Preservation Specialist

cc: Todd Sutter, DSI
File

March 3, 2015

Donna Drummond, Planning Administrator
City of Saint Paul Department of Planning and Economic Development
25 West Fourth Street, Suite 1400
Saint Paul, MN 55102

RE: Conditional demolition approvals for 208-210 Bates Avenue and 216-218 Bates Avenue

To Ms. Drummond:

One year ago the Heritage Preservation Commission granted the Housing and Redevelopment Authority of the City of Saint Paul (HRA) conditional approvals for the demolition of property located at 208-210 Bates Avenue (#14-015) and 216-218 Bates Avenue (#14-014). The HRA has yet to pull a permit for the approved activity and is therefore requesting an extension of both approvals.

Staff has been in contact with the parties that will be involved in fulfilling the HPC's conditions and anticipates seeking demolition permits from the Department of Safety and Inspections in the spring or summer of this year. HRA staff will be in close contact with HPC staff throughout the process and will provide the requested information and seek the appropriate staff-level and Commission approvals prior to proceeding with demolition.

Please feel free to contact Sarah Zorn or Joe Musolf with any questions or if any additional documentation is required.

Respectfully,

Jonathan Sage-Martinson
Executive Director, HRA

Enc: Approval letter for 208-210 Bates (#14-015)
Approval letter for 216-218 Bates (#14-014)

cc: Patty Lilledahl, Director of Housing
Amy Spong
Christine Boulware
Joe Musolf
Sarah Zorn
File



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April 9, 2015

Jonathan Sage-Martinson, Executive Director
Saint Paul Housing and Redevelopment Authority
25 West 4th Street, 1300 City Hall Annex
Saint Paul, MN 55102

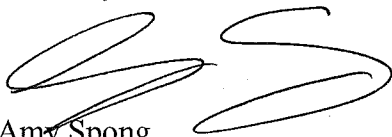
Re: 208-210 Bates (HPC File #14-015) and 216-218 Bates (HPC File #14-014), Dayton's
Bluff Heritage Preservation District

Dear Mr. Sage-Martinson:

We have received and reviewed your request for an extension of the Heritage Preservation Commission (HPC) decisions conditionally approving demolitions at 208-210 Bates and 216-218 Bates Avenue in the Dayton's Bluff Heritage Preservation District. An extension, not to exceed one year, shall be granted and will expire on March 3, 2016 if no permits have been issued.

Please feel free to call staff at 651-266-9078 if you have any questions.

Sincerely,



Amy Spong
Historic Preservation Specialist

cc: Patti Lilledahl (via email)
Joe Musolf (via email)
Sarah Zorn (via email)
Donna Drummond (via email)
File





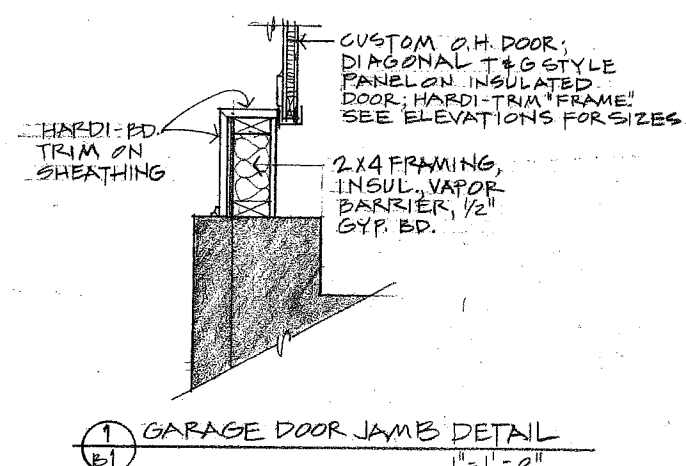






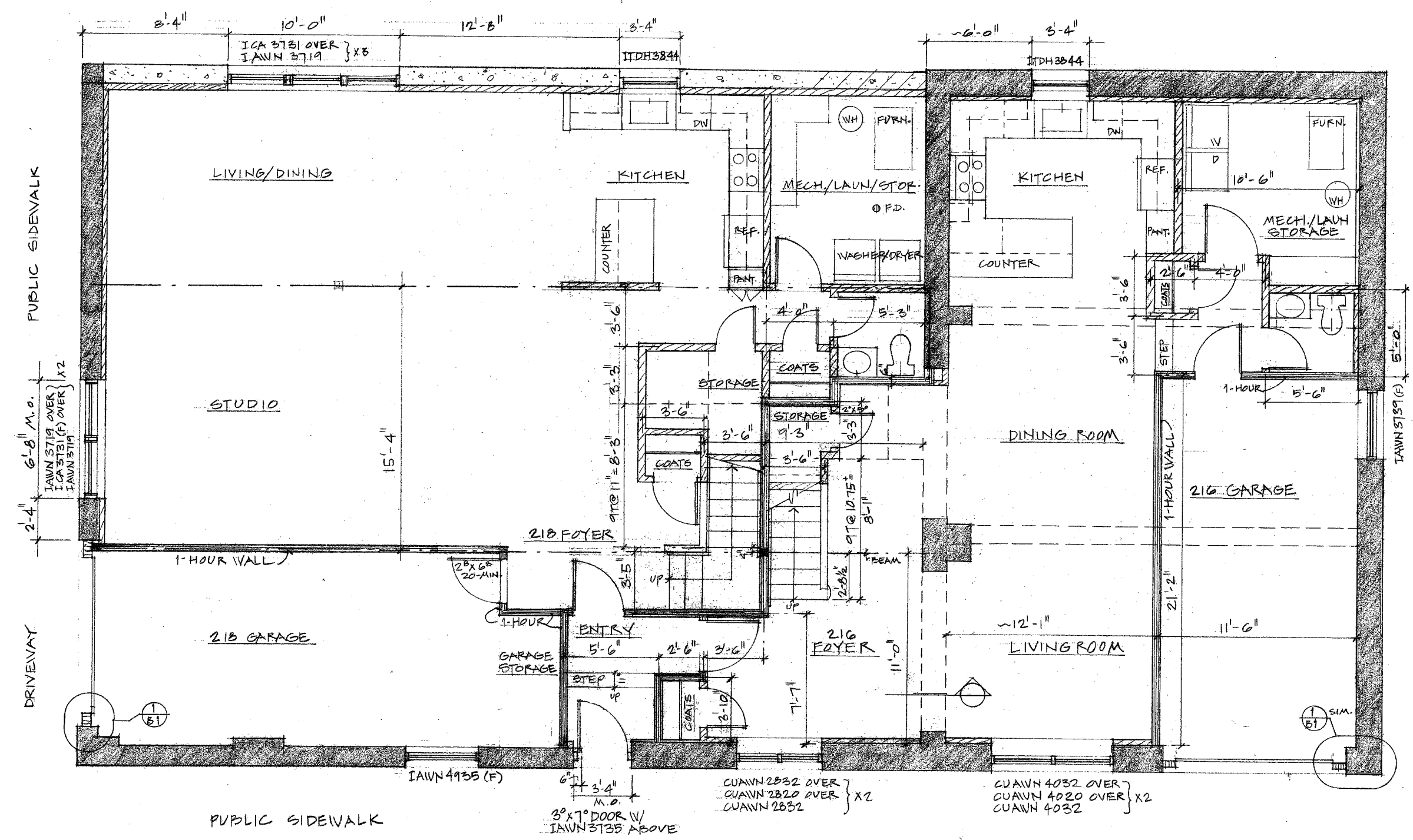






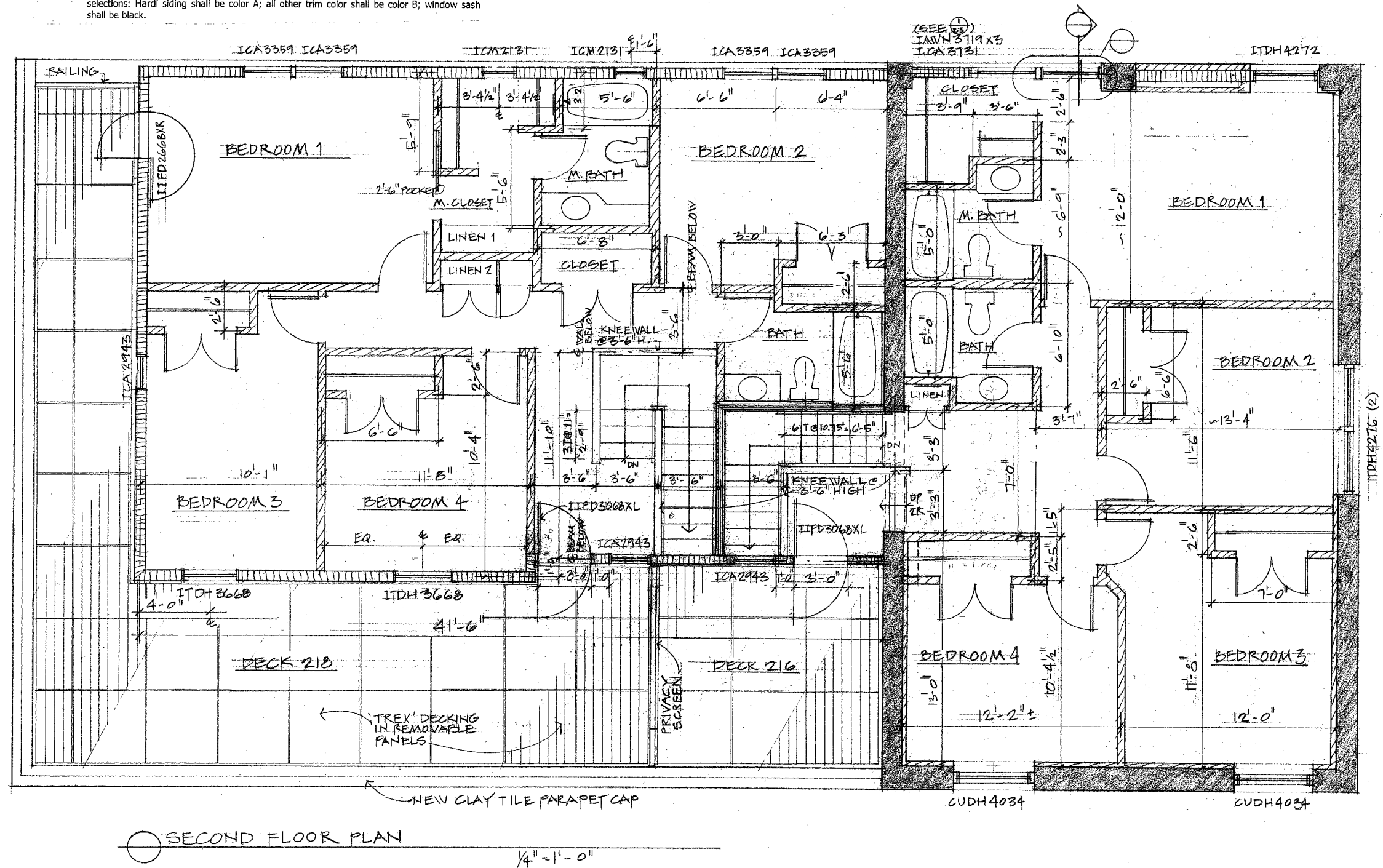
- General Construction Notes:**
1. Site shall be prepared as required for construction, including removal of existing materials and construction interfering with new construction.
 2. Repair concrete aprons (2) at garage doors as necessary.
 3. Install 6 exterior lighting fixtures, two electrical receptacles at upper deck area per construction management directions.
 4. Protect all trees in boulevard as required during construction.
 5. Note: Historic Designation: The building is listed as a contributing property in the Dayton's Bluff Historic District, as administered by the Saint Paul Heritage Preservation Commission. Any work performed affecting exterior architectural surfaces, features and details shall require approval by the Saint Paul Preservation Commission or its staff. This application procedure, including the public hearing session, will be performed by the Architects in coordination with the Owner and Construction Manager.

- WALL TYPES**
- EXISTING WALL
 - EXTERIOR WALL (SEE SECTION NOTES)
 - TYP. INTERIOR PART. - 3 1/2" STUD, 1/2" GYP. BD. EASIDE
 - INSULATED INT. PART. - 1 HR. @ ATTACHED GARAGES; SOUND BATT @ UNIT SEPARATIONS - TO DECK
 - MAS. WALL (EXIST. OR NEW) 3 1/2" STUDS, R-19 INSUL., 1/2" GYP. BD.
 - NEW CONC. BLOCK
 - NEW POURED CONC. FOUNDATION WALL/RETAINING WALL.



2 FIRST FLOOR PLAN
1/4" = 1'-0"

1. Exterior walls, 216: Perform brick restoration at north, west and south walls; repair joints as necessary to achieve consistent profiles, material, color and texture with existing joints; where existing brick is not capable of restoration, install new brick matching existing. Install new brick as required at east wall.
2. Exterior walls, 218: Perform brick restoration at north and west walls; repair joints as necessary to achieve consistent profiles, material, color and texture with existing joints; where existing brick is not capable of restoration, install new brick matching existing. New brick shall be modular type matching existing. Brick shall be laid in typical running bond on typical face conditions, 3/8" joints, dragged type (no tooled joints. See Drawing Details for window and door conditions).
3. Install Hardi-panel with vertical Hardi battens at second floor walls: (see details). Note: all Hardi material shall be smooth-faced type (no imitation wood grain pattern), prepare for paint finish.
4. Roof: Install 56 mil Carlisle EPDM roofing membrane at all roofs and at deck surface, with all necessary integral flashing, curbs, accessories, termination strips, etc.
5. Fascia: 218 - 5/4 x 8 Hardi trim at tops of second floor exterior walls.
6. Window and door casing shall be 5/4 x 4 Hardi trim, with pine drip cap at window and door heads.
7. Windows: Marvin Integrity, casement, awning, and double-hung per elevation references.
8. Miscellaneous trim: Hardi material cut and shaped as required.
9. Deck at 216, 218: install duckboard panels: 1x6 Trex members on 2x6 sleepers forming 4'-0" x 6'-0" panels, removable
10. Railings: install aircraft type railing at 218 near east elevation. Install deck screen wall separating deck at 216 from 218: see Details.
11. Parapet cap: install clay tile sections at top of parapet walls per details.
12. Front Doors: Bayer Built "PLC, fiberglass, painted per construction manager's instruction; front combination door: Andersen Emco 400 series, aluminum enameled (black) finish.
13. Garage: overhead doors (2) shall be custom fabricated, shall be panel type wood, Overhead Door Company - model to be selected.
14. Caulk all joints between Hardi trim and other adjacent materials, other gap or crevice conditions.
15. Painting: exterior, Hardi surfacés only: apply paint per construction management's color selections: Hardi siding shall be color A; all other trim color shall be color B; window sash shall be black.

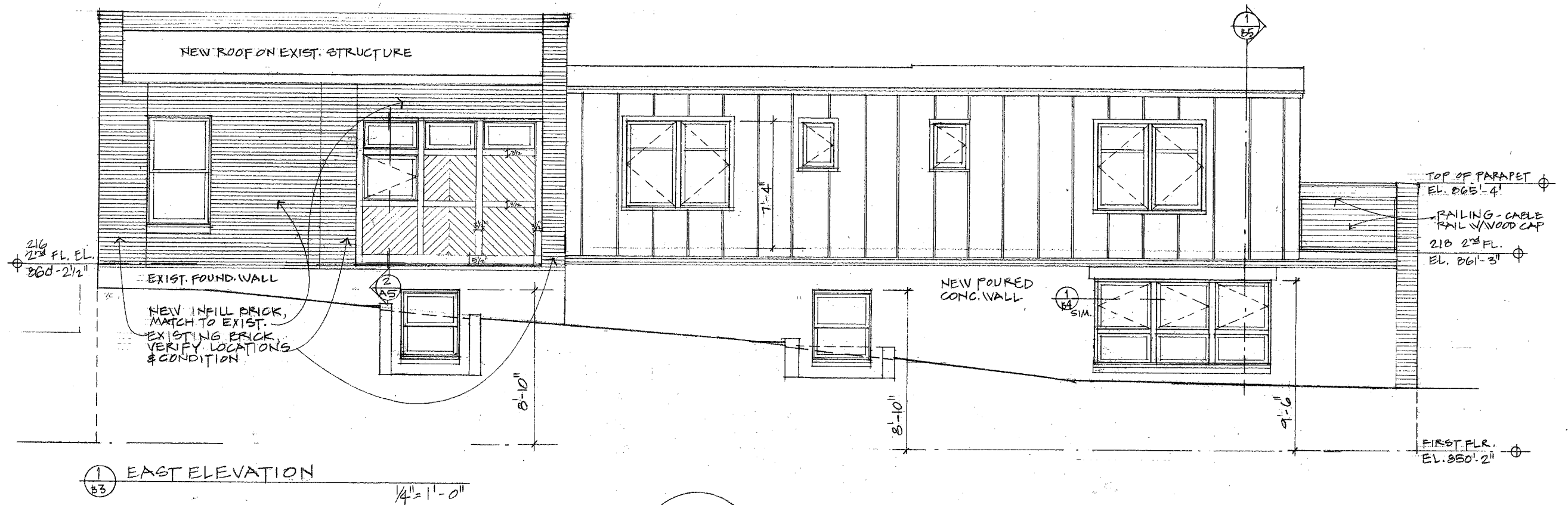


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7.23.2012

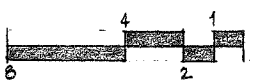
Wilson/Bates Renovation
Dayton's Bluff Historic District
Saint Paul, MN

Karen Gjerstad, Architect
4733 Isabel Avenue
Minneapolis, MN 55406
612-724-7258

Robert Roscoe
Design for Preservation
1401 East River Parkway
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612-317-0989



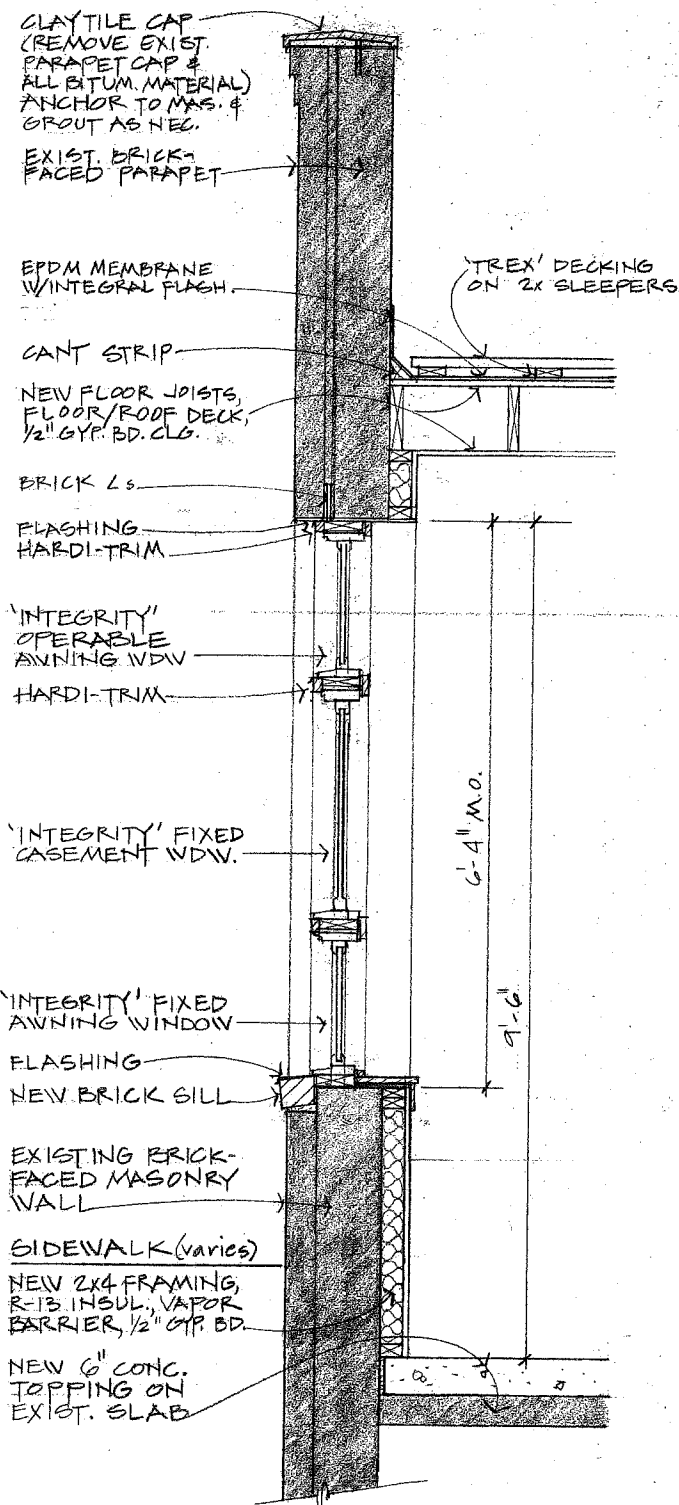
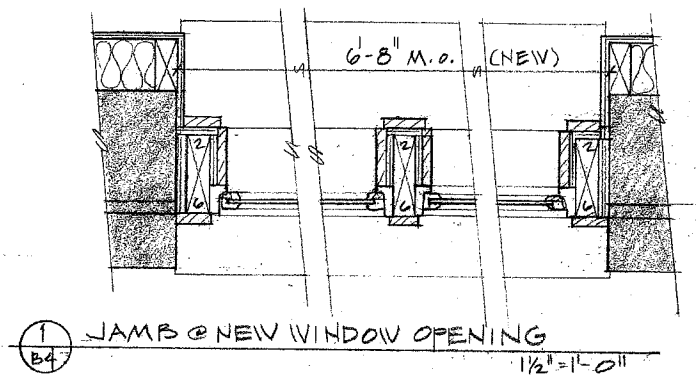
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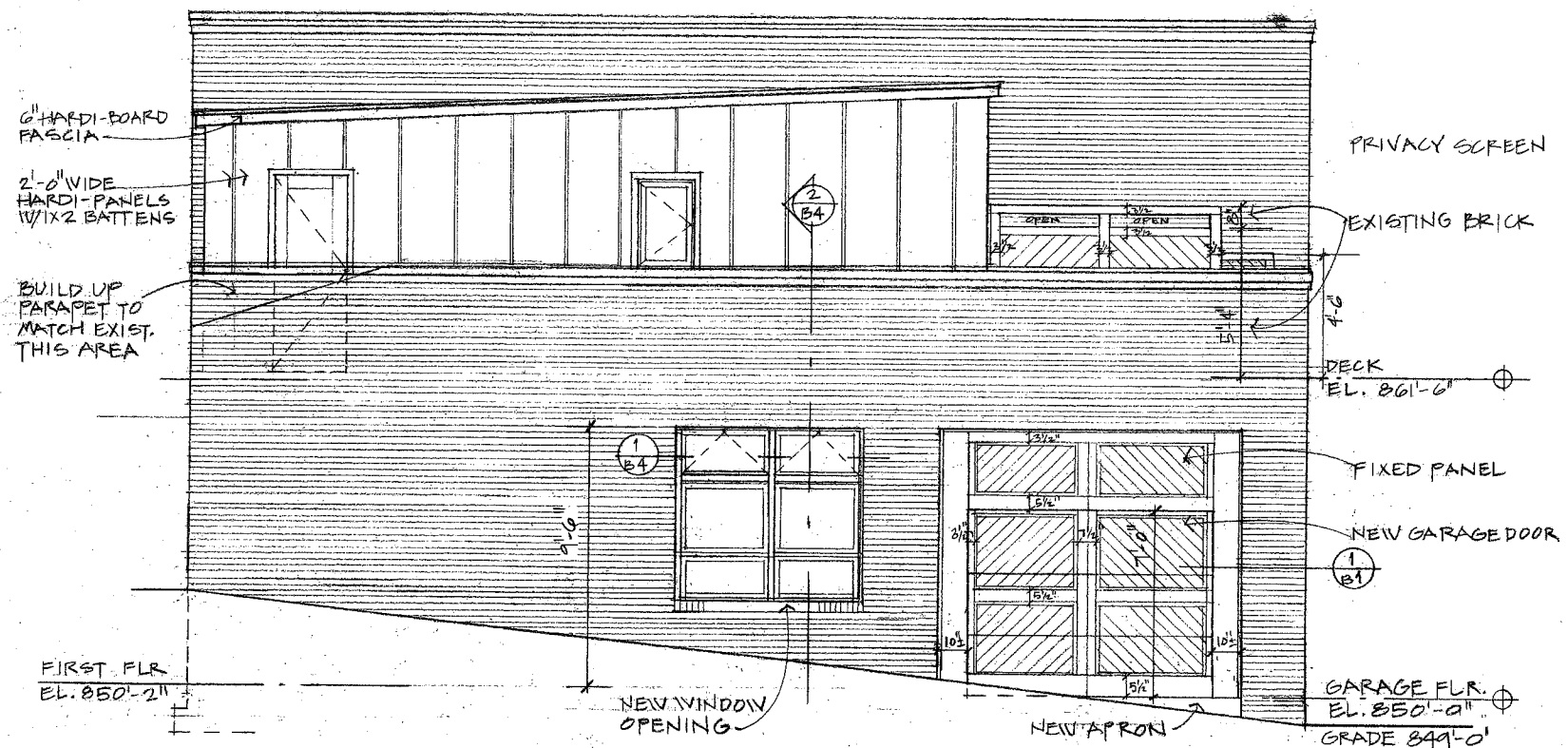
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2 WALL SECTION @ NEW OPG/PARAPET

3/4" = 1'-0"

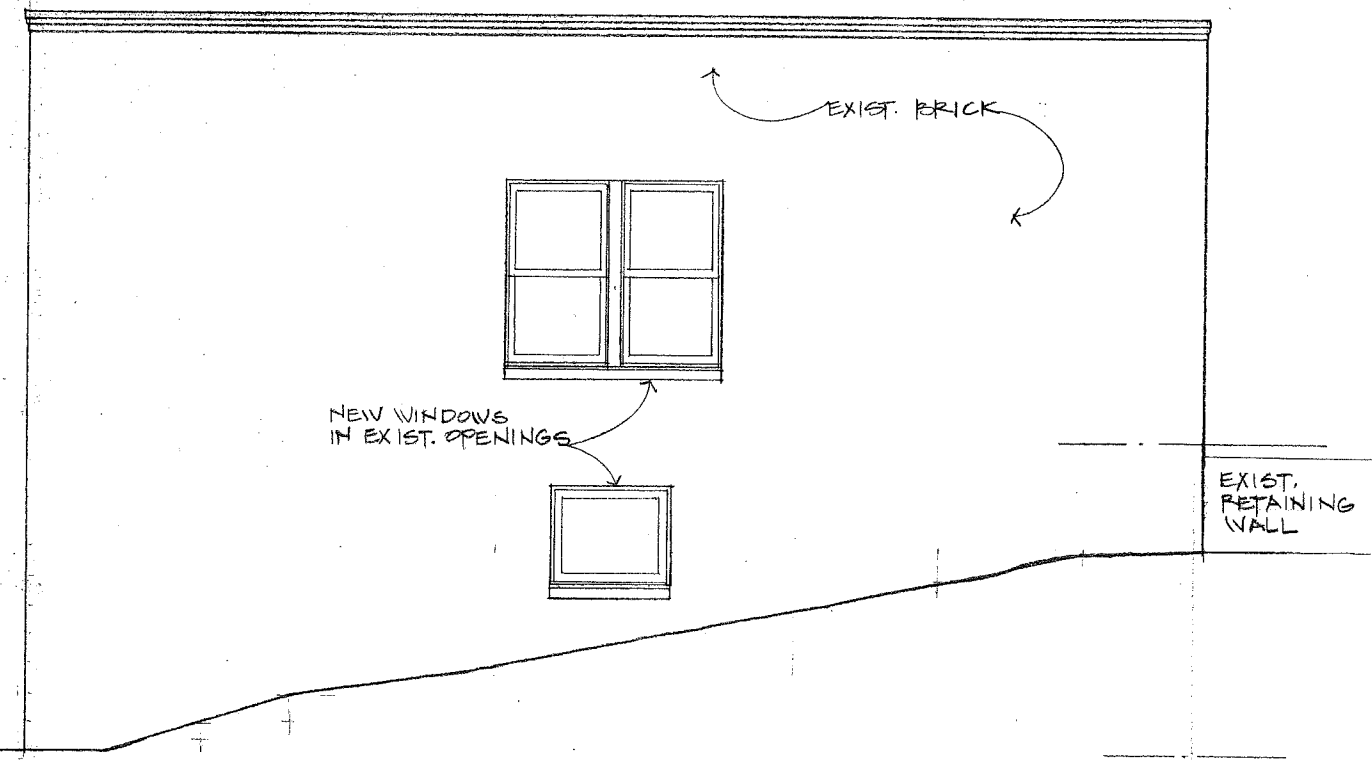
1
B4



3 NORTH ELEVATION

1/4" = 1'-0"

1
B4



4 SOUTH ELEVATION

1/4" = 1'-0"

1
B4

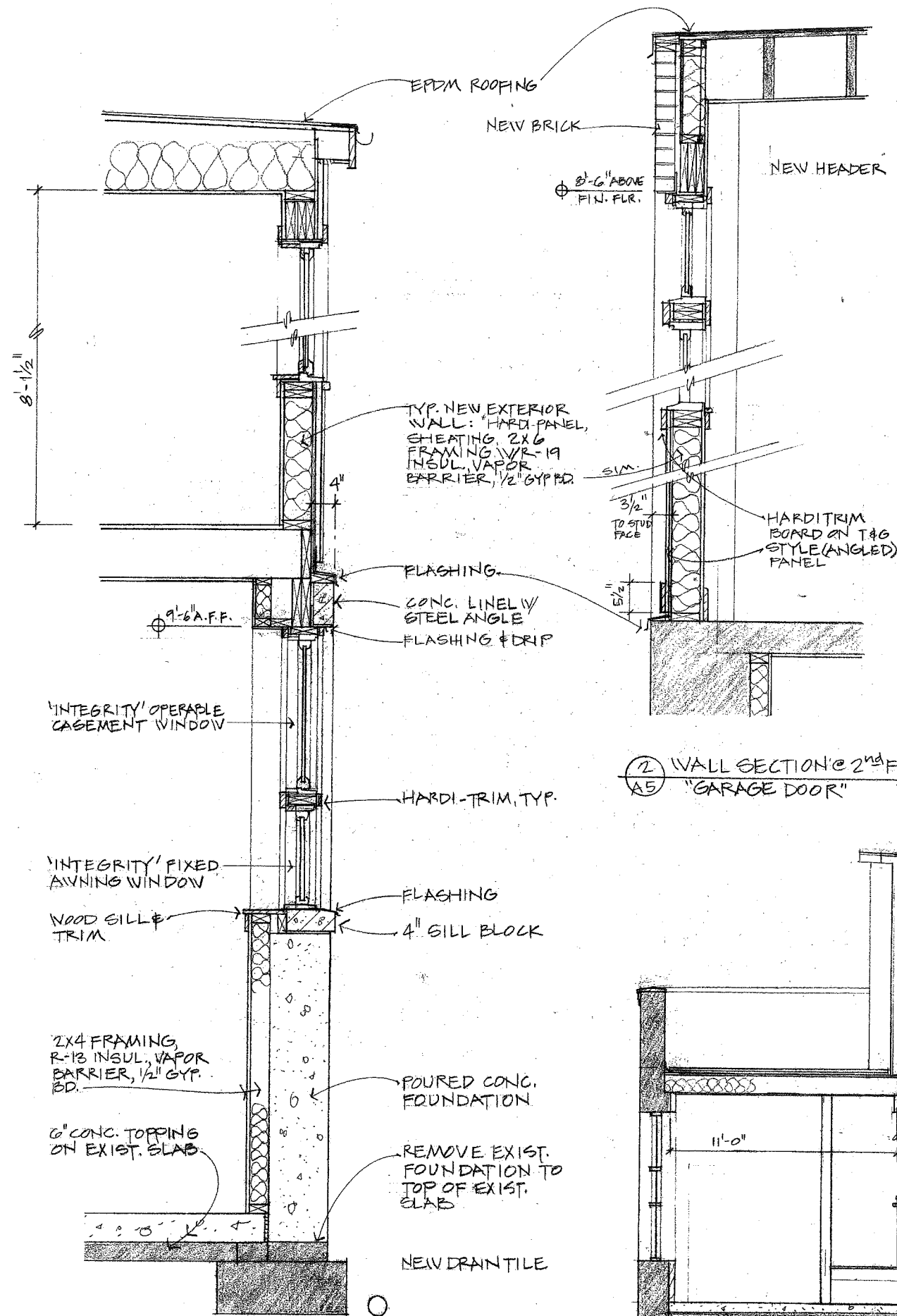
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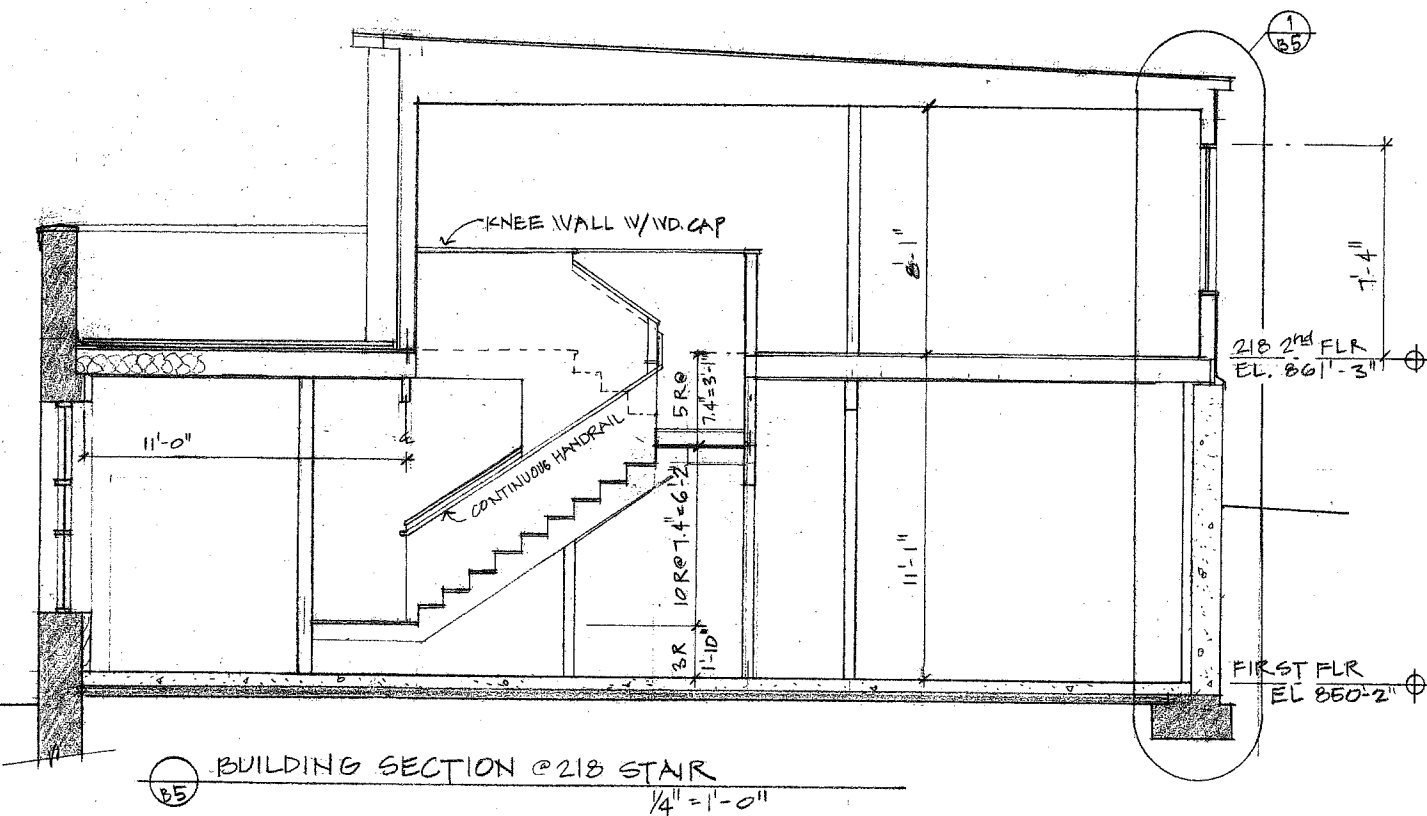
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② WALL SECTION @ 2ND FLOOR
A5 "GARAGE DOOR" 3/4" = 1'-0"



⑤ BUILDING SECTION @ 218 STAIR
1/4" = 1'-0"

8.03.2012
7.23.2012

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