



Saint Paul Heritage Preservation Commission
Department of Planning and Economic Development
25 Fourth Street West, Suite 1400
Saint Paul, MN 55102
Phone: (651) 266-9078
ApplyHPC@stpaul.gov

Project Address:

Heritage Preservation Commission Design Review Application

PROCESS

This application must be completed in addition to required city permit applications for individually designated Heritage Preservation Sites and properties located within Heritage Preservation Districts.

Design review applications are reviewed and approved by either heritage preservation staff or the Heritage Preservation Commission (HPC) at a public hearing. HPC staff are authorized to approve work that complies with adopted design review guidelines and preservation programs, available at our website www.stpaul.gov/hpc, while the HPC reviews projects that are significant alterations, demolitions, additions, new construction or proposals that do not comply with HPC guidelines. The decision of whether a proposal may be reviewed and approved by HPC staff or must be reviewed by the HPC at a public hearing is made once a complete application is submitted.

The HPC public hearing schedule is viewable here:

<https://www.stpaul.gov/departments/planning-economic-development/heritage-preservation/heritage-preservation-commission>

A complete application consists of:

- 1) An application form
- 2) Required attachments that adequately describe the proposed work (see attached checklist)

An incomplete application will be put on hold and staff will contact you for additional information. If an application is incomplete for 30 days after it was received, it will be returned to the applicant.

Complete applications will be reviewed in the order they are received. **Applications are not entered in queue to be reviewed until staff has determined them to be complete.** Once reviewed, a Certificate of Approval will be issued along with any conditions for the proposed work. You will be notified by staff when the Certificate of Approval has been issued and a copy will be sent to the Department of Safety and Inspections (DSI) to complete the HPC process of obtaining the necessary permit(s).

1. CATEGORY

Please check the category that best describes the proposed work

- | | | |
|--|---|---|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning | <input type="checkbox"/> New Construction/Addition/Alteration |
| <input type="checkbox"/> Moving | <input type="checkbox"/> Fence/Retaining Wall | |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Other _____ | <input type="checkbox"/> Pre-Application Review Only |

2. PROJECT ADDRESS

Street and number: _____ Zip Code: _____

3. APPLICANT INFORMATION

Name of contact person: _____

Company: _____

Street and number: _____

City: _____ State: _____ Zip Code: _____

Phone number: _____ e-mail: _____

4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: _____

Street and number: _____

City: _____ State: _____ Zip Code: _____

Phone number: _____ e-mail: _____

5. PROJECT ARCHITECT (If applicable)

Contact person: _____

Company: _____

Street and number: _____

City: _____ State: _____ Zip Code: _____

Phone number: _____ e-mail: _____

6. PROJECT DESCRIPTION

Completely describe ALL exterior changes being proposed for the property. Include description of affected existing exterior features and changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

Total Project Value:	<i>Attach additional sheets if necessary</i>

7. ATTACHMENTS & DESIGN REVIEW CHECKLIST

Please refer to the following checklist section(s) that relate to your proposed scope of work and check next to the items that are attached to your application. Attach all checked items listed to this application or attach in an email to ApplyHPC@stpaul.gov

Staff may contact you for additional information or materials.

If your project or work type is not included in this checklist, please contact the staff by calling 651-266-9078 or sending an e-mail to applyhpc@stpaul.gov for assistance on how to complete an application.

<u>Applicant Submitted</u>	<u>Staff Received</u>	<u>Date Received</u>	
			Restoration /Repair/Rehabilitation
			Three (3) copies of scaled and dimensioned plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections).
			Photographs of all features and areas affected by proposed work.
			If an existing architectural feature is being replaced, please provide detailed drawings of the existing feature.
			Historic photographs (if any) that inform the restoration/rehabilitation/repair work.
			Sign/Awning:
			Photographs of location of proposed signage on structure/property.
			Photographs of structure and all exterior sides affected by proposed work.
			Three (3) copies of plans that note materials, dimensions, colors, and method of attachment.
			Section drawing showing point of installation, method of installation, awning profile and projection.
			Illumination plan.
			Photographs or elevation of the building showing location of proposed sign in relation to the building and, if applicable, other signage on the building.
			New Construction/Addition/Exterior Alteration:
			Three (3) copies of construction level plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections). Show how the addition(s) relates to the existing structure.
			Photographs of all features and areas affected by proposed work.
			Site plan showing lot dimensions, location of any existing buildings, and proposed addition(s), elevation plans, section and detail drawings as necessary. All plans must be scaled and dimensioned.
			Digital copies of the plans and photos submitted on CD or USB.

<u>Applicant Submitted</u>	<u>Staff Received</u>	<u>Date Received</u>	
			Fencing/Retaining Wall: A site plan showing the location of the fence/wall in relation to property lines and any structures with measurements. An elevation drawing or photo of the proposed fence/wall.
			Roofing: Sample or description of existing material(s). Sample or specifications of proposed material(s). Sample colors. Photographs of all exterior sides affected by the proposed work. Photographs of the building and roof showing existing conditions of roof, coping, flashing, affected masonry, parapet, siding, existing skylights, and/or dormers. Also include any other critical intersections where the roof meets the historic fabric, and sightline drawings when a change in slope or other potentially visible change is proposed.
			Heating, Ventilating, and Air Conditioning Equipment Site plan showing location of condenser in relation to the building(s) and property lines. Photographs of the proposed location of any condensers or venting. Photographs demonstrating that the proposed unit is not visible from the street. A screening plan if a condenser is in the side yard. Drawing or photograph demonstrating where and how conduit will be attached to the building.
			Window/Sash Replacement: Statement describing in detail why windows need replacement as well as a description of weatherization efforts and copy of window repair estimates. Existing window design and dimensions. Proposed window design, dimensions, and manufacturer's specifications including shop drawings. Existing type of exterior storm windows. Proposed style of exterior storm windows. Existing exterior window trim material. Proposed exterior window trim material and style. Photographs of all exterior sides where window replacement is being proposed. Photographs of existing features/conditions which support window replacement proposal.

<u>Applicant Submitted</u>	<u>Staff Received</u>	<u>Date Received</u>	
			Other Items Requested by HPC Staff:

Will any federal money be used in this project? YES ☐ NO ☐

Are you applying for the Investment Tax Credits? YES ☐ NO ☐

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: Tony O'Malley Date: _____

Typed name of applicant: _____

Signature of owner: John Sharkey Date: _____

Typed name of owner: _____

Send completed application with the necessary attachments to ApplyHPC@stpaul.gov or to:

Saint Paul Heritage Preservation Commission
Department of Planning and Economic Development
25 Fourth Street West, Suite 1400
Saint Paul, MN 55102

You may also click the button below to attach the completed application to an email that will go directly to ApplyHPC@stpaul.gov. Please attach supporting documents to the email as well.

FOR HPC OFFICE USE ONLY

Address: _____

Date received: _____

Date complete: _____

District: _____/Individual Site: _____

Pivotal/Contributing/Non-contributing/New Construction/Parcel

FILE NO. _____

City Permit # _____ - _____

☐ **Requires staff review**

☐ **Requires Commission review**

Supporting data: **YES NO**

Complete application: **YES NO**

The following condition(s) must be met in order for application to conform to preservation program:

Submitted:

- ☐ 3 Sets of Plans
- ☐ 15 Sets of Plans reduced to 8 ½" by 11" or 11" by 17"
- ☐ Photographs
- ☐ CD of Plans (pdf) & Photos (jpg)
- ☐ City Permit Application
- ☐ Complete HPC Design Review application

Hearing Date set for: _____

HPC Staff Notes

It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).

HPC staff approval

Date _____



HERITAGE PRESERVATION APPLICATION

Department of Planning and Economic Development
Heritage Preservation Section
1400 City Hall Annex, 25 West Fourth Street
Saint Paul, MN 55102-1634
applyHPC@stpaul.gov or (651) 266-9078

APPLICANT

Name Tony O'Malley Email Tony@SharkeyDesignBuild.Com
(Staff will communicate via email unless otherwise noted)
Address 610 Main St N Suite 111
City Stillwater State MN Zip 55082 Daytime Phone 651-323-0443
Name of Owner (if different) John Sharkey

PROPERTY INFO

Address/Location 300 Ryan Ave St Paul MN 55102
Property type:
☒ Single Family Residential Home or Duplex ☐ Commercial, Multi-Unit or Mixed Use
☐ Industrial ☐ Civic (School, Church, Institution)
☐ Other _____

PROPOSAL

☒ New Construction or Addition ☐ Sign
☐ Demolition ☐ Site Improvements
☐ Renovation, Repair or Alteration
☐ Other _____

SUPPORTING INFORMATION: Please complete the application with as much detail as possible. Attach additional sheets if necessary. See Saint Paul Legislative Code Chapter 74 for district guidelines.

New Single family residential home constructed on a vacant lot located at 300 Ryan Ave St. Paul Minnesota. This home was design by David Charlez to fit seamlessly into the prestigious Irvine Park Historic District. This new design features the timeless Italianate architectural style. With its stately presence, it will be right at home in Historic St. Paul. The two-story mass with its grand front facade features a covered front porch with well-proportioned, decorative columns. The multi-pane ornate double-hung bay windows shown stacked on two stories will command attention and curb appeal. In following key design elements of the Italianate style, the design features a gentle sloping roof with deep overhang eaves are supported by decorative brackets. Other special details of the Italianate style is shown with the ornamentation and respect to cornices, windows, porches, and doorways. The design elements all speak to the craftsmanship planned for this project. The home will blend seamlessly into its surroundings and will complement the neighborhood quite well.

☐ Required documents are attached (See reverse side)

☐ If you are a religious institution you may have certain rights under RLUIPA. Please check this box if you identify as a religious institution.

* The City of Saint Paul makes reasonable accommodations for ADA.

Applicant's Signature

Tony O'Malley

Date 11/23/2020

Rev 7/12/19

REQUIRED DOCUMENTATION

For review, staff need documentation that clearly describes your project:

1. What is the proposal.
2. Where will the proposed work occur.
3. Can proposed work be viewed from the public right-of-way?
4. Is the project a change from what exists or a reconstruction of what did exist historically?

TYPES OF DOCUMENTATION (as applicable for your proposal-contact staff if you have a question)

- ☐ Complete statement and clear scope describing in detail the proposal (see reverse side).
- ☐ Photos of project area. Clearly labeled showing proposed work site, location (Street facing façade, north elevation, etc.) and surroundings.
- ☐ Plans (as applicable)
 - Demolition Plan. Information that clearly conveys what demolition is proposed as part of the proposal.
 - Site plan with scale and basic overall dimensions showing entire lot from street edge to alley. Include all existing/proposed driveways, curb cuts and structures. Show mechanical equipment locations. Highlight and label proposed work area clearly.
 - Elevation drawings with scale. Please label and include base elevation and include heights for all interior floor/ceiling levels, to top of roof deck, cornice, and top of appurtenances behind that façade. Show and label all materials, such as windows, doors, porches, lighting, roofs, siding, etc.
 - Details on exterior architectural elements, including balconies, lighting, railings, vents, awnings, etc. Provide enlarged elevation and information on all exterior architectural elements.
- ☐ Information on proposed new materials (if applicable).
 - Material, trim and finish information and/or samples.
 - Provide manufacturer cut sheets which include: specifications, material, design, dimensions, functionality and color.

PLEASE NOTE

- * *All submittals become the property of the City of Saint Paul and are open public records.*
- * *Submittals may be posted online or made available to any party that requests a copy.*
- * *It is the applicant's responsibility to accurately represent the existing conditions and the proposed conditions.*
- * *Review of applications takes time. It may be several days before staff responds to a submittal.*

The Heritage Preservation Commission (HPC) and Heritage Preservation staff review applications for exterior work on designated heritage preservation sites (except painting or plant materials).

Heritage Preservation staff are available to discuss prospective projects. It is advisable to get as much information as possible while the project is in early planning stages. The Heritage Preservation Commission offers Pre-Application or Concept Review for large or complicated projects.

The amount of time required for review of the application depends on the type of work, the complexity of the project, documentation received, and conformance with the applicable guidelines. Staff reviews and approves many applications while others need to be reviewed and approved by the Heritage Preservation Commission. Some applications can be reviewed by staff in a few days. If the application is to be reviewed by the HPC the process generally takes about 30 days once all documentation is received.

Worksheets - Context, Composition and Components of Proposed Infill

Documentation for new infill construction must examine the context, composition, and components of proposed new structures for compatibility with the existing historic structures of a district. These worksheets will provide information on how new construction will 'fit' in the neighborhood.

Sheet 1: CONTEXT

Ground Plan Comparison that gathers footprint size, setbacks, and a comparison to the proposed structure. The surrounding eight parcels are studied as to setback as listed. Include all structures regardless if they are contributing or non-contributing. Setbacks for new infill should correspond to surrounding context.

Question to be answered:

How will the footprint of a proposed structure fit into the existing historic ground context?

Sheet 2: COMPOSITION

Street-Scape that compares the front elevation of new infill to existing neighboring structures. The neighboring 3-4 structures, on the same side of the street should be studied. Compatibility between the new infill and the existing/neighboring historic structures should be achieved. Scaled and measured photos or drawings are to be referenced and include lines indicating primary features.

Question to be answered:

How will front facade design, overall height and floor to floor heights compare to existing, neighboring structures?

Street-scape should include photos of structures on either side of the proposed work area (minimum of two on either side). Photos of existing structures should be of the front facade, free of vegetation, and include estimated measurements of 4 main features (foundation, entry, upper floors, and overall height). Lines of main features should be drawn across existing photos explaining the four (4) main features.

Sheet 3: COMPONENTS

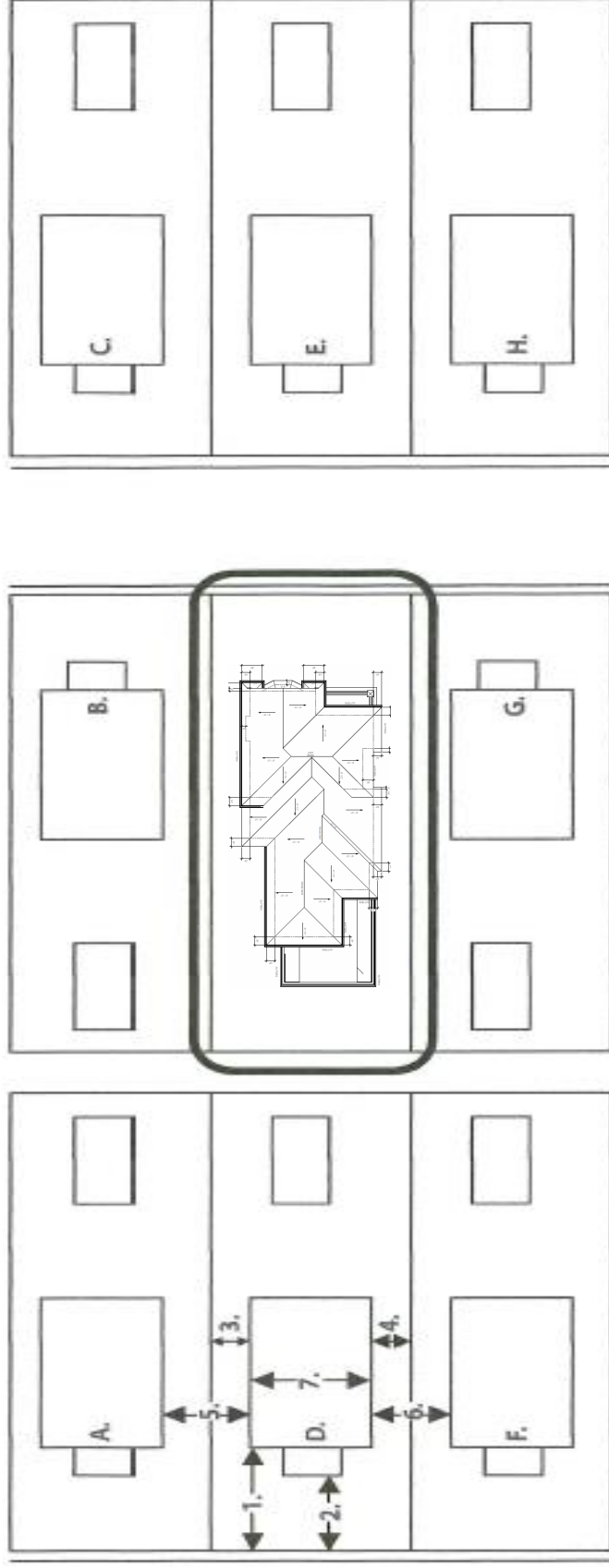
Compatibility Demonstration that compares the proposed structure with existing historic structures in the historic district. This can be any supporting contributing structure in the historic district boundary, not necessarily next door or across the street. This shows the compatibility of the proposed infill by using similar style structures in the same historic district. Photos of existing structures should be of the front facade and free of vegetation. Information such as materials and estimated heights should be included.

Question to be answered:

How will the proposal 'fit' within the neighborhood?

Note: Please do not trespass to gather data. Stay on the public sidewalk or use aerial photographs (such as Google or Bing) to estimate measurements/ distances.

How will the footprint of a proposed structure fit into the existing historic ground context?
 Demonstrate 'fit' of proposed design in the context of the neighboring structures in the same district.



Address	1. Setback to Structure*	2. Setback to Porch* (if applicable)	3. Setback to Left Property Line	4. Setback to Right Property Line	5. Distance Between Structures-Left Side	6. Distance Between Structures-Right Side	7. Structure Width
P. 300 Ryan Ave	32.5'	35'	4'	12.3'	27'	16.7'	29' 10"
A.							
B. 308 Ryan Ave?	36'	38'	16'	8'	28'	16'	28'
C. 307 Ryan Ave	16'	12'	*0'?	8'	0'	16'	45-50'
E. 299 Ryan Ave	32'		8'	14'	16'	30'	45-50'
F.							
G. 292 Ryan Ave	38'	20'	12'	23'	18'	27'	28'

(* From Inside Edge of Sidewalk)

(*307/309 Ryan Ave is a duplex and garage on left side is attached to 312 Ryan Ave Garage which may be one continues duplex? Or triplex?

How will the proposal 'fit' within the neighborhood?

Demonstrate 'fit' of proposed design with three existing contributing structures in the same district. Please include a map showing location.



Address: 35 Irvine Park

Number of floors: 3

Roof Shape: Gable/Turret

Dormers: Yes ☐ No ☒

Main Material: Wood Lap Siding

Secondary Material: Decorative Trim

Porch: Full ☐ Half ☒

Exposed Foundation: Yes ☒ No ☐

Eave Height 24' 1" Ridge Height 51' 5"

Overall Width N/A

Notes:

51' 5" to top of turret

38' 4" to highest

gable ridge



Address: 292 Ryan Ave

Number of floors: 2

Roof Shape: Gable/Hip Porch

Dormers: Yes ☐ No ☒

Main Material: Wood Lap Siding

Secondary Material: Wood Trim

Porch: Full ☒ Half ☐

Exposed Foundation: Yes ☒ No ☐

Eave Height 20' 6" Ridge Height 30' 1"

Overall Width 28'



New Infill 300 Ryan Ave

Number of floors: 2

Roof Shape: Gable/Hip

Dormers: Yes ☐ No ☒

Main Material: Wood Lap Siding

Secondary Material: Wood Trim

Porch: Full ☒ Half ☐

Exposed Foundation: Yes ☒ No ☒

Eave Height 21' 3" Ridge Height 30' 1 7/8"

Overall Width 29' 10"



Address: 308 Ryan Ave?

Number of floors: 2

Roof Shape: Gable/Hip Porch

Dormers: Yes ☐ No ☒

Main Material: Wood Lap Siding

Secondary Material: Wood Shakes

Porch: Full ☒ Half ☐

Exposed Foundation: Yes ☒ No ☐

Eave Height 19' 7" Ridge Height 30' 6"

Overall Width 28'



NEUMILLER RESIDENCE

300 RYAN AVE.
ST. PAUL, MN 55102

Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction techniques, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window sizes are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be flashed and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscaping/grade plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charlez Designs 2020. Do not replicate with out permission (652)428-8200. David Charlez Design retains rights to all plans and detail shown.



DAVID CHARLEZ DESIGNS
18476 KENRICK AVE SUITE 202
LAKEVILLE, MN 55044
TEL: 952.428.8200
EM: Dave@DavidCharlezDesigns.com



BUILDER
Sharkey Design Build
610 Main St. N.
Suite #111
Stillwater, MN 55082

ISSUE
09.08.2020
RE-ISSUE
1/26/2021 4:02:35 PM

PROJECT
Neumiller Residence
300 Ryan Ave
St. Paul, Mn 55102
PROJECT #
SHA-Neumiller
Residence-CD-Rev 1-LMC

DRAWN BY
SMM
DESCRIPTION
Title

a

00

SQ FT BREAKDOWN

SEE FINAL PAGE FOR SQUARE FOOTAGE CALCULATIONS

TYPICAL EXTERIOR MATERIALS

ASPHALT SHINGLES W/
NATURAL SHADOW
ARCHITECTURAL GRADE

(A) 4" EXPOSURE HARDIE LAP
SIDING PER ELEVATION

(B) HARDIE PANEL SMOOTH
PER ELEVATION

(C) BRICK VENEER PER
ELEVATION

INSTALL KICK OUT
FLASHING & TWO
MEMBRANE TAP PAPER
BACKING IN ALL STONE
AREAS

5/4" x 4" HARDIE WINDOW &
DOOR WRAPS PER
ELEVATION

5/4" x 6" HARDIE CORNER
BOARDS PER ELEVATION

1X6 COMPOSITE FASCIA
PER ELEVATION

ALUMINIUM VENTED
SOFFITS PER ELEVATION

EXTERIOR WINDOW COLOR
TO BE BLACK PER
ELEVATION

HOUSE WRAP AND/OR TAR
PAPER IN PROPER FORM
ON ENTIRE EXTERIOR

BRICK VENEER ATTACHMENT

1. VERIFY COMPLIANCE WITH INSPECTOR WHEN PAPER IS COMPLETE IN ONE WINDOW AREA.

2. WEATHER RESISTIVE BARRIERS:
INCLUDE 2 LAYERS OF GRADE D
PAPER WITH WEATHER RESISTIVE
BARRIERS OVER WOOD BASED
SHEATHING. 15 OR 15# IS NOT
GRADE D PAPER. LAP VERTICAL
JOINTS IN PAPER AT LEAST 2
INCHES.

3. EXTERIOR OPENINGS FLASHED:
FLASH ALL EXTERIOR OPENINGS.
THE NAILING FLANGE ON WINDOWS
WILL NOT BE ACCEPTED FOR
FLASHING UNLESS THE
MANUFACTURERS INSULATION
INSTRUCTIONS ARE PROVIDED ON
SITE STATING THE FLANGE IS
ACCEPTABLE AS FLASHING.

4. WINDOW FLANGES:
INSTALL PAPER ON BOTTOM AND
SIDES OF WINDOW **BEFORE**
INSTALLING WINDOW. PAPER
LOCATED ON TOP OF WINDOW
SHALL GO OVER THE WINDOW
FLASHING. INSTALL A SECOND
LAYER OF PAPER OVER SIDE
WINDOW FLANGES.

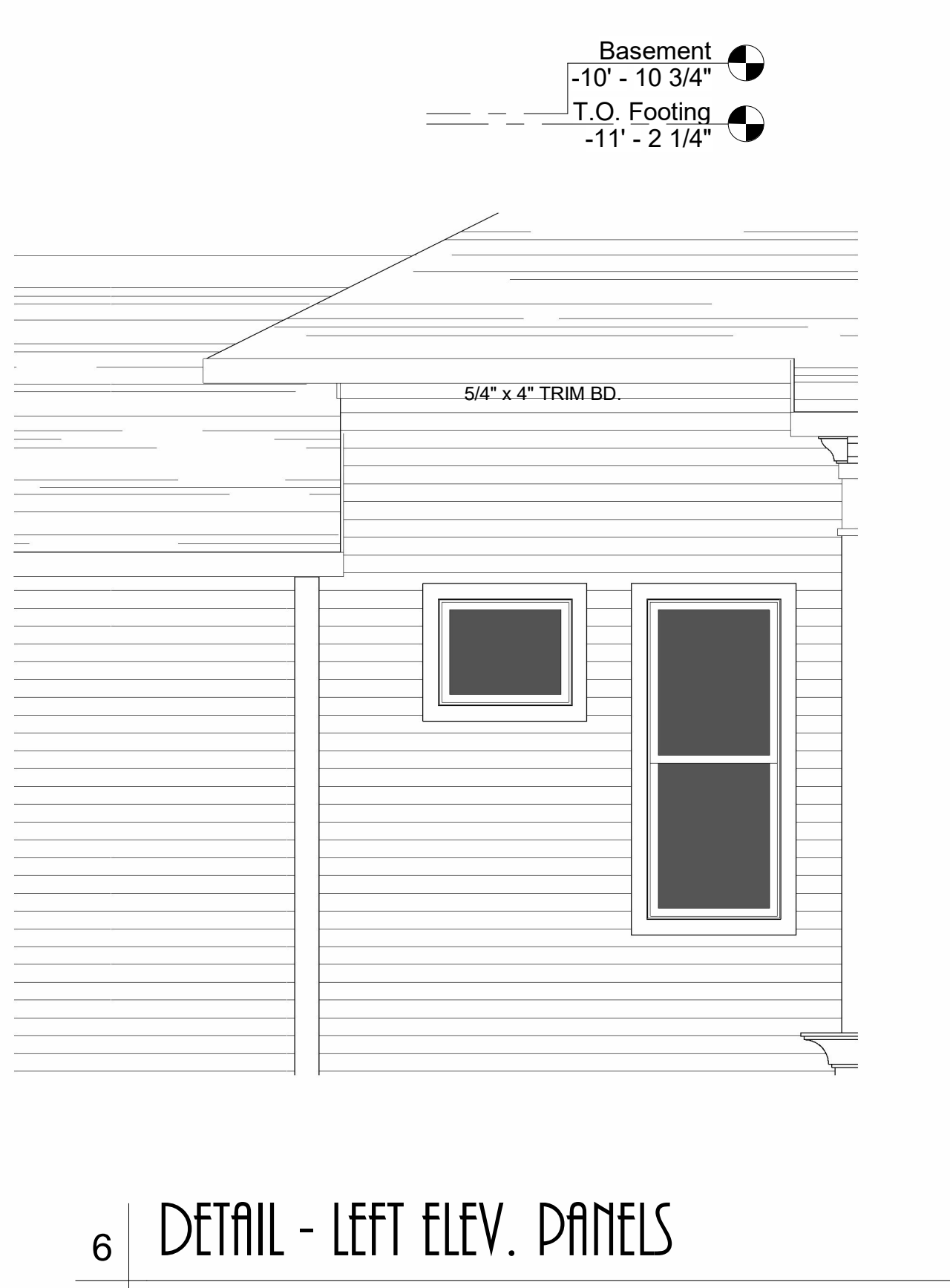
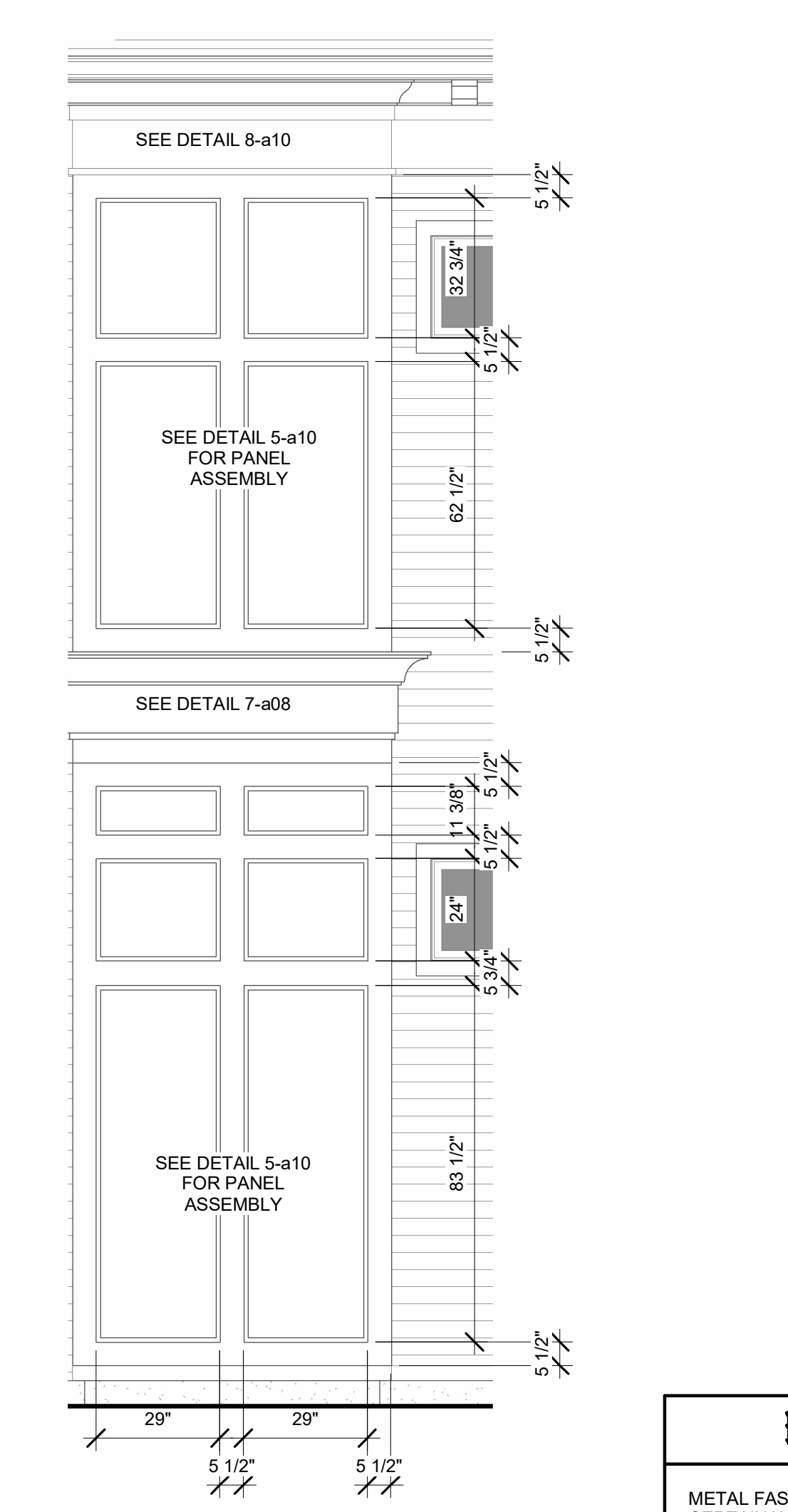
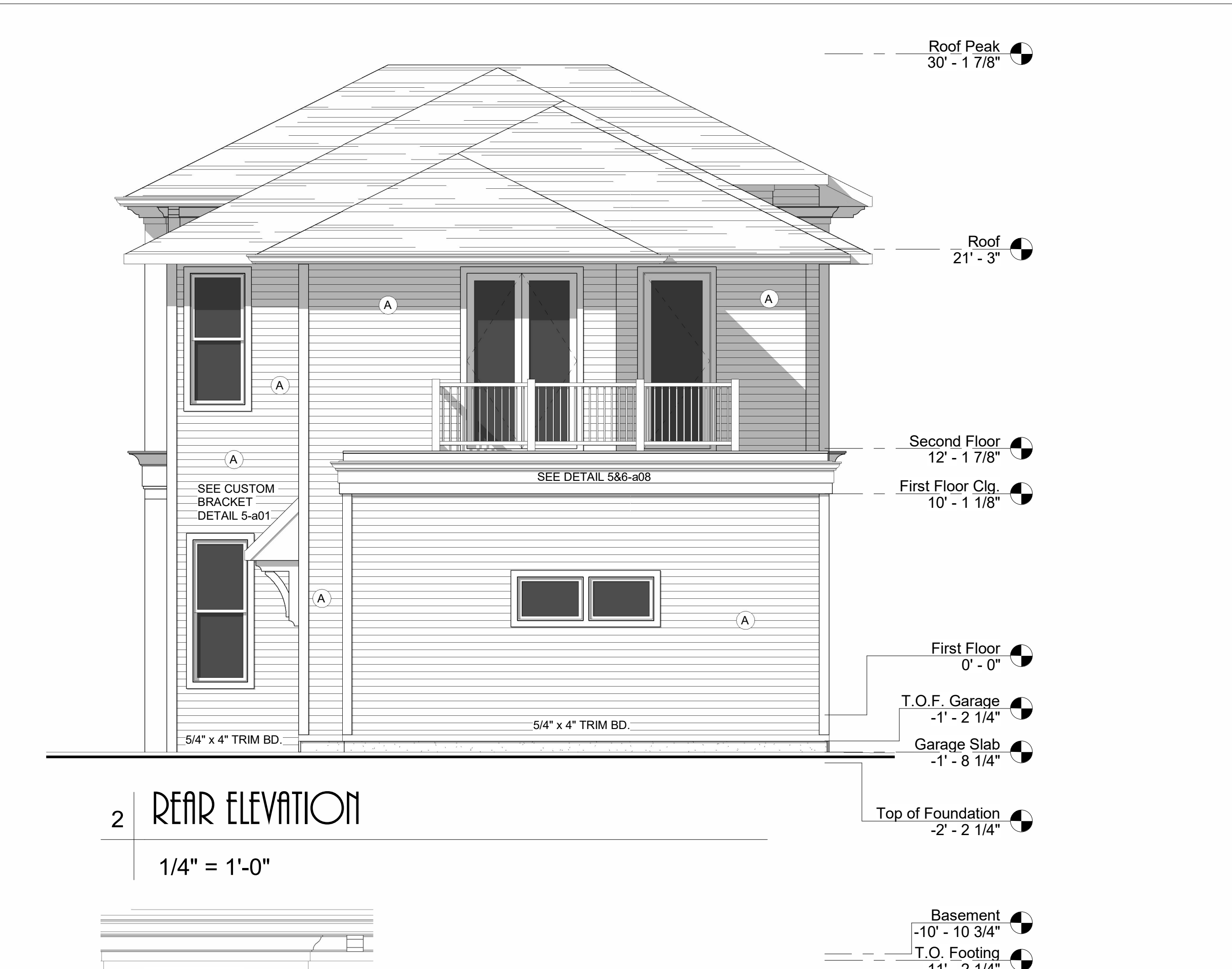
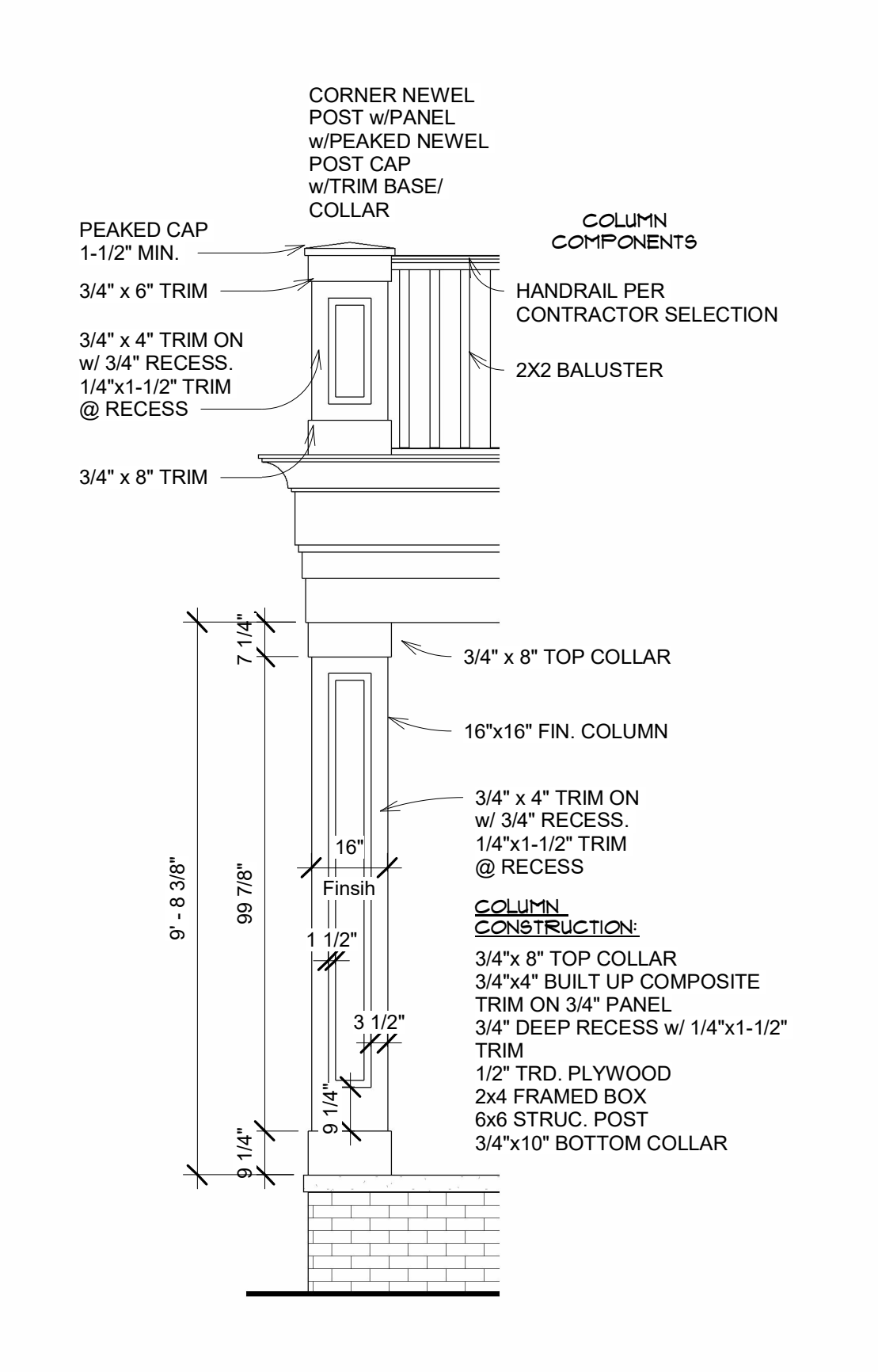
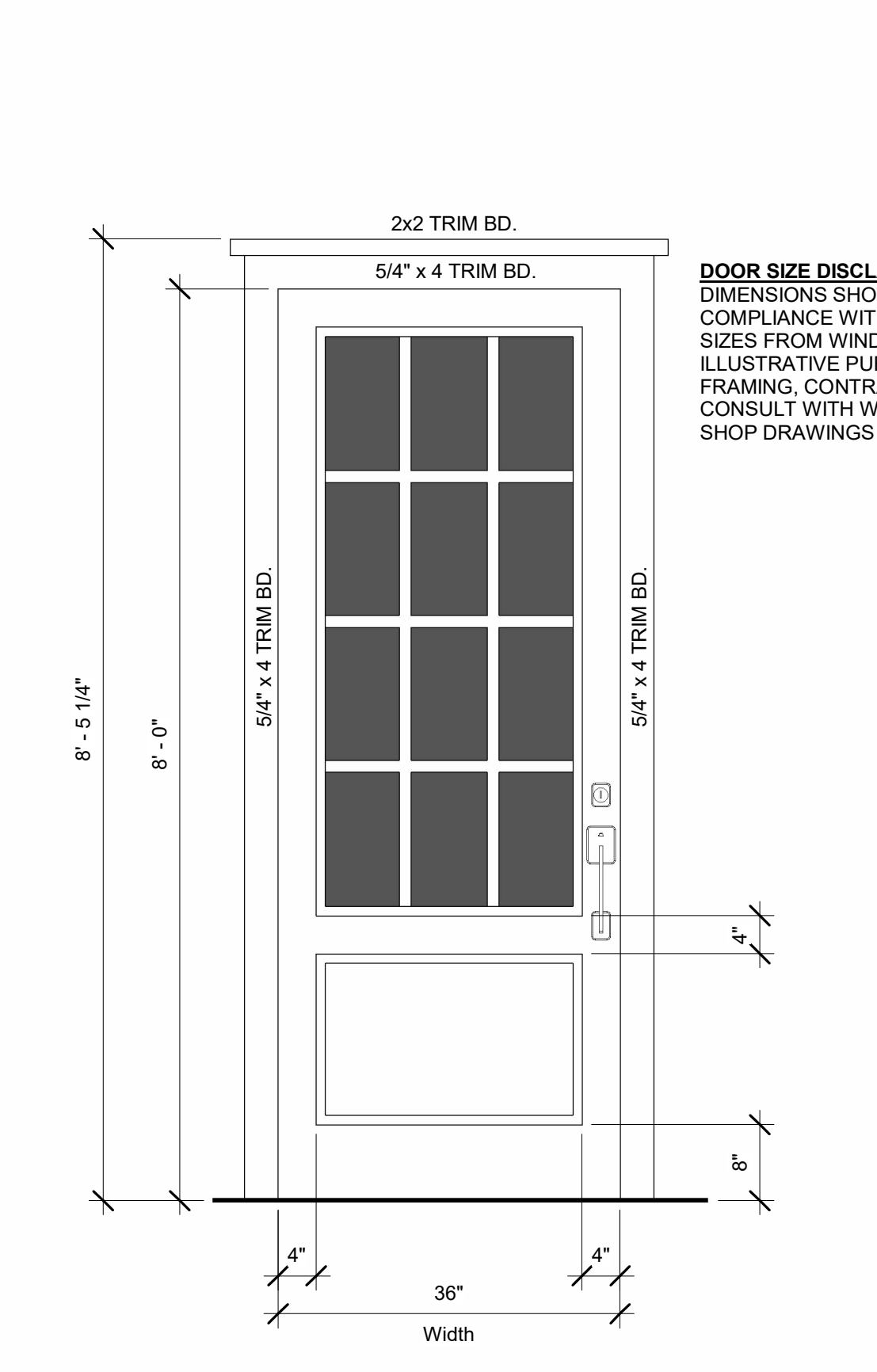
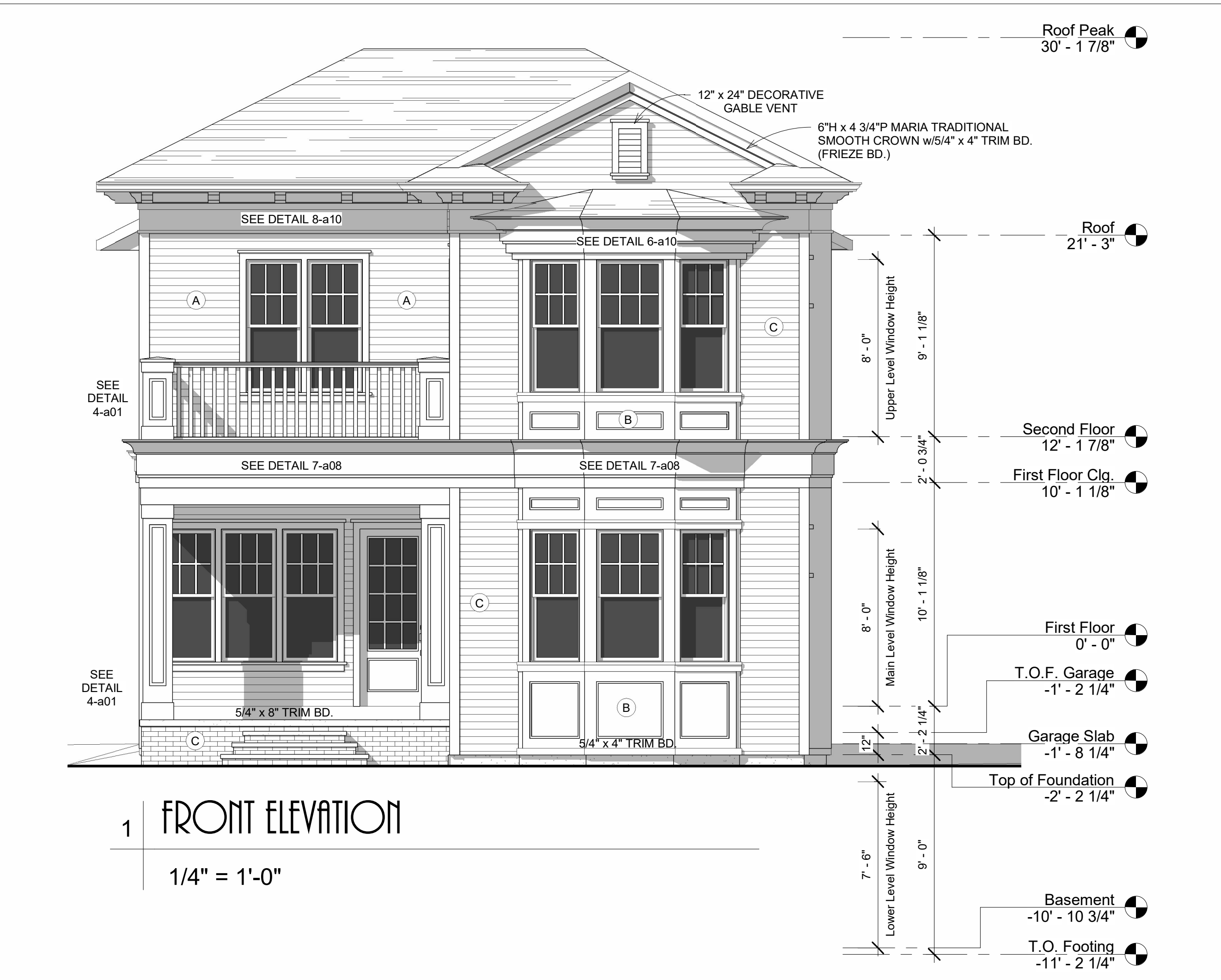
5. WINDOW OPENINGS:
WATERPROOF WINDOW OPENINGS
WITH CAULK, TAPE, OR LIKE
MATERIAL. ALL OTHER OPENINGS
MUST BE WATERPROOFED WITH
CAULK, TAPE, OR LIKE MATERIAL.

6. PAPER ENTIRE WALL:
BUILDING PAPER MUST BE
INSTALLED ON ALL EXTERIOR
WALLS INCLUDING WITHIN THE
SOFFIT. INSTALL PAPER IN SHINGLE
FASHION TO ENSURE PROPER
WATER DRAINAGE.

7. FLASHING:
AT ALL WALL/ROOF INTERSECTIONS
WHERE ROOF LINE DOES NOT
EXTEND PAST WALL, KICKOUT
FLASHING IS REQUIRED. ALL OTHER
OPENINGS MUST BE FLASHED TO
ENSURE PROPER
WATERPROOFING.

8. WEEP SCREED:
 PROVIDE A CORROSION RESISTANT
 WEEP SCREED WITH A MINIMUM
 VERTICAL ATTACHMENT FLANGE OF
 3-1/2" AT OR BELOW THE
 FOUNDATION PLATE. TO ENSURE
 TRAPPED WATER HAS PROPER
 DRAINAGE TO THE EXTERIOR, SCREED
 SHALL BE A TYPE THAT ALLOWS
 FOR DRAINAGE AND MUST BE
 PLACED A MINIMUM OF 4" ABOVE
 EARTH OR 2" ABOVE CONCRETE.
 PLACE WEEP SCREEDS JUST
 BELOW PLATE LINE. IF PAPER HAS
 BEEN INSTALLED ON FOUNDATION,
 EXTEND WEEP SCREED ONTO
 FOUNDATION. ALL BRICK MUST NOT
 EXTEND BELOW, BUT MUST COVER,
 ALL LATH AND PAPER.

**DAVID CHARLEZ DESIGNS DOES NOT
ACCEPT ANY RESPONSIBILITY FOR
BRICK INSTALLATION OR
WATERPROOFING TECHNIQUES.
REFER TO MANUFACTURER AND
INSTALLERS FOR PREFERRED
INSTALLATION METHODS WHICH
WILL DIFFER FROM WHAT IS SHOWN.**



ELEVATION NOTES:

METAL FASCIAS AND ROOFS HAVE THE TENDENCY TO OIL CAN UNDER CERTAIN WEATHER CONDITIONS. CONSULT CONTRACTOR FOR METAL GAUGE THICKNESS OPTIONS TO REDUCE WEATHER RELATED CONCERNS (BUBBLING, WARPING, ETC.)

GENERAL CONTRACTOR TO ENSURE THAT ALL ROOFING PENETRATIONS (VENT PIPES, EXHAUST FANS, FURNACE/AC PIPES, ETC.) ARE PLACED IN OBSCURE LOCATIONS ON ROOF TO MINIMIZE THE SIGHT OF PENETRATIONS FOR MAIN ARCHITECTURAL VIEWS OF HOME.

FOUNDATION WALLS DISCLOSURE:

FOUNDATION WALL HEIGHTS ARE SUBJECT TO
CHANGE DUE TO GRADE AND SITE CONDITIONS.

ALL FOUNDATION WALL HEIGHTS MUST BE
VERIFIED ON SITE BY THE CONTRACTOR AND
SITE SURVEYOR PRIOR TO CONSTRUCTION.

FOUNDATION CONTRACTOR WILL STEP FOUNDATION WALLS AS NECESSARY TO MAINTAIN PROPER FROST PROTECTION (42" BELOW GRADE) IN ACCORDANCE TO CURRENT MINNESOTA CODE, REGULATIONS, AND ZONING.

Notes: Dimensions, details and conformances to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or a licensed professional engineer. The designer is not responsible for items including, but not limited to: construction materials, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/moisture or other designs, specification or construction issues. It is recommended that the contractor review all plans for structural integrity and verify that the home meets code for extraordinary wind and other natural stresses such as flooding, snowload or substantial ground shaking. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window sizes are approximate rough opening. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Size of materials and products reflect applicable industry standards and in no way indicate a specific manufacturer. All building components to be installed or constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscape site plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charles Designs 2020. Do not replicate with out permission. 05/24/2020

SQ FT BREAKDOWN

SEE FINAL PAGE FOR SQUARE FOOTAGE CALCULATIONS

TYPICAL EXTERIOR MATERIALS
ASPHALT SHINGLES W/ NATURAL SHADOW ARCHITECTURAL GRADE
<div>A</div> 4" EXPOSURE HARDELAP SIDING PER ELEVATION
<div>B</div> HARDEIPANEL SMOOTH PER ELEVATION
<div>C</div> BRICK VENEER PER ELEVATION
INSTALL KICK OUT FLASHING & TWO MEMBRANE TAR PAPER BACKING IN ALL STONE AREAS
5/4" x 4" HARDIE WINDOW & DOOR WRAPS PER ELEVATION
5/4" x 6" HARDIE CORNER BOARDS PER ELEVATION
1X6 COMPOSITE FASCIA PER ELEVATION
ALUMINIUM VENTED SOFFITS PER ELEVATION
EXTERIOR WINDOW COLOR TO BE BLACK PER ELEVATION
HOUSE WRAP AND/OR TAR PAPER IN PROPER FORM ON ENTIRE EXTERIOR
BRICK VENEER ATTACHMENT

1. VERIFY COMPLIANCE WITH INSPECTOR WHEN PAPER IS COMPLETE IN ONE WINDOW AREA.
2. WEATHER RESISTIVE BARRIERS: INCLUDE 2 LAYERS OF GRADE D PAPER WITH WEATHER RESISTIVE BARRIERS OVER WOOD BASED SHEATHING. 15 OR 15# IS NOT GRADE D PAPER. LAP VERTICAL JOINTS IN PAPER AT LEAST 2 INCHES.
3. EXTERIOR OPENINGS FLASHED: FLASH ALL EXTERIOR OPENINGS. THE NAILING FLANGE ON WINDOWS **WILL NOT** BE ACCEPTED FOR FLASHING UNLESS THE MANUFACTURERS INSULATION INSTRUCTIONS ARE PROVIDED ON SITE STATING THE FLANGE IS ACCEPTABLE AS FLASHING.
4. WINDOW FLANGES: INSTALL PAPER ON BOTTOM AND SIDES OF WINDOW **BEFORE** INSTALLING WINDOW. PAPER LOCATED ON TOP OF WINDOW SHALL GO OVER THE WINDOW FLASHING. INSTALL A SECOND LAYER OF PAPER OVER SIDE WINDOW FLANGES.
5. WINDOW OPENINGS: WATERPROOF WINDOW OPENINGS WITH CAULK, TAPE, OR LIKE MATERIAL. ALL OTHER OPENINGS MUST BE WATERPROOFED WITH CAULK, TAPE, OR LIKE MATERIAL.
6. PAPER ENTIRE WALL: BUILDING PAPER MUST BE INSTALLED ON ALL EXTERIOR WALLS INCLUDING WITHIN THE SOFFIT. INSTALL PAPER IN SHINGLE FASHION TO ENSURE PROPER WATER DRAINAGE.
7. FLASHING: AT ALL WALL/ROOF INTERSECTIONS WHERE ROOF LINE DOES NOT EXTEND PAST WALL, KICKOUT FLASHING IS REQUIRED. ALL OTHER OPENINGS MUST BE FLASHED TO ENSURE PROPER WATERPROOFING.
8. WEEP SCREED: PROVIDE A CORROSION RESISTANT WEEP SCREED WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2" AT OR BELOW THE FOUNDATION PLATE. TO ENSURE TRAPPED WATER HAS PROPER DRAINAGE TO EXTERIOR, SCREED SHALL BE A TYPE THAT ALLOWS FOR DRAINAGE AND MUST BE PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE CONCRETE. PLACE WEEP SCREEDS JUST BELOW PLATE LINE. IF PAPER HAS BEEN INSTALLED ON FOUNDATION, EXTEND WEEP SCREED ONTO FOUNDATION. ALL BRICK MUST NOT EXTEND BELOW, BUT MUST COVER, ALL LATH AND PAPER.

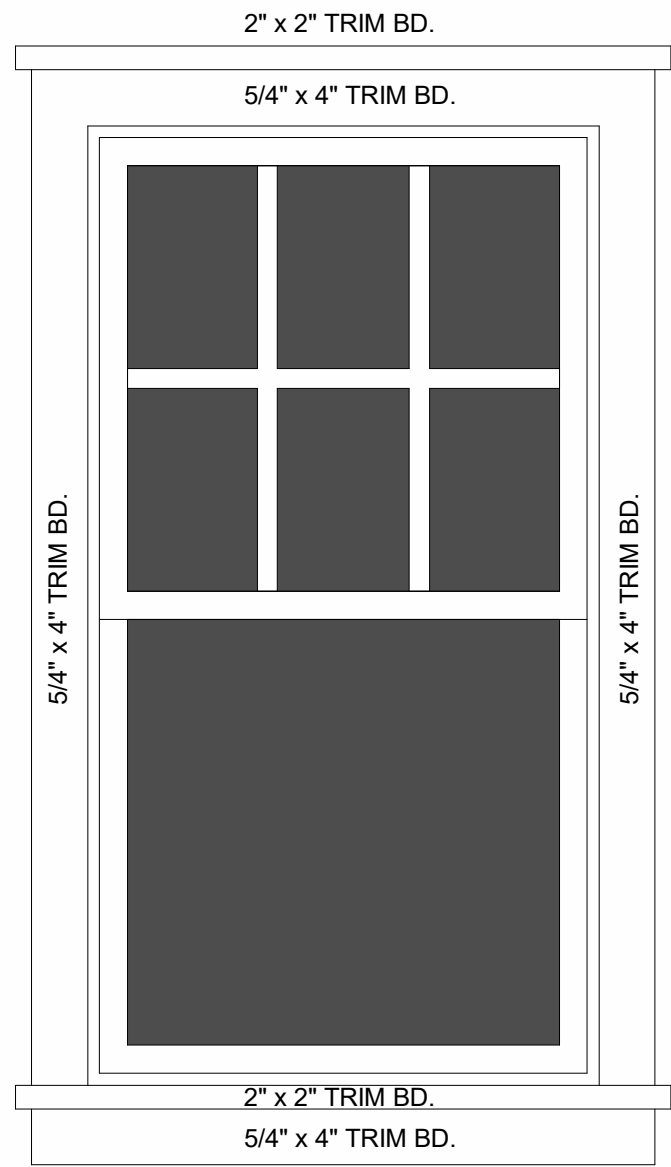
DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR BRICK INSTALLATION OR WATERPROOFING TECHNIQUES. REFER TO MANUFACTURER AND INSTALLERS FOR PREFERRED INSTALLATION METHODS WHICH WILL DIFFER FROM WHAT IS SHOWN.



1

LEFT ELEVATION

1/4" = 1'-0"



3

DETAIL - FRONT ELEV. WINDOW TRIM

1" = 1'-0"



2

RIGHT ELEVATION

1/4" = 1'-0"

ELEVATION NOTES:

METAL FASCIAS AND ROOFS HAVE THE TENDENCY TO OIL CAN UNDER CERTAIN WEATHER CONDITIONS. CONSULT CONTRACTOR FOR METAL GAUGE THICKNESS OPTIONS TO REDUCE WEATHER RELATED CONCERNS (BUBBLING, WARPING, ETC.)

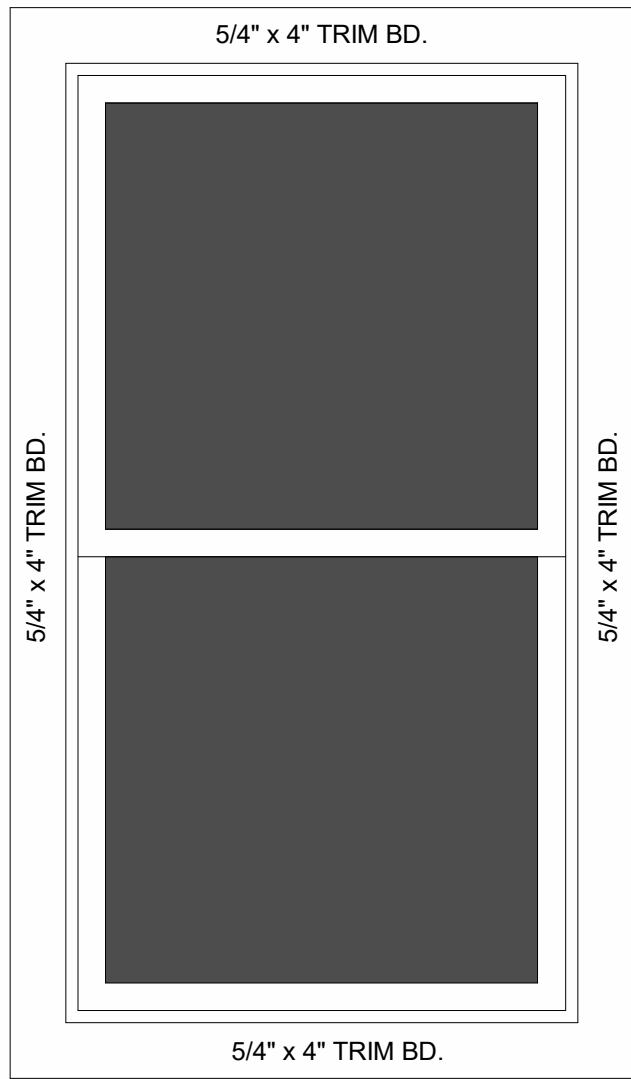
GENERAL CONTRACTOR TO ENSURE THAT ALL ROOFING PENETRATIONS (VENT PIPES, EXHAUST FANS, FURNACE/AC PIPES, ETC.) ARE PLACED IN OBSCURE LOCATIONS ON ROOF TO MINIMIZE THE SIGHT OF PENETRATIONS FOR MAIN ARCHITECTURAL VIEWS OF HOME.

FOUNDATION WALLS DISCLOSURE:

FOUNDATION WALL HEIGHTS ARE SUBJECT TO CHANGE DUE TO GRADE AND SITE CONDITIONS.

ALL FOUNDATION WALL HEIGHTS MUST BE VERIFIED ON SITE BY THE CONTRACTOR AND SITE SURVEYOR PRIOR TO CONSTRUCTION.

FOUNDATION CONTRACTOR WILL STEP FOUNDATION WALLS AS NECESSARY TO MAINTAIN PROPER FROST PROTECTION (42" BELOW GRADE) IN ACCORDANCE TO CURRENT MINNESOTA CODE, REGULATIONS, AND ZONING.



4

DETAIL - STD. WINDOW TRIM

1" = 1'-0"

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PROJECT
Neumiller Residence
300 Ryan Ave
St. Paul, Mn 55102

PROJECT #
SHA-Neumiller
Residence-CD-Rev 1- LMC

DRAWN BY
SMM

DESCRIPTION
Left & Right Elevations

a

02

Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction techniques, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be consulted to construct the home. All door and window sizes are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be flashed and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscaping/site plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. c David Charlez Designs 2020. Do not replicate with out permission (952)428-8200. David Charlez Design retains rights to all plans and detail shown.

FOUNDATION PLAN NOTES:

DIMENSIONS ARE FROM FACE OF CONCRETE TO FACE OF CONCRETE

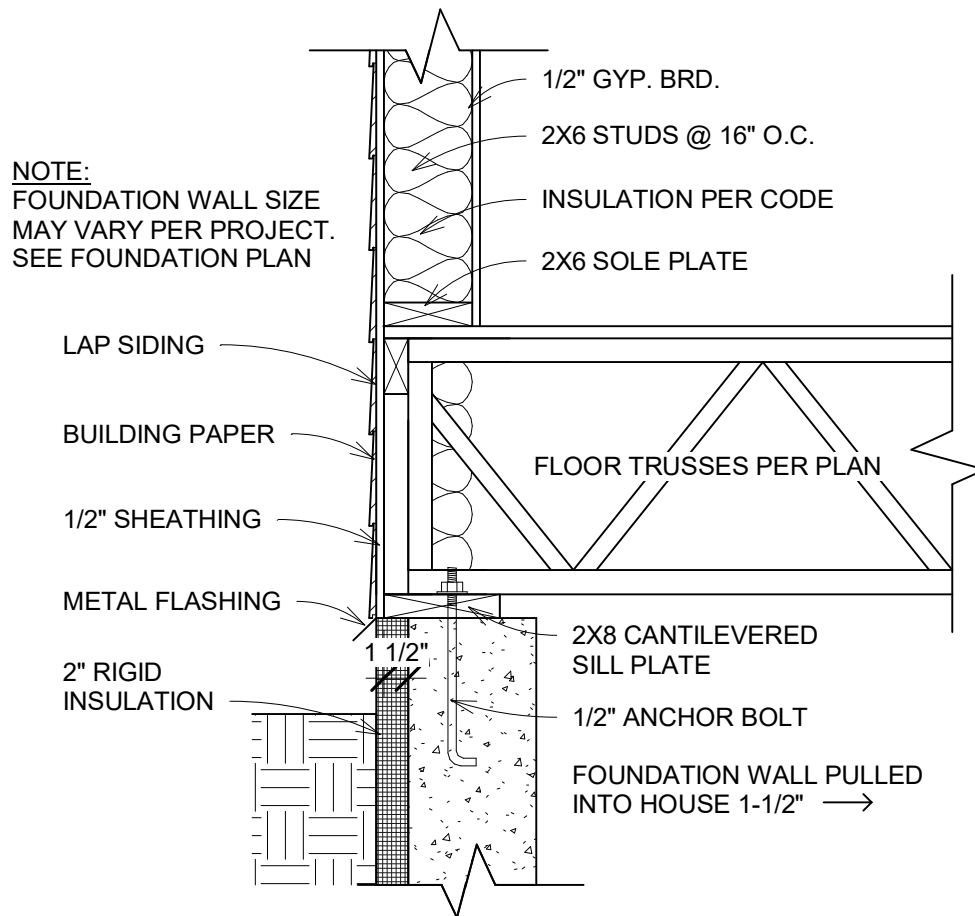
ALL WALLS SHOWN ARE POURED CONCRETE. ALL WALLS, FOOTINGS, AND PADS TO HAVE REBAR AS SPECIFIED BY CODE AND A LICENSED STRUCTURAL ENGINEER.

GRAYED OUT FOUNDATION WALLS ARE PULLED INTO HOUSE 1-1/2" w/ A CANTILEVERED 2X8 SILL PLATE

REFER TO SILL PLATE AND FLOOR DETAILS LOCATED ON PAGE a03 AND STRUCTURAL DRAWINGS FOR ADDITIONAL DETAILS

2X8 CANTILEVERED SILL PLATE

NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PERFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



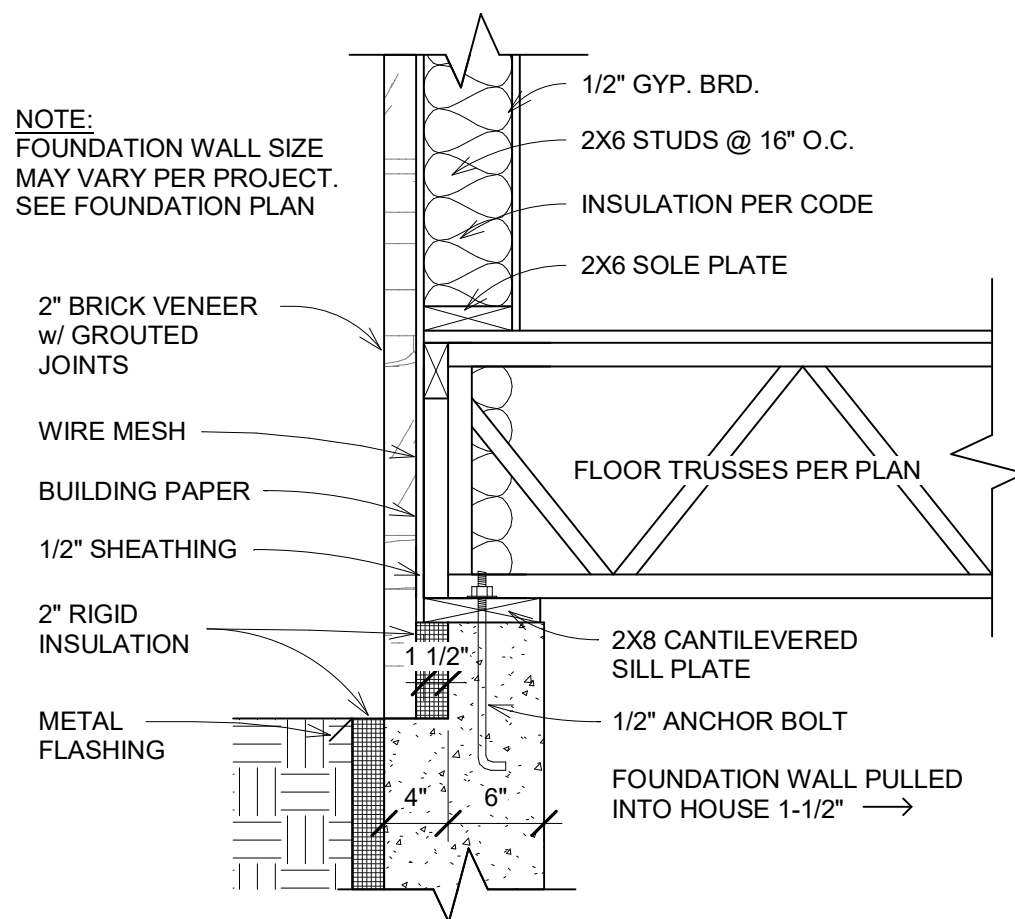
NOTE: DRAWINGS HAVE NOT BEEN DRAWN OR APPROVED BY A STRUCURAL ENGINEER. SUBJECT TO CHANGE. ALL ITEMS SHOWN MUST BE VERIFIED WITH STRUCTURAL ENGINEER FOR SAFETY AND CODE COMPLIANCE BEFORE, DURING, AND AFTER CONSTRUCTION. DAVID CHARLEZ DESIGNS DOES NOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURAL MEMBERS NOT PROPERLY ENGINEERED AS REQUIRED FOR STRUCTURE.

2 FLOOR DETAIL - 2X8 SILL PLATE

1" = 1'-0"

2X8 SILL PLATE W/BRICK LEDGE

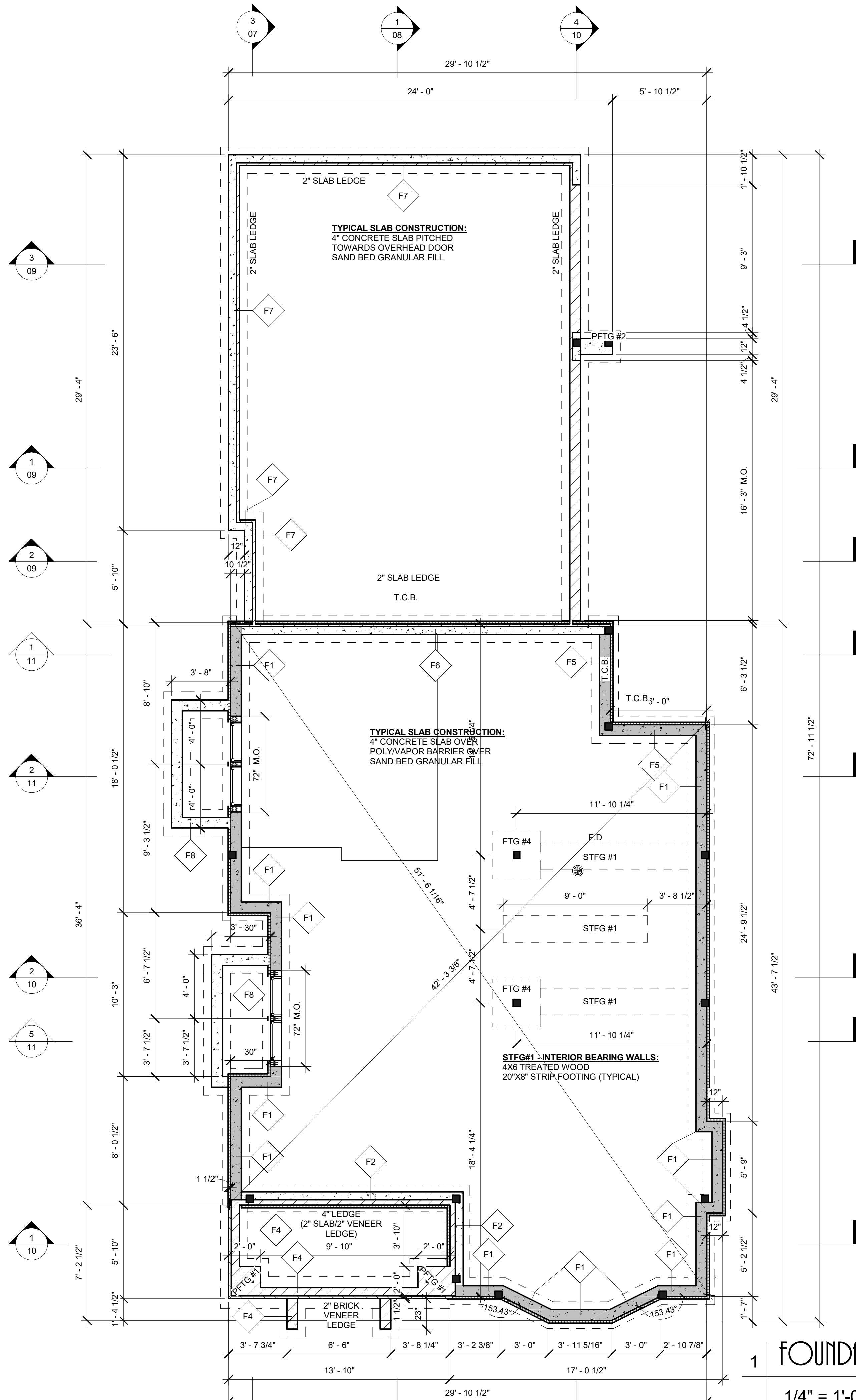
NOTE: ALL APPLICABLE AREAS ON THIS PLAN TO BE BUILT ACCORDING TO THIS DETAIL. FOR AREAS THAT DO NOT APPLY TO THIS DETAIL, REFERENCE ANOTHER DETAIL PROVIDED ON PLANS OR CONSULT WITH GENERAL CONTRACTOR FOR PERFERRED CONSTRUCTION METHODS. ALL DETAILS TO BE VERIFIED AND CONFIRMED WITH GENERAL CONTRACTOR.



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3 FLOOR DETAIL - 2X8 SILL PLATE W/ BRICK LEDGE

1" = 1'-0"



FOUNDATION WALLS DISCLOSURE:

FOUNDATION WALL HEIGHTS ARE SUBJECT TO CHANGE DUE TO GRADE AND SITE CONDITIONS.

ALL FOUNDATION WALL HEIGHTS MUST BE VERIFIED ON SITE BY THE CONTRACTOR AND SITE SURVEYOR PRIOR TO CONSTRUCTION.

FOUNDATION CONTRACTOR WILL STEP FOUNDATION WALLS AS NECESSARY TO MAINTAIN PROPER FROST PROTECTION (42" BELOW GRADE) IN ACCORDANCE TO CURRENT MINNESOTA CODE, REGULATIONS, AND ZONING.

FOUNDATION WALL LEGEND:

- F1 9'-0"x8" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING - PULLED IN 1-1/2" SO EXT. INSULATION IS FLUSH w/EXT. SHEATHING - TYP. FND. WALL
- F2 9'-0"x10" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING w/4" LEDGE (2" PORCH SLAB & 2" INSULATION) - FRONT PORCH COMMON WALL
- F3 -N/A- REMOVED FROM PLAN
- F4 3'-6"x8" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING - FRONT PORCH FND. WALL
- F5 10'-0"x8" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING - PULLED IN 1-1/2" SO EXT. INSULATION IS FLUSH w/EXT. SHEATHING - T.C.B. FND. WALL
- F6 10'-0"x8" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING w/2" SLAB LEDGE - GARAGE COMMON FND. WALL
- F7 3'-6"x8" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING w/2" SLAB LEDGE - GARAGE FND. WALL
- F8 VARIES PER GRADEx8" POURED CONCRETE FOUNDATION ON 20"x8" CONCRETE FOOTING - EGRESS PIT FND. WALL

CONCRETE PIER FOOTING LEGEND

- PFTG #1 24"x24"x42" POURED CONCRETE PIER ON 36"x36"x12" CONCRETE FOOTING - REBAR PER CODE
- PFTG #2 12"x24"x42" POURED CONCRETE PIER ON 24"x36"x12" CONCRETE FOOTING - REBAR PER CODE

CONCRETE PAD FOOTING LEGEND

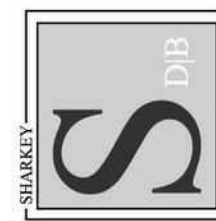
- FTG #1 16"x16"x8" POURED CONCRETE PAD FOOTING REBAR PER CODE
- FTG #2 24"x24"x12" POURED CONCRETE PAD FOOTING REBAR PER CODE
- FTG #3 30"x30"x12" POURED CONCRETE PAD FOOTING REBAR PER CODE
- FTG #4 36"x36"x12" POURED CONCRETE PAD FOOTING REBAR PER CODE
- FTG #5 42"x42"x12" POURED CONCRETE PAD FOOTING REBAR PER CODE
- FTG #6 48"x48"x12" POURED CONCRETE PAD FOOTING REBAR PER CODE

1 FOUNDATION PLAN

1/4" = 1'-0"

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Neumiller Residence
300 Ryan Ave
St. Paul, Mn 55102
PROJECT #
SHA-Neumiller
Residence-CD-Rev 1-LMC

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SMM
DESCRIPTION
Foundation Plan

a

03

LOWER LEVEL NOTES:

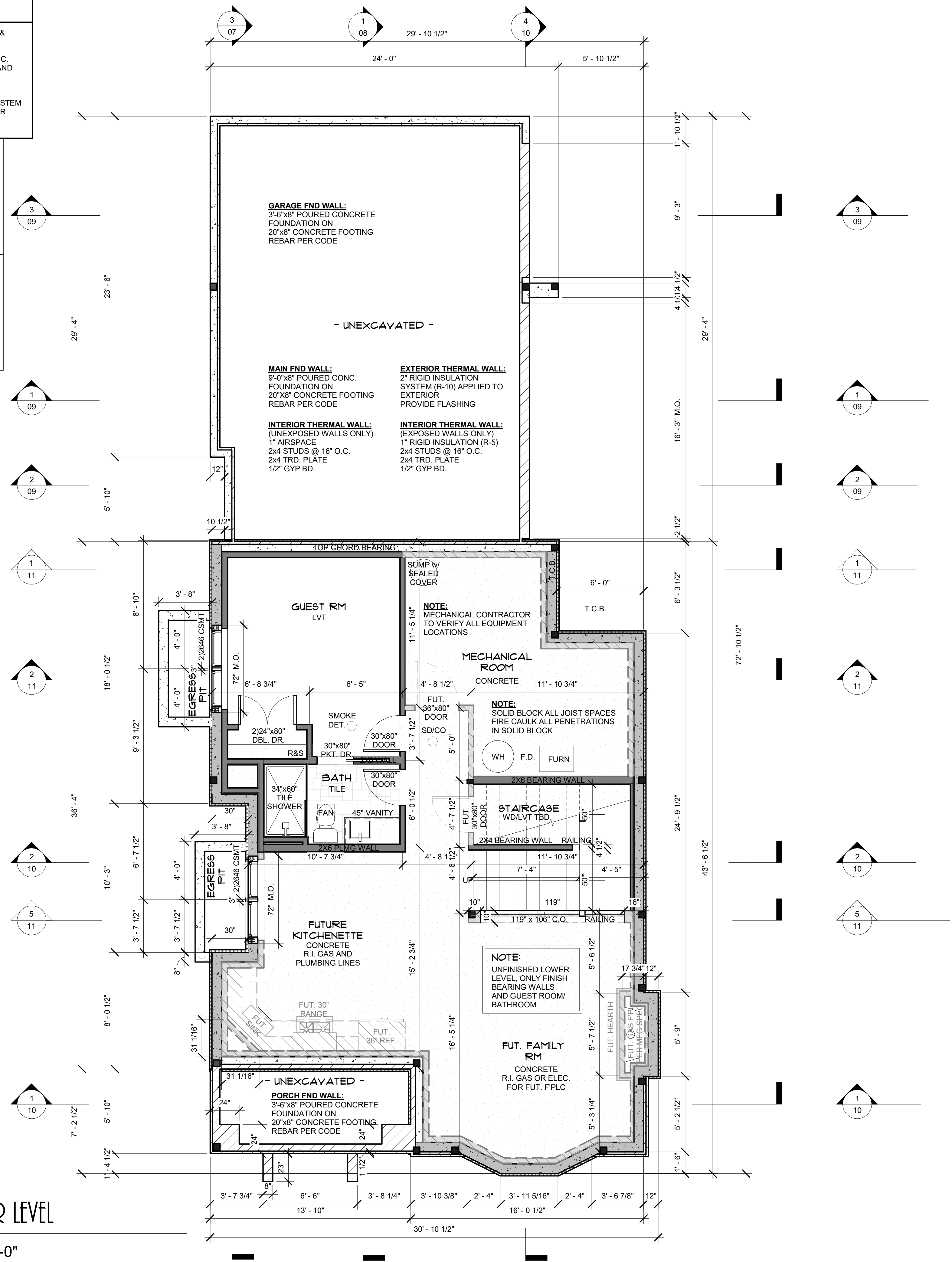
DIMENSIONS ARE FROM FACE OF CONCRETE & FACE OF FRAMING TO CENTER OF STUD.

FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C. FLOOR SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 8'-10" UNLESS NOTED SET WINDOW HDRS FLUSHED INTO FLOOR SYSTEM T.O. WINDOW HEIGHT SET @ 7'-6" FROM FLOOR UNLESS NOTED

WINDOW NOTE:
ANDERSEN WINDOWS (100 SERIES) ARE CALLED OUT BY WINDOW FRAME SIZE IN FEET. EXTERIOR WINDOW COLOR TO BE BLACK PER ELEVATION. WINDOW MANUFACTURER TO SPECIFY CLOSEST MATCHING SIZES & VERIFY EGRESS COMPLIANCE AND PROVIDE WINDOW SCHEDULE WITH ROUGH OPENINGS. WINDOW & DOOR HEADERS TO BE 2x10 UNLESS NOTED (PER MFG. SPECS.)

STRUCTURAL NOTE:
BEAM SIZES & ALL STRUCTURAL CONSIDERATIONS SPECIFIED ON THIS SET OF PLANS MUST BE REVIEWED BY THE FLOOR SYSTEM DESIGNER OR BY A STRUCTURAL ENGINEER AND CONFIRMED TO BE STRUCTURALLY SOUND. BASED ON THAT REVIEW IF THERE ARE ANY CHANGES OR ADDED BEAM SIZES, LOCATION, ETC. THESE CHANGES MUST BE BROUGHT TO THE GENERAL CONTRACTORS ATTENTION.



STRUCTURAL NOTES:

NOT AN OFFICIAL STRUCTURAL PLAN. ALL BEAMS, HEADERS, AND GIRDER TRUSSES SHOWN MUST BE SPECIFIED AND DETERMINED BY A LICENSED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DOCUMENTS PROVIDED BY ENGINEER FOR FINAL LOCATIONS, SIZES, AND SPECS.

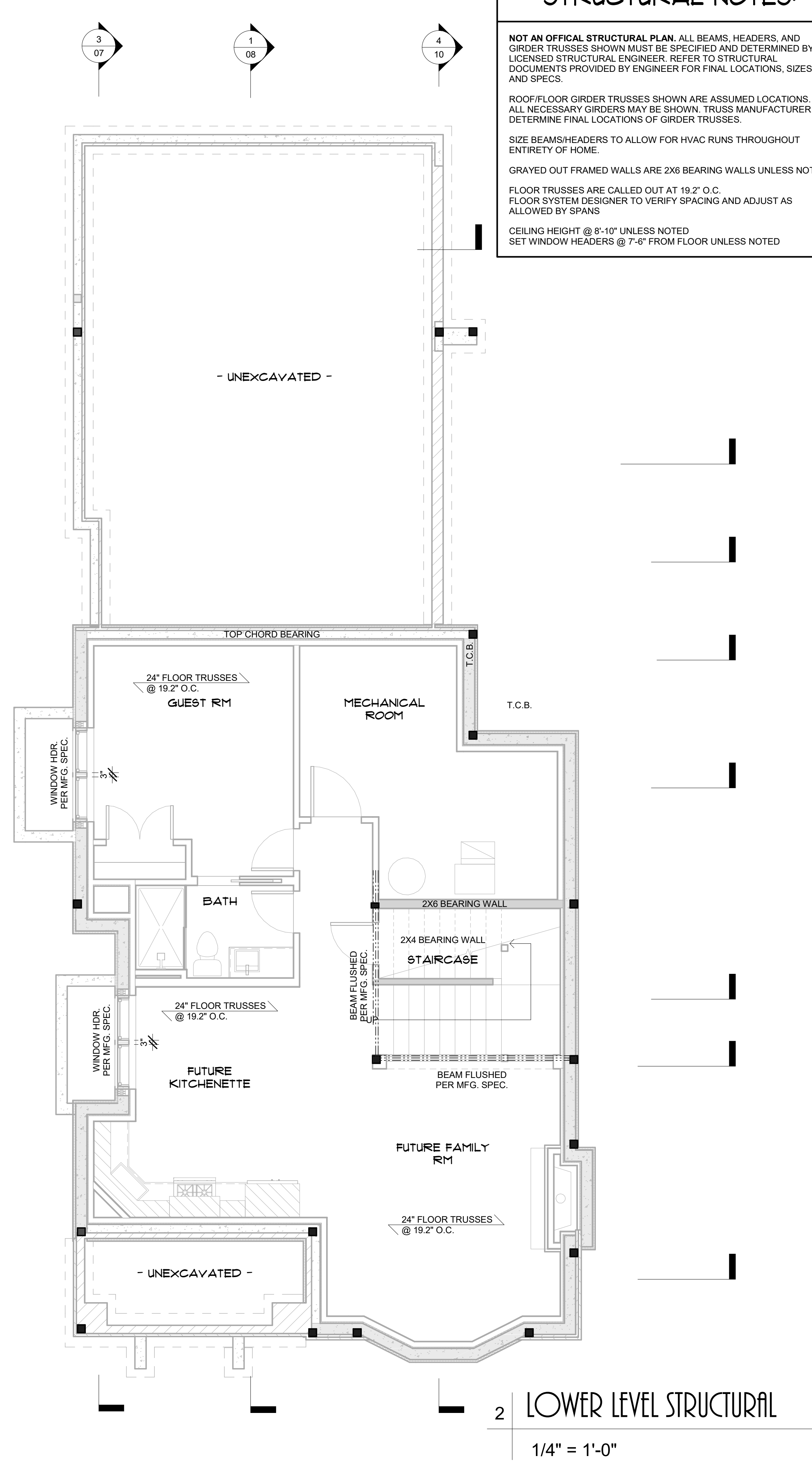
ROOF/FLOOR GIRDER TRUSSES SHOWN ARE ASSUMED LOCATIONS. NOT ALL NECESSARY GIRDERS MAY BE SHOWN. TRUSS MANUFACTURER TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

SIZE BEAMS/HEADERS TO ALLOW FOR HVAC RUNS THROUGHOUT ENTIRETY OF HOME.

GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C. FLOOR SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 8'-10" UNLESS NOTED SET WINDOW HEADERS @ 7'-6" FROM FLOOR UNLESS NOTED



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PROJECT
Neumiller Residence
300 Ryan Ave
St. Paul, Mn 55102

PROJECT #
SHA-Neumiller
Residence-CD-Rev 1-LMC

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SMM

DESCRIPTION
Lower Level

Notes: Dimensions, details and conformation to all local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items including, but not limited to: construction techniques, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/mildew or other designs, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind or other natural stresses such as flooding, snowfall or substandard bearing soil. All structural members on the plans should be verified by the manufacturer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to construct the home. All door and window size are approximate rough openings. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local code. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with local building codes. Optional items may be shown on the home, within the landscaping/site plan or in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Charlez Designs 2020. Do not replicate with out permission (852428-8200). David Charlez Design retains rights to all plans and detail shown.

<h1 style="text-align: center;">MAIN LEVEL NOTES:</h1>
<p>DIMENSIONS ARE FROM FACE OF STUD TO CENTER OF STUD</p> <p>FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.</p> <p>FLOOR SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS</p> <p>CEILING HEIGHT @ 10'-1 1/8" UNLESS NOTED</p> <p>SET WINDOW HDRS @ 8'-0" FROM FLOOR UNLESS NOTED</p>

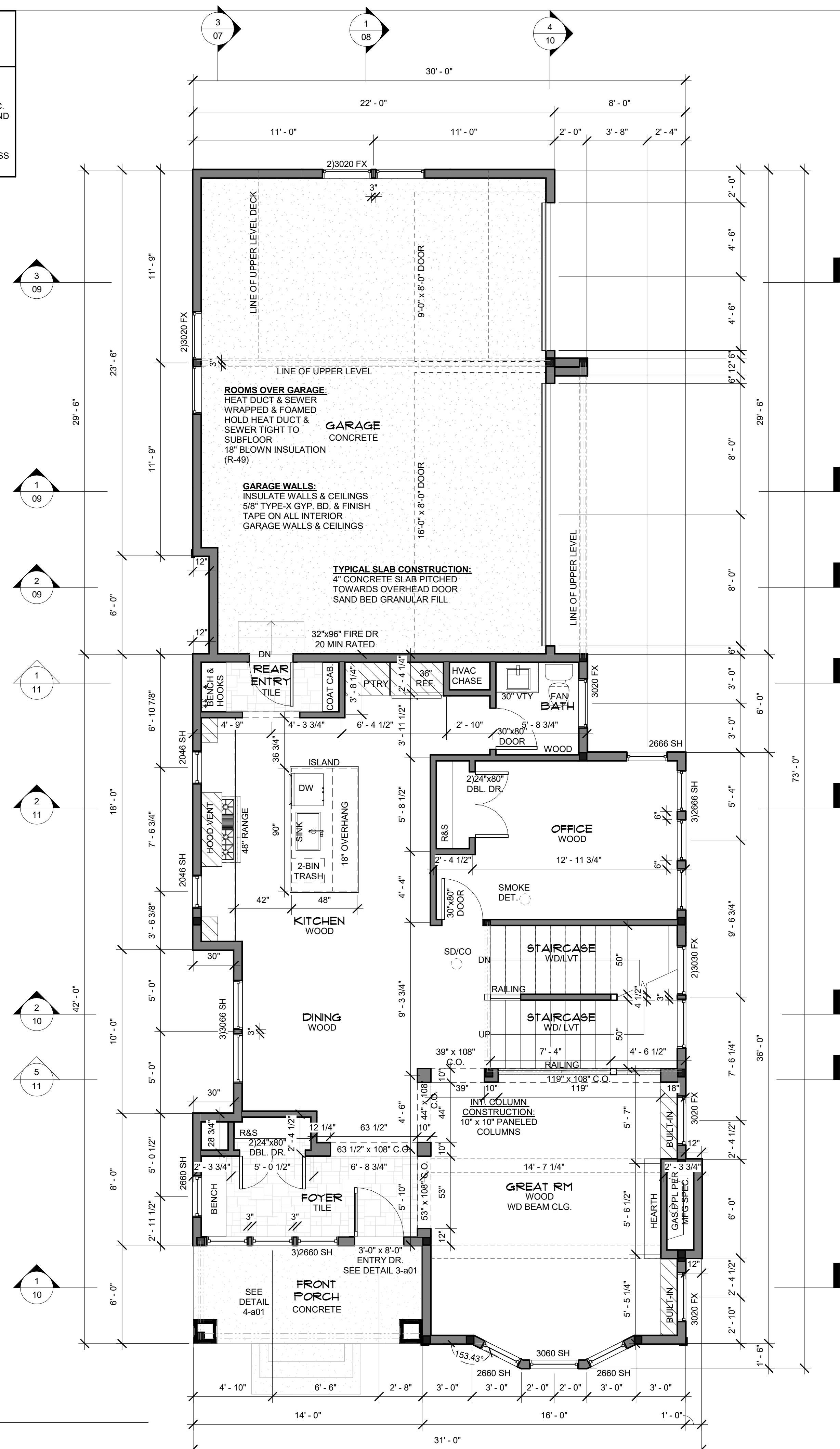
DIMENSIONS ARE FROM FACE OF STUD TO CENTER OF STUD

FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.
FLOOR SYSTEM DESIGNER VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 10'-1 1/8" UNLESS NOTED
SET WINDOW HDRS @ 8'-0" FROM FLOOR UNLESS NOTED

WINDOW NOTE:
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CALLED OUT BY WINDOW FRAME SIZE IN
FEET. EXTERIOR WINDOW COLOR TO BE
BLACK PER ELEVATION. WINDOW
MANUFACTURER TO SPECIFY CLOSEST
MATCHING SIZES & VERIFY EGRESS
COMPLIANCE AND PROVIDE WINDOW
SCHEDULE WITH ROUGH OPENINGS.
WINDOW & DOOR HEADERS TO BE 2)x10
UNLESS NOTED (PER MFG. SPECS.)

STRUCTURAL NOTE:
BEAM SIZES & ALL STRUCTURAL
CONSIDERATIONS SPECIFIED ON THIS SET
OF PLANS MUST BE REVIEWED BY THE
FLOOR SYSTEM DESIGNER OR BY A
STRUCTURAL ENGINEER AND CONFIRMED
TO BE STRUCTURALLY SOUND. BASED ON
THAT REVIEW IF THERE ARE ANY CHANGES
OR ADDED BEAM SIZES, LOCATION , ETC.
THESE CHANGES MUST BE BROUGHT TO
THE GENERAL CONTRACTORS ATTENTION:



STRUCTURAL NOTES:

NOT AN OFFICIAL STRUCTURAL PLAN. ALL BEAMS, HEADERS, AND GIRDER TRUSSES SHOWN MUST BE SPECIFIED AND DETERMINED BY A LICENSED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DOCUMENTS PROVIDED BY ENGINEER FOR FINAL LOCATIONS, SIZES, AND SPECS.

ROOF/FLOOR GIRDER TRUSSES SHOWN ARE APPROXIMATE LOCATIONS. NOT ALL NECESSARY GIRDERS MAY BE SHOWN. TRUSS MANUFACTURER TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

SIZE BEAMS/HEADERS TO ALLOW FOR HVAC RUNS THROUGHOUT ENTIRETY OF HOME.

GRAVED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

FLOOR TRUSSES ARE CALLED OUT AT 19"2" O.C.

FLOOR SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 10'-1 1/8" UNLESS NOTED

SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED

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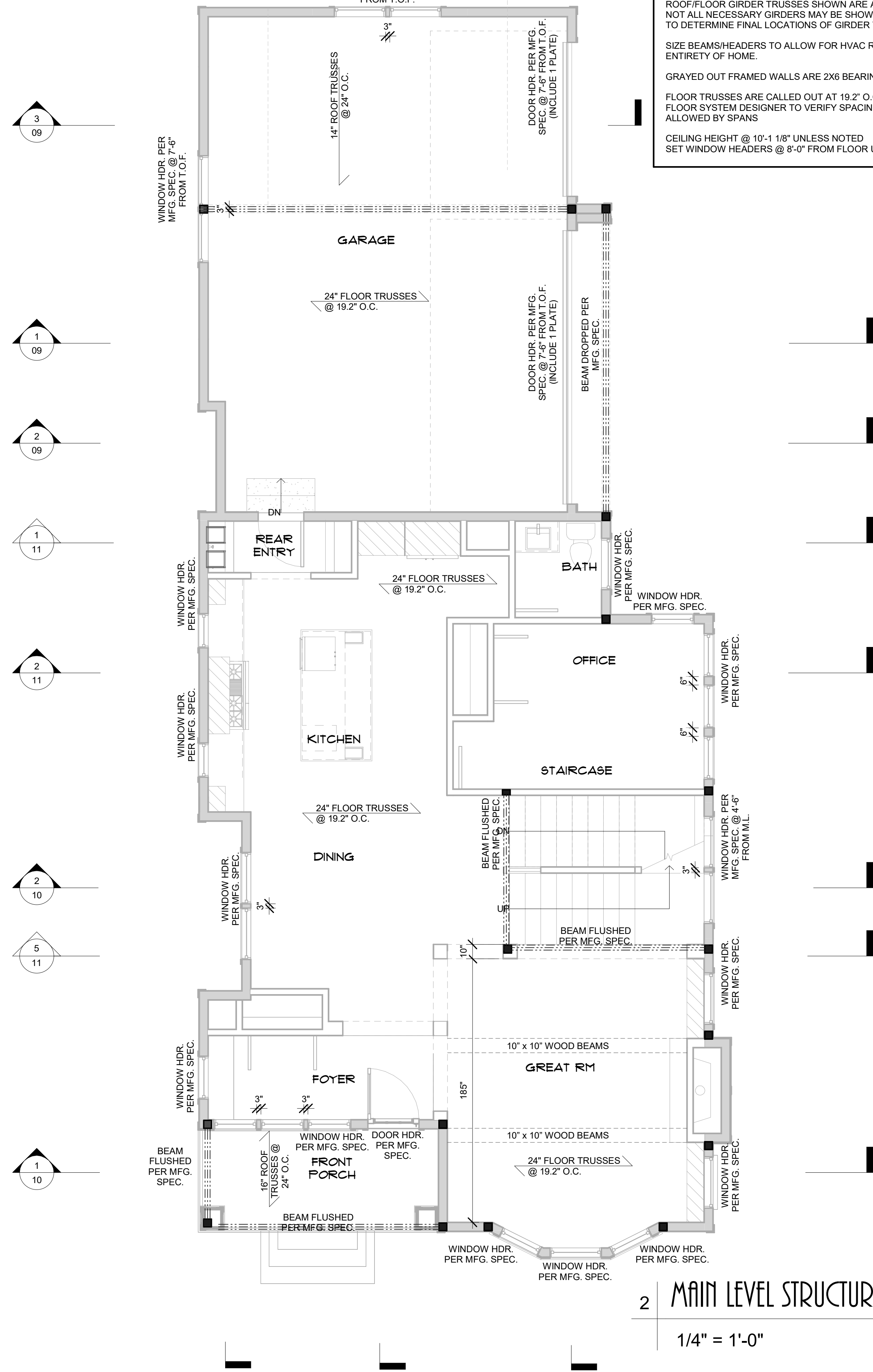
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FLOOR TRUSSES ARE CALLED OUT AT 19.2" O.C.

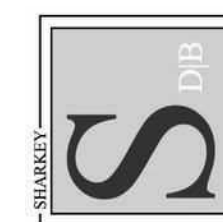
FLOOR SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

CEILING HEIGHT @ 10'-1 1/8" UNLESS NOTED

SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED



2 | MAIN LEVEL STRUCTURAL

$$1/4'' = 1'-0''$$


BUILDER
Sharkey Design Build
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Suite #111
Stillwater, MN 55082

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PROJECT
Neumiller Residence
300 Ryan Ave
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PROJECT #
SUA Neumiller

DRAWN BY	DESCRIPTION
SMM	Main Level

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05

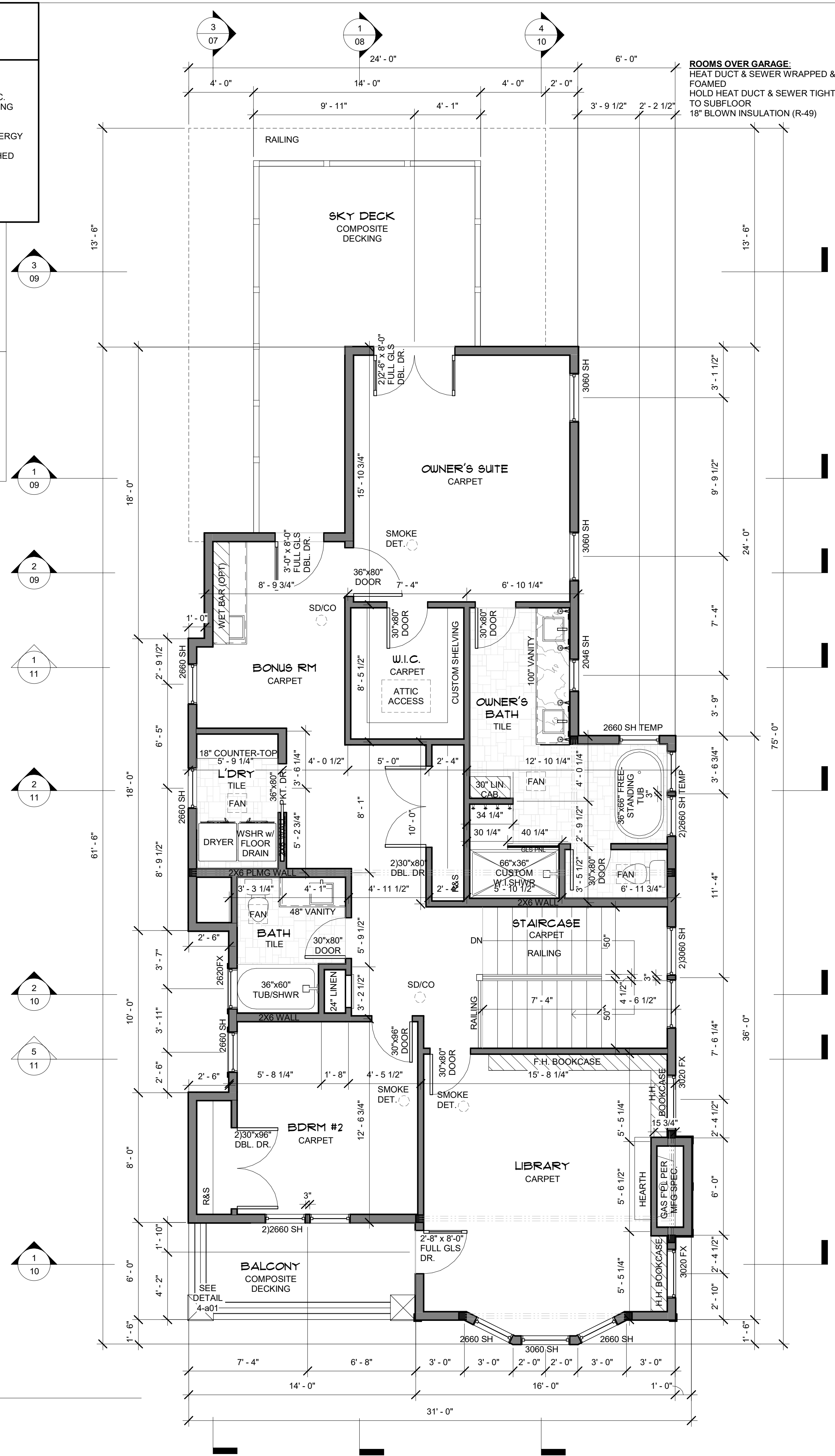
UPPER LEVEL NOTES:	
DIMENSIONS ARE FROM FACE OF STUD TO CENTER OF STUD	
ROOF TRUSSES ARE CALLED OUT @ 24" O.C. ROOF SYSTEM DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS	
TRUSS MANUFACTURER TO VERIFY ALL ENERGY HEELS SHOWN TO ENSURE FINAL EAVE FRAMING DOES NOT CONFLICT WITH FINISHED EXTERIOR WINDOW TRIM AS SHOWN ON ELEVATIONS.	
CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED SET WINDOW HDRS @ 8'-0" FROM FLOOR UNLESS NOTED	

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COMPLIANCE AND PROVIDE WINDOW
SCHEDULE WITH ROUGH OPENINGS.
WINDOW & DOOR HEADERS TO BE 21x2x10
UNLESS NOTED (PER MFG. SPECS.)

STRUCTURAL NOTE:
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OR ADDED BEAM SIZES, LOCATION, .ETC.
THESE CHANGES MUST BE BROUGHT TO
THE GENERAL CONTRACTORS ATTENTION:

1 | UPPER LEVEL

1/4" = 1'-0"



STRUCTURAL NOTES:

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GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

ROOF TRUSSES ARE CALLED OUT AT 24" O.C.

ROOF TRUSS DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

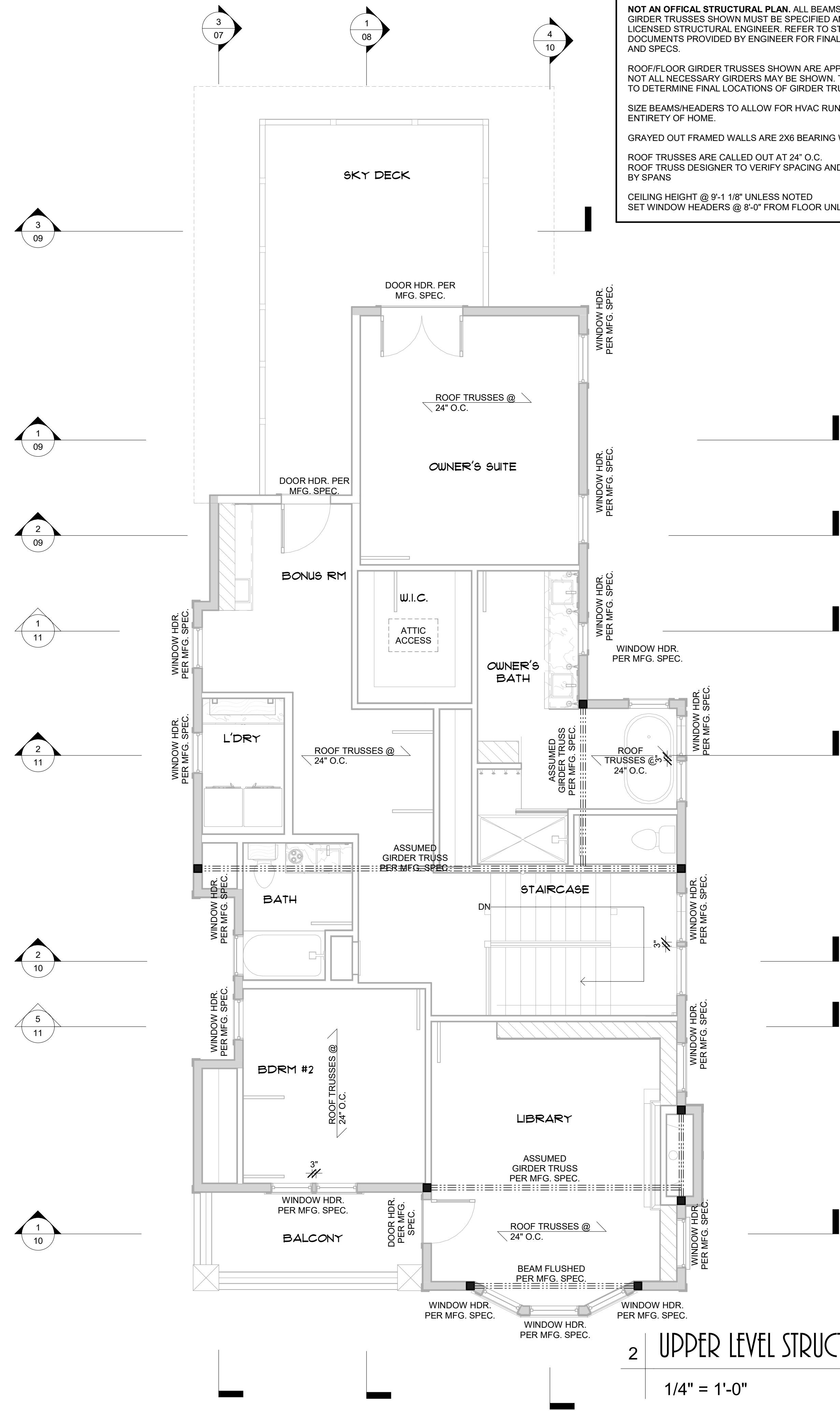
CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED

SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED

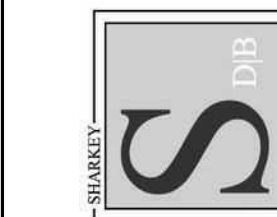
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GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

CEILING HEIGHT @ 9'-1 1/8" UNLESS NOTED
SET WINDOW HEADERS @ 8'-0" FROM FLOOR UNLESS NOTED



1/4" = 1'-0"



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Suite #111
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PROJECT
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St. Paul, Mn 55102

PROJECT #
SHA-Neumiller
Residence, CD Rev. 1 J MC

DRAWN BY	DESCRIPTION
SMM	Upper Level

06

[illegible]

STRUCTURAL NOTES:

NOT AN OFFICAL STRUCTURAL PLAN. ALL BEAMS, HEADERS, AND GIRDER TRUSSES SHOWN MUST BE SPECIFIED AND DETERMINED BY A LICENSED STRUCTURAL ENGINEER. REFER TO STRUCTURAL DOCUMENTS PROVIDED BY ENGINEER FOR FINAL LOCATIONS, SIZES, AND SPECS.

ROOF/FLOOR GIRDER TRUSSES SHOWN ARE APPROXIMATE LOCATIONS. NOT ALL NECESSARY GIRDS MAY BE SHOWN. TRUSS MANUFACTURER TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

SIZE BEAMS/HEADERS TO ALLOW FOR HVAC RUNS THROUGHOUT ENTIRETY OF HOME.

GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

ROOF TRUSSES ARE CALLED OUT AT 24" O.C.

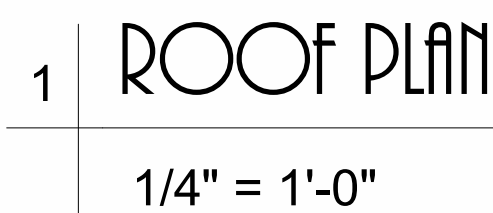
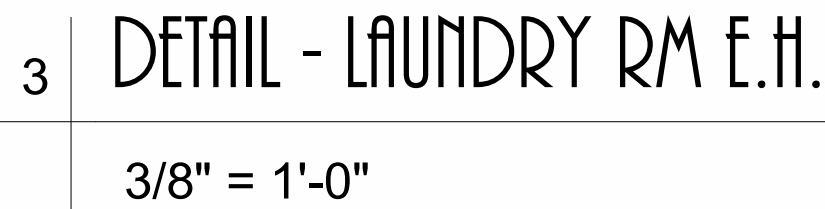
ROOF TRUSS DESIGNER TO VERIFY SPACING AND ADJUST AS ALLOWED BY SPANS

TRUSS MANUFACTURER TO VERIFY ALL ENERGY HEELS SHOWN TO ENSURE FINAL EAVE FRAMING DOES NOT CONFLICT WITH FINISHED EXTERIOR WALLING TRIM AS SHOWN ON ELEVATIONS.

ROOF/FLOOR GIRDER TRUSSES SHOWN ARE APPROXIMATE LOCATIONS.
NOT ALL NECESSARY GIRDERS MAY BE SHOWN. TRUSS MANUFACTURER
TO DETERMINE FINAL LOCATIONS OF GIRDER TRUSSES.

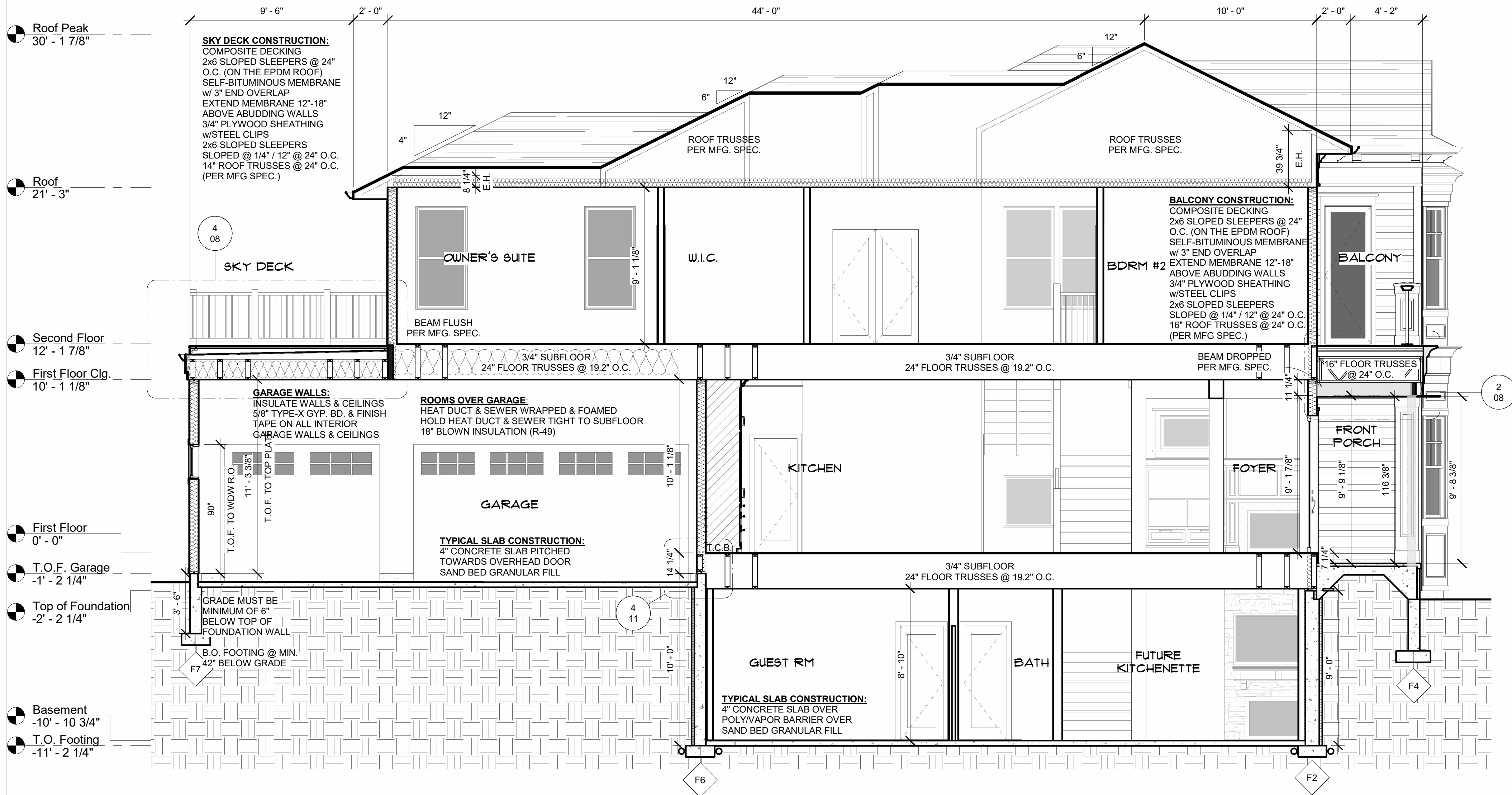
GRAYED OUT FRAMED WALLS ARE 2X6 BEARING WALLS UNLESS NOTED

TRUSS MANUFACTURER TO VERIFY ALL ENERGY HEELS SHOWN TO ENSURE FINAL EAVE FRAMING DOES NOT CONFLICT WITH FINISHED EXTERIOR WINDOW TRIM AS SHOWN ON ELEVATIONS.



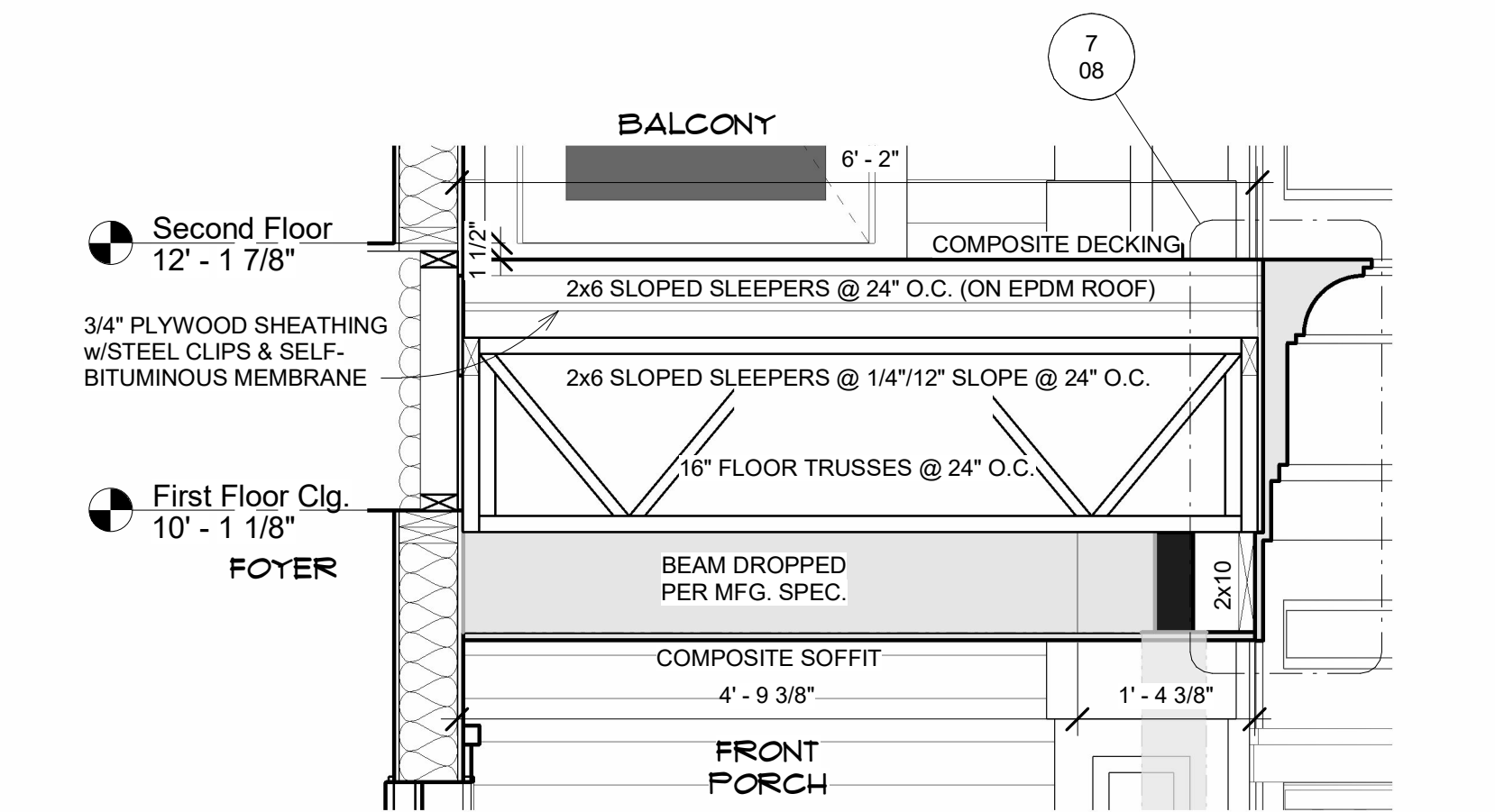
2	ROOF PLAN - BALCONY/SKYDECK
	1/4" = 1'-0"

Notes: Dimensions, details and conformances to all local codes are to be verified by the owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or other professional. The designer assumes no responsibility for items including, but not limited to: the design of the home, workmanship, code adherence, safety, water proofing, insulation, radon, mold/moisture or other design components. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind and other natural stresses such as flooding, snowload or seismicity. Please note that a licensed contractor or commissioned to construct the home. All door and window sizes are approximate (rough opening) specifications. Specific manufacturer sizes vary and egress openings should be confirmed prior to construction. The home should be finished and meet local code. Size of material and quality of material accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to meet manufacturer specified installation instructions and in accordance with local building codes. Optional items will be shown on the home, with the landscape/patio plan in the rendering for illustrative purposes only. Consult building codes for standards or included features. © David Charles Designs 2020; Do not replicate without permission.



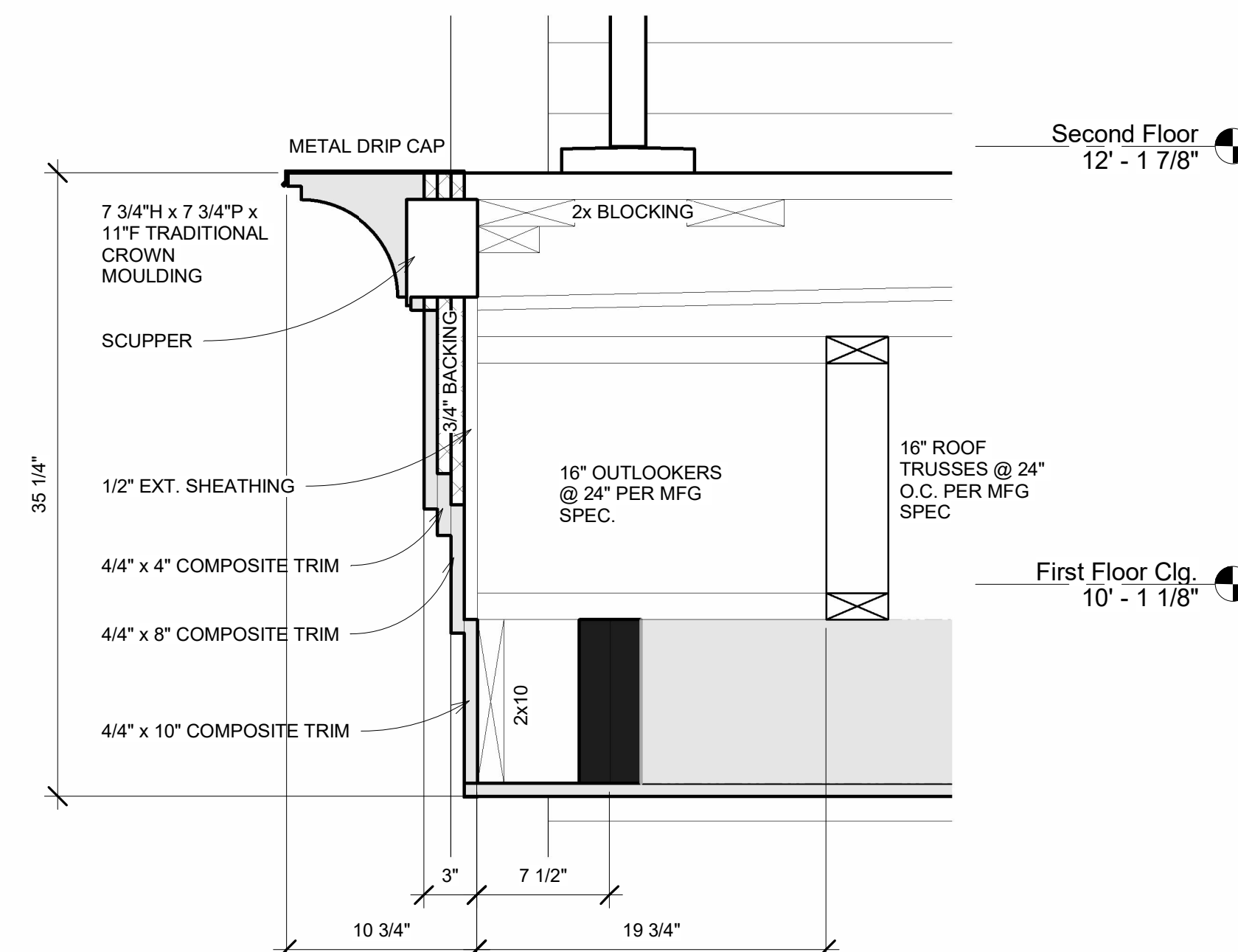
1 CROSS SECTION - FRONT PORCH/GARAGE

1/4" = 1'-0"



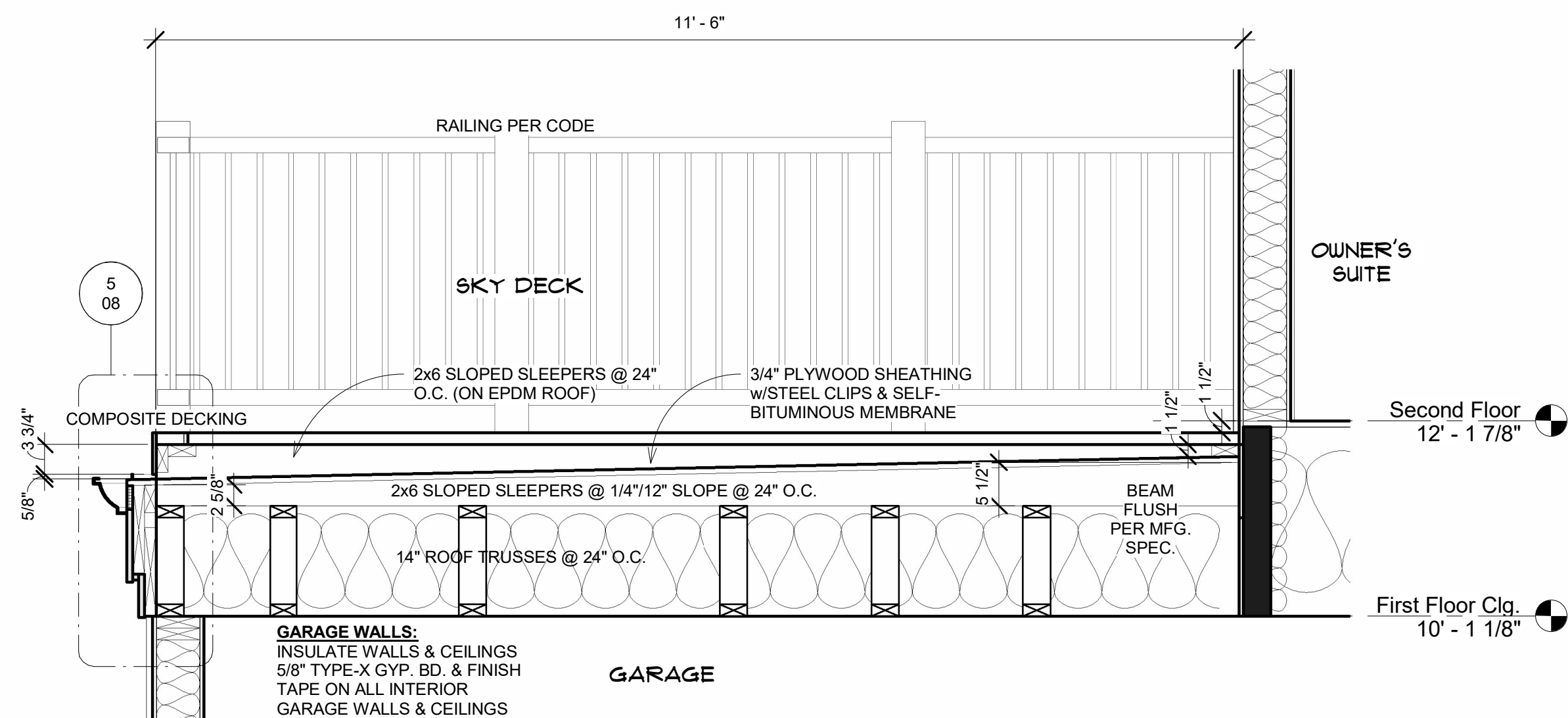
2 DETAIL - BALCONY

3/4" = 1'-0"



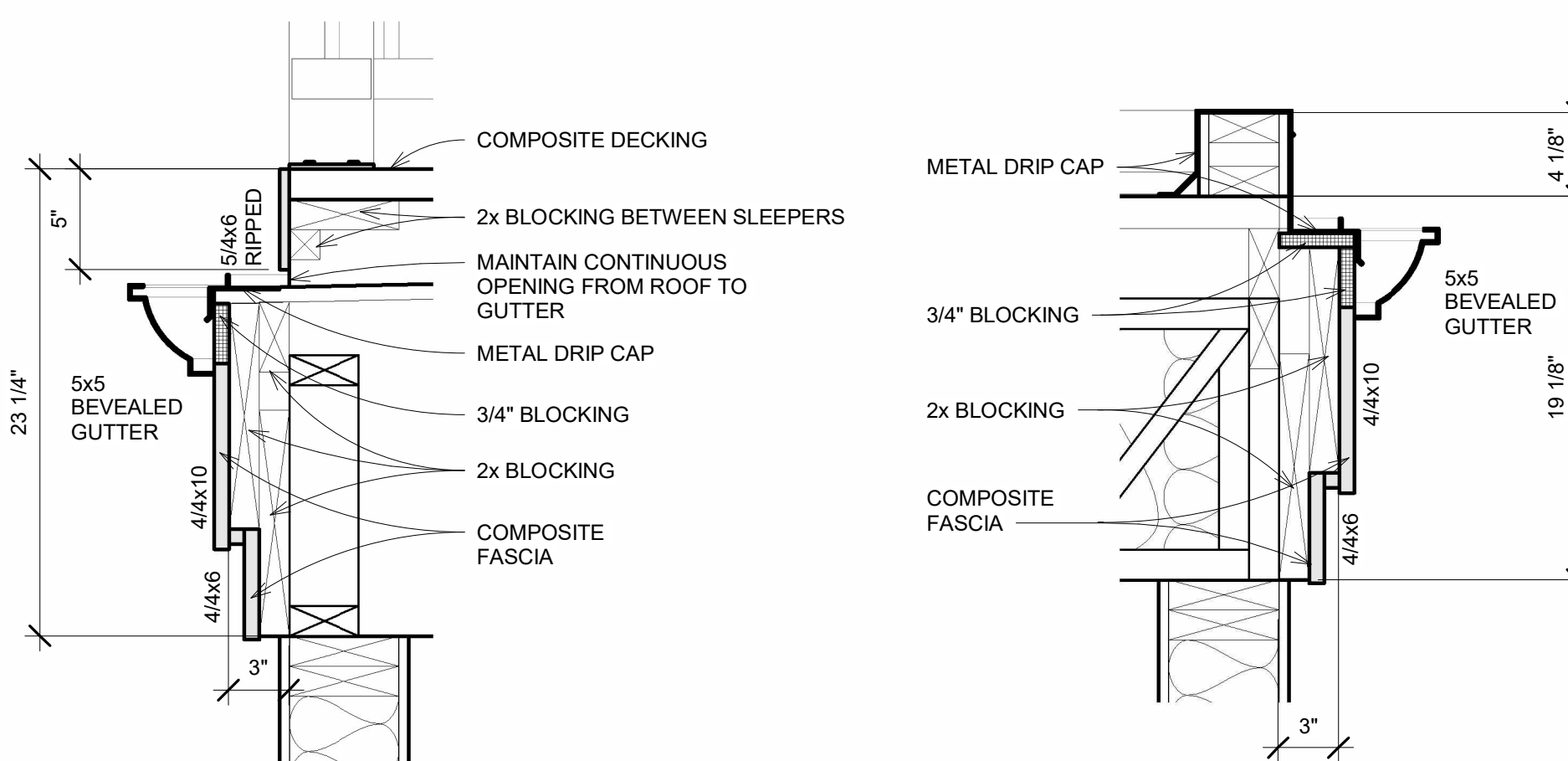
3 DETAIL - BALCONY FASCIA - SCUPPER

1 1/2" = 1'-0"



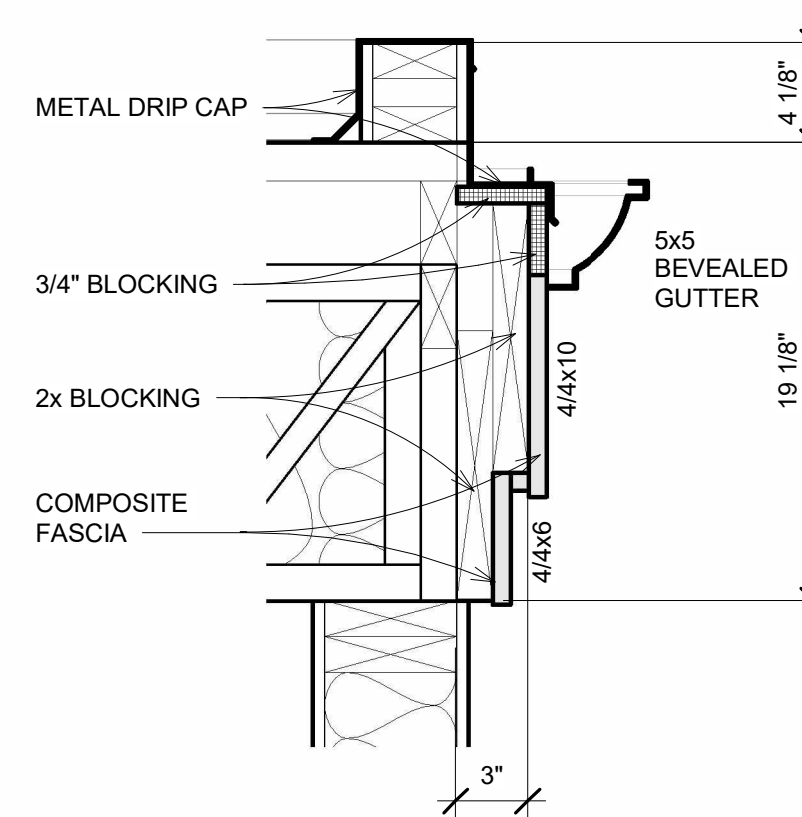
4 DETAIL - SKYDECK

3/4" = 1'-0"



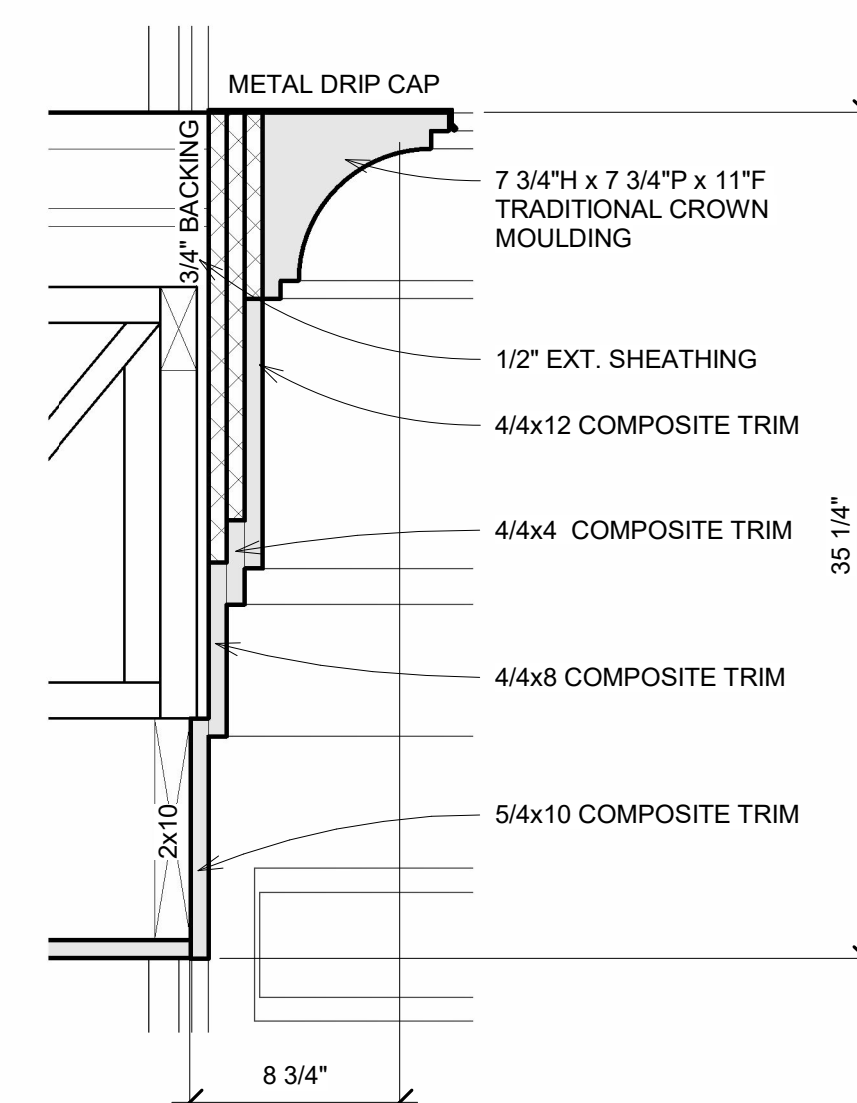
5 DETAIL - SKYDECK FASCIA

1 1/2" = 1'-0"



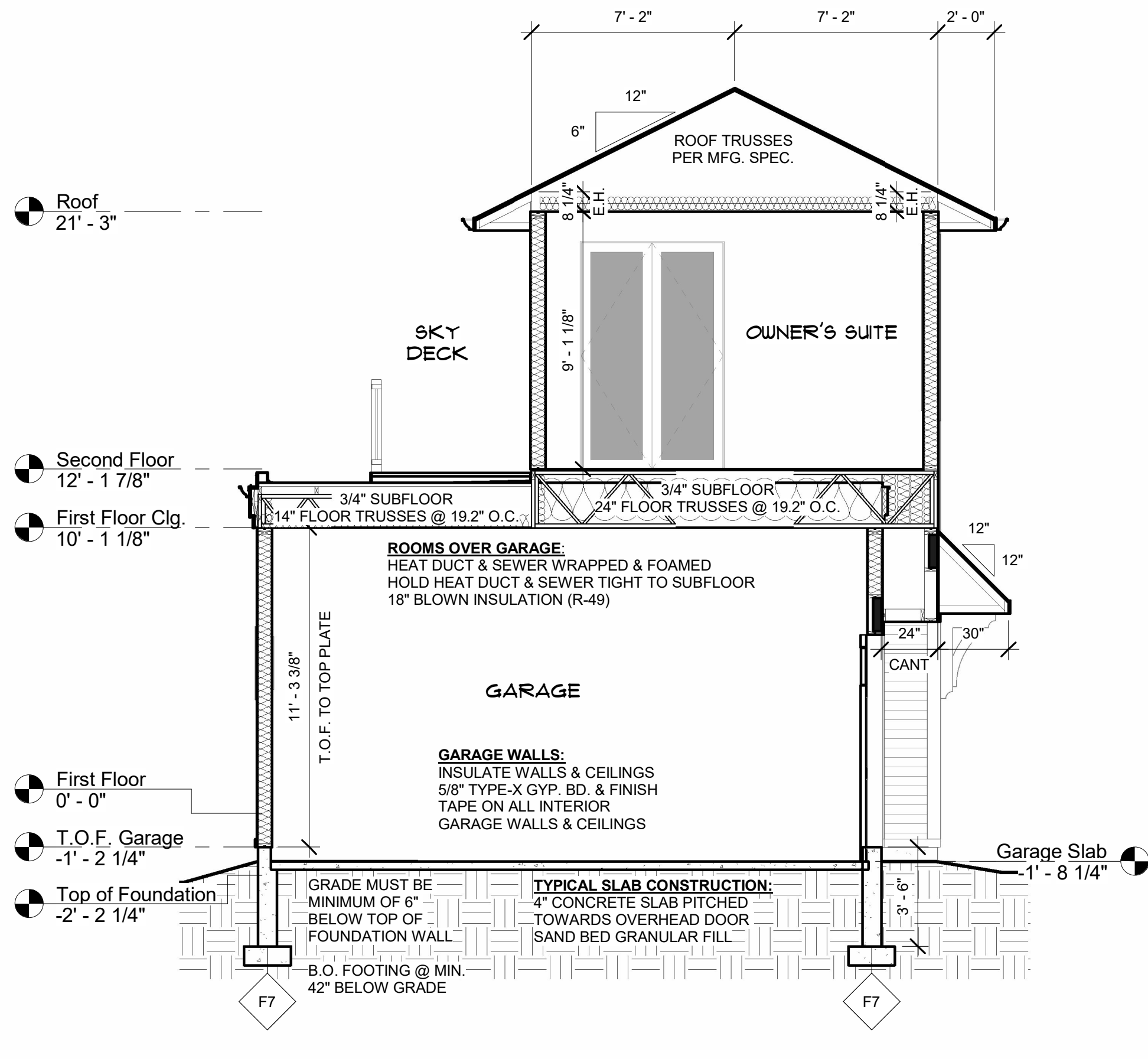
6 DETAIL - GARAGE PARAPET WALL

1 1/2" = 1'-0"



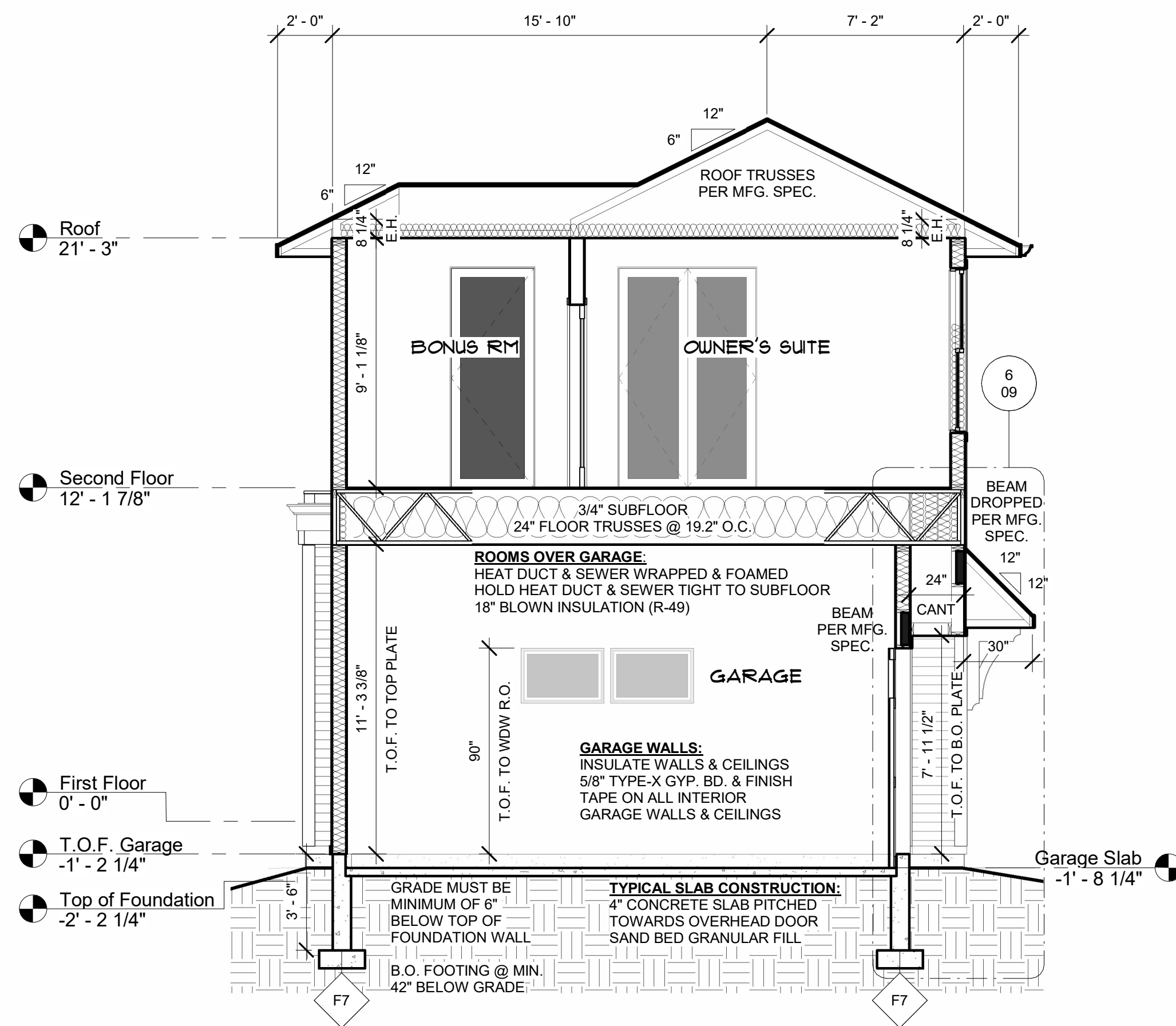
7 DETAIL - BALCONY FASCIA

1 1/2" = 1'-0"



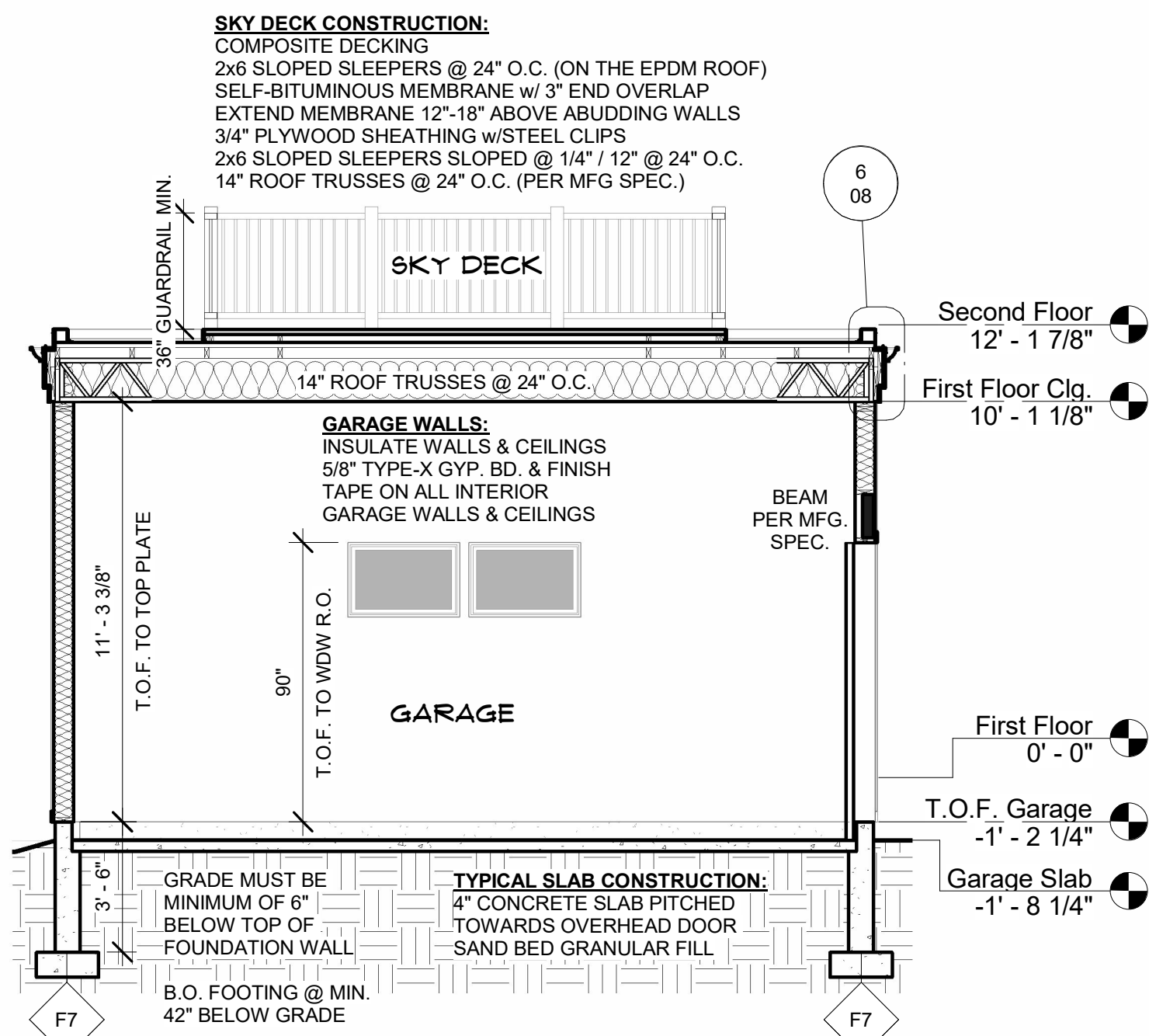
1 CROSS SECTION - BONUS RM

1/4" = 1'-0"



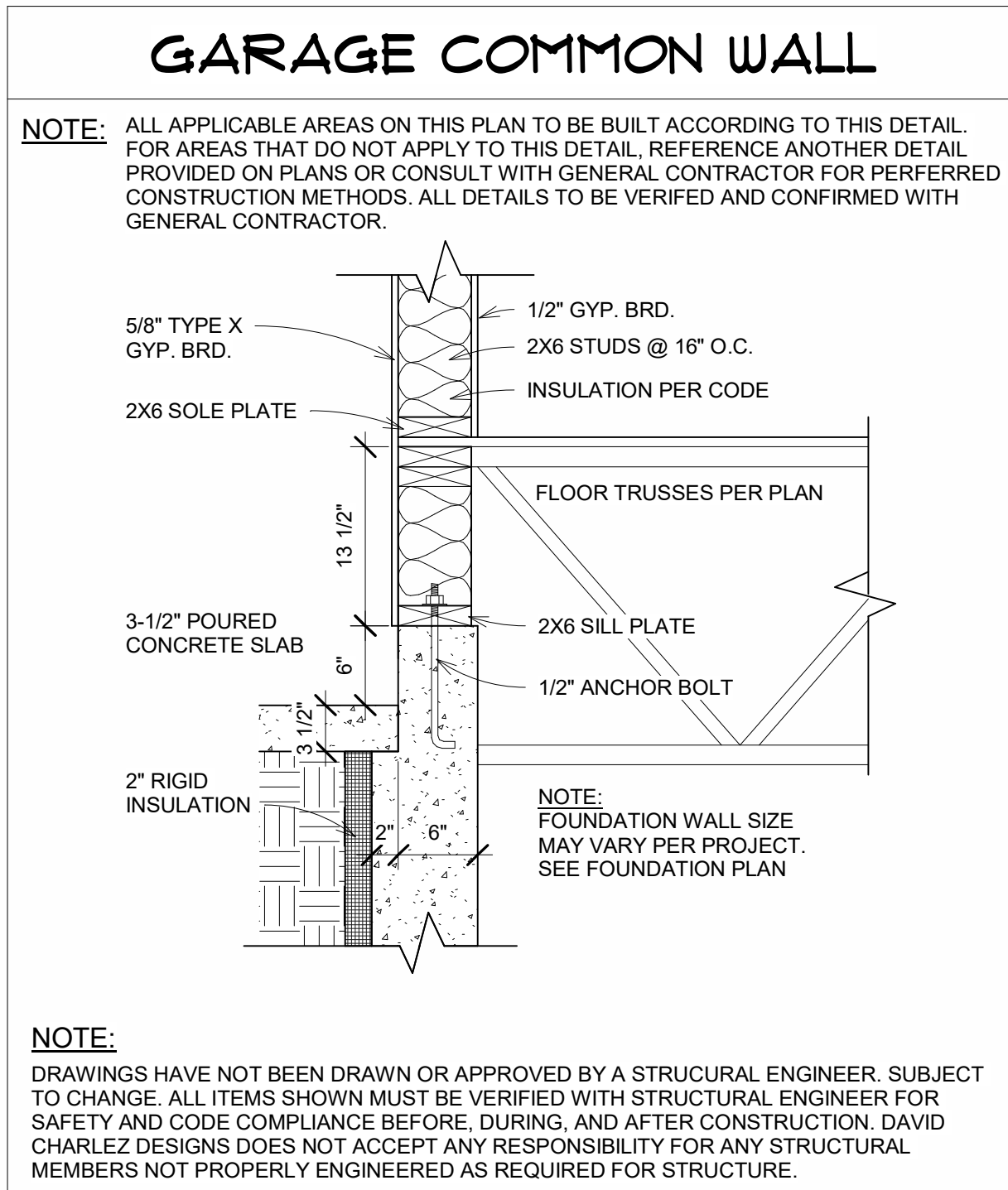
2 CROSS SECTION - BONUS RM/OWNER'S SUITE

1/4" = 1'-0"



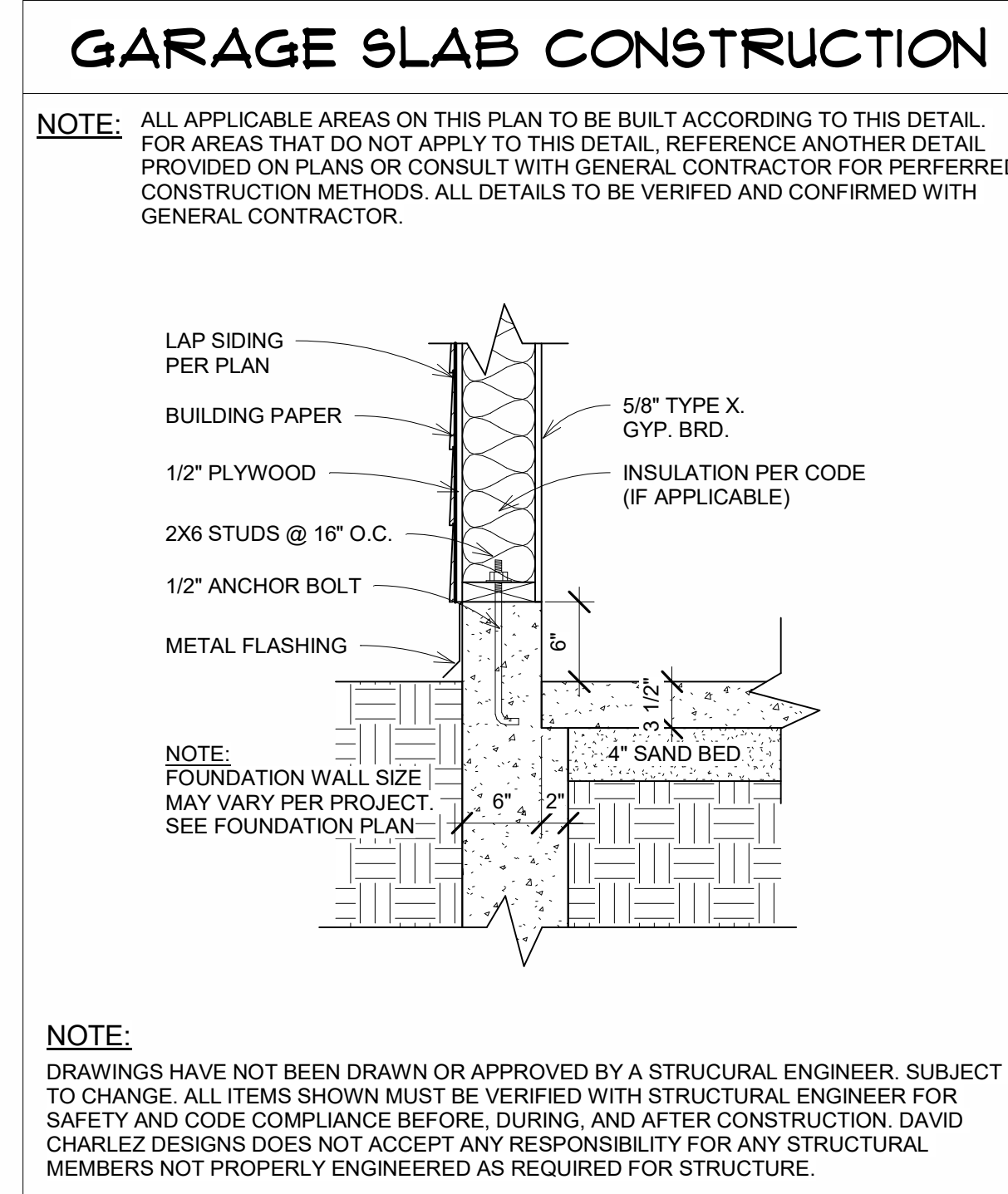
3 CROSS SECTION - GARAGE

1/4" = 1'-0"



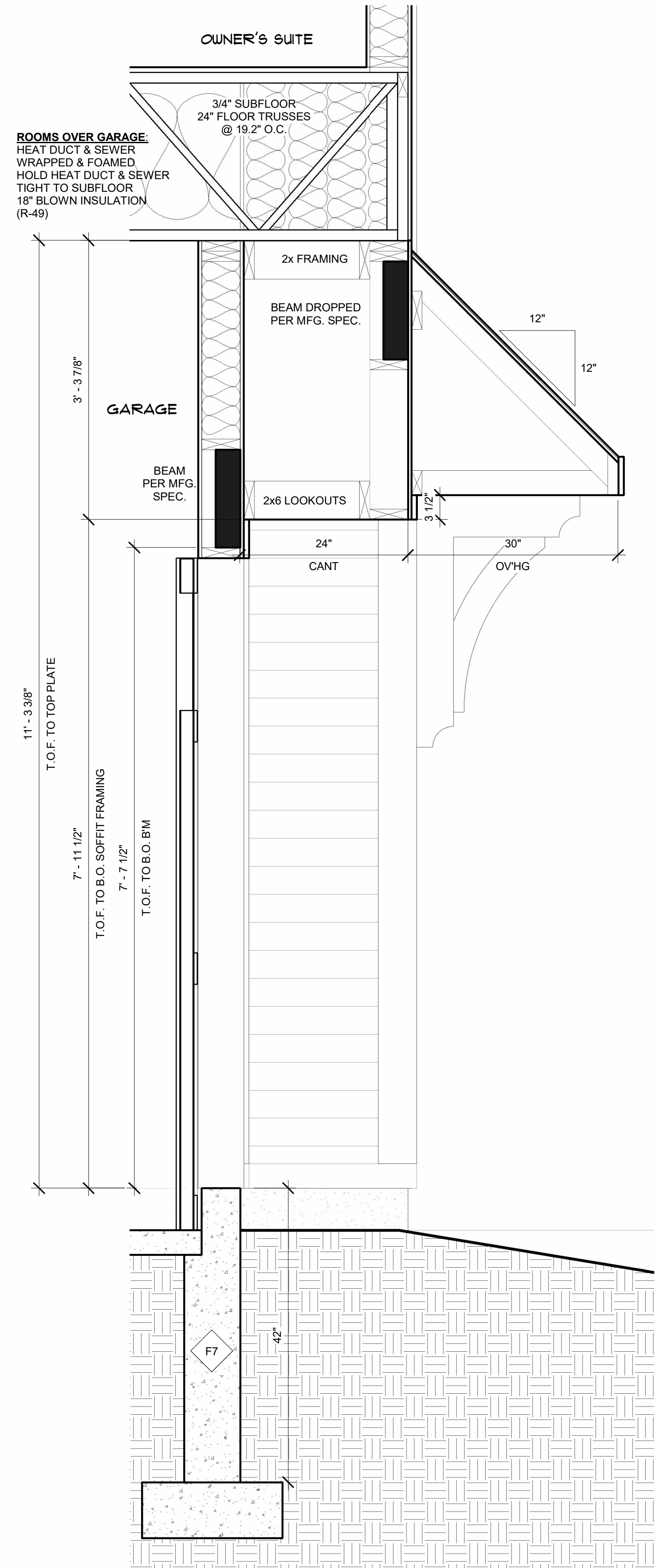
4 FLOOR DETAIL - GARAGE COMON WALL

1" = 1'-0"



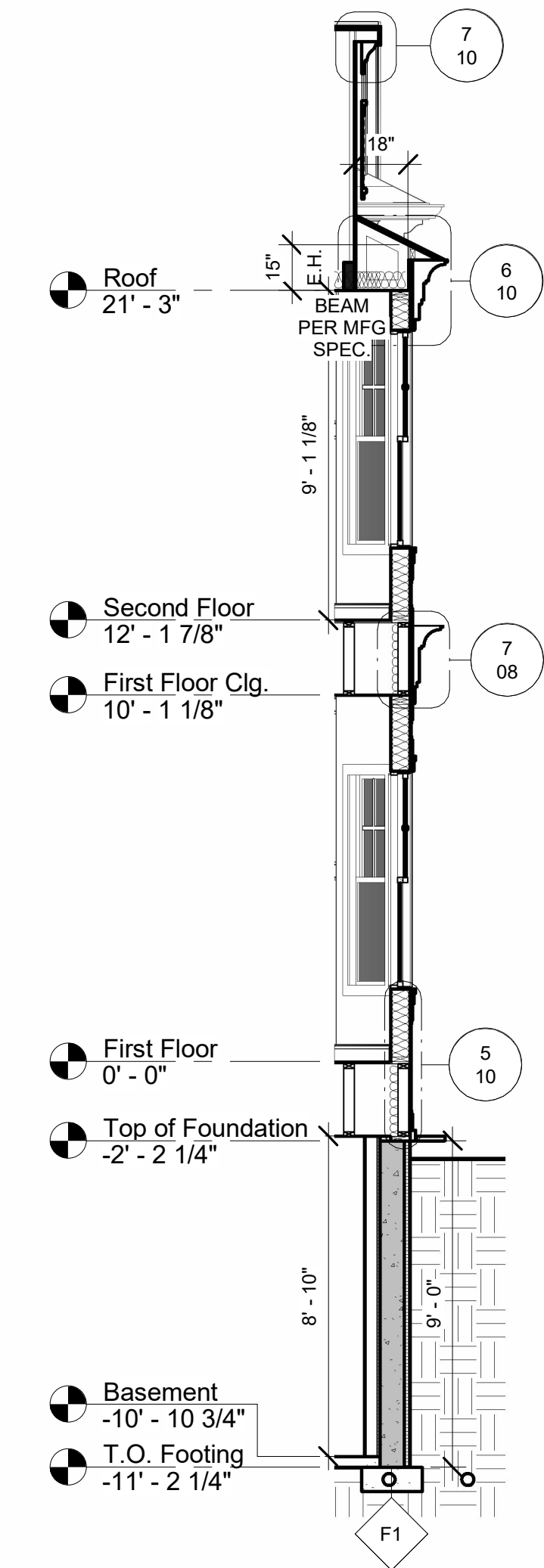
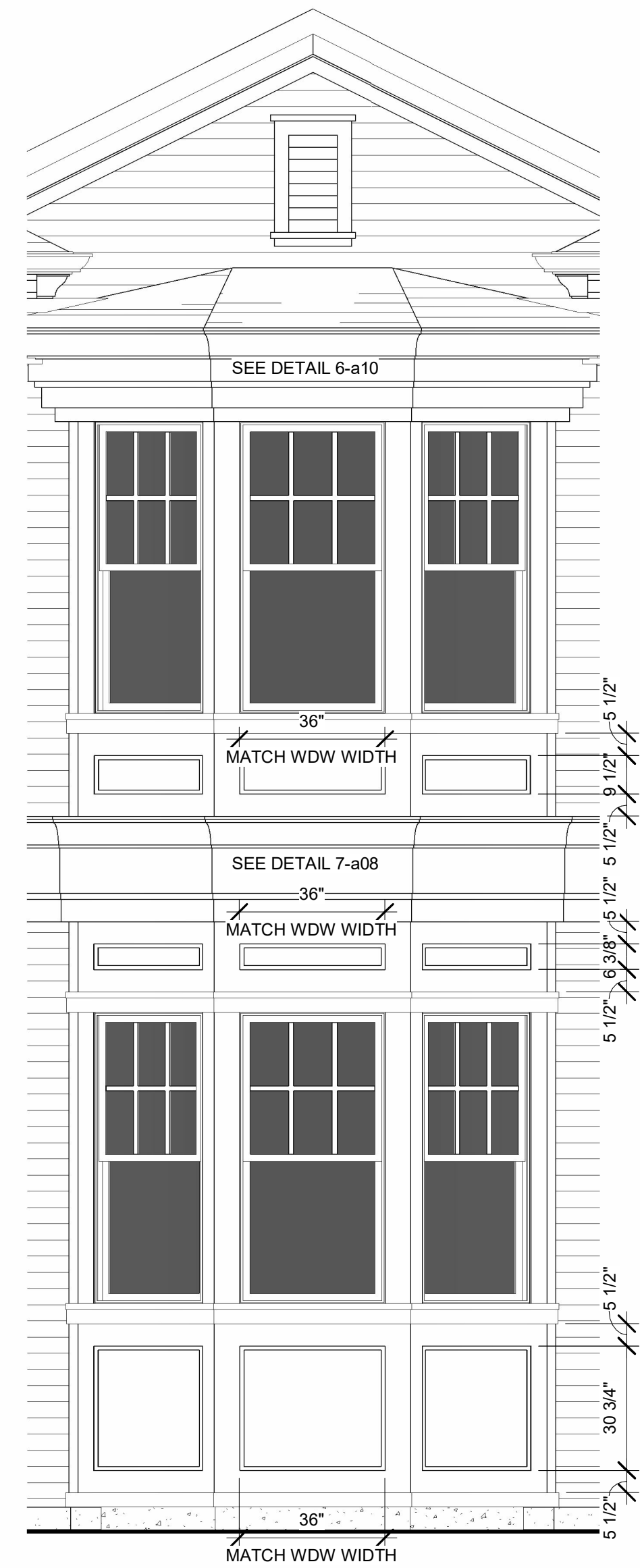
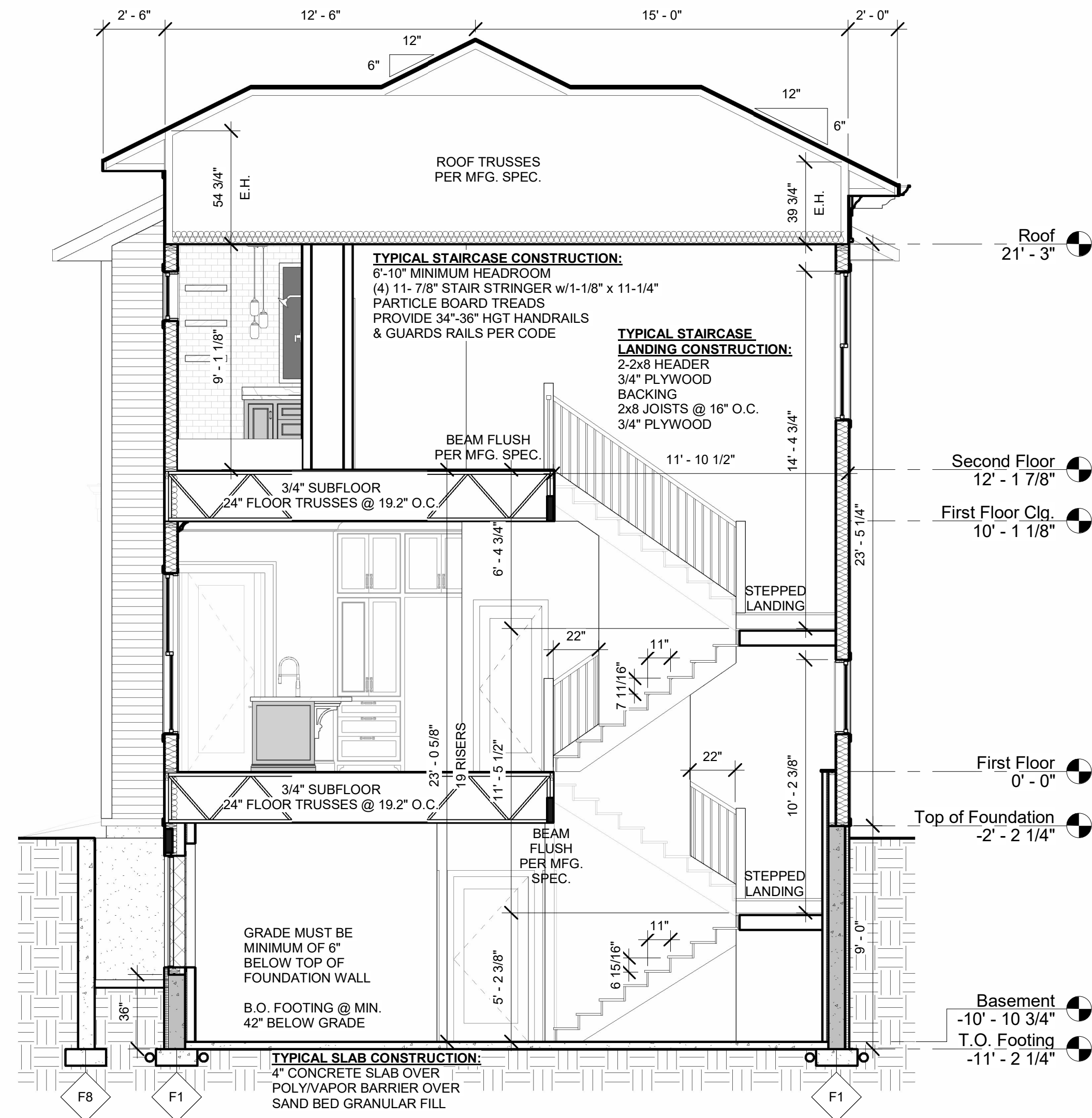
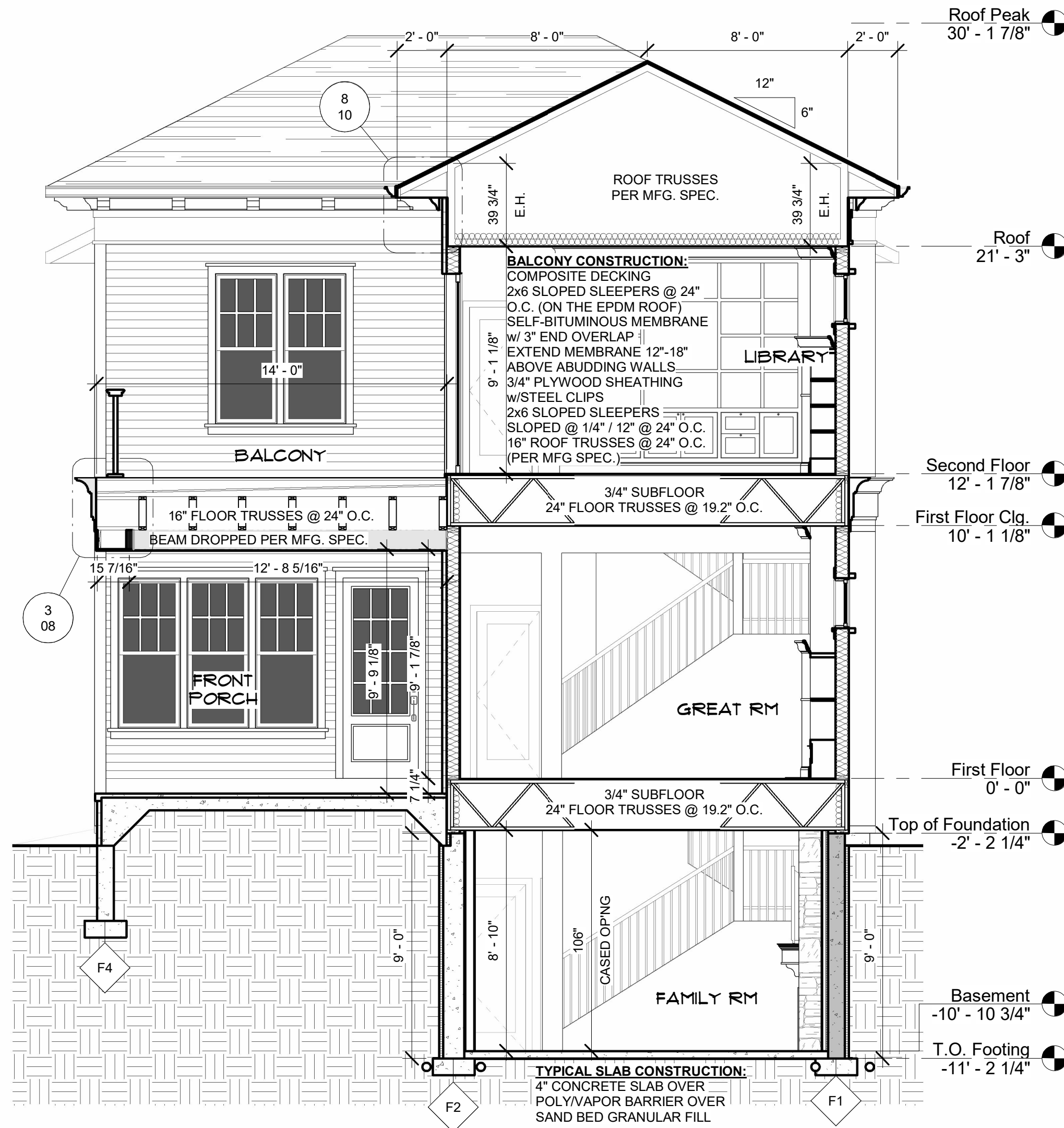
5 FLOOR DETAIL - GARAGE SLAB

1" = 1'-0"



6 DETAIL - OWNER'S SUITE CANT.

1" = 1'-0"



1 CROSS SECTION - FRONT PORCH/GREAT RM

1/4" = 1'-0"

2 CROSS SECTION - STAIRCASE

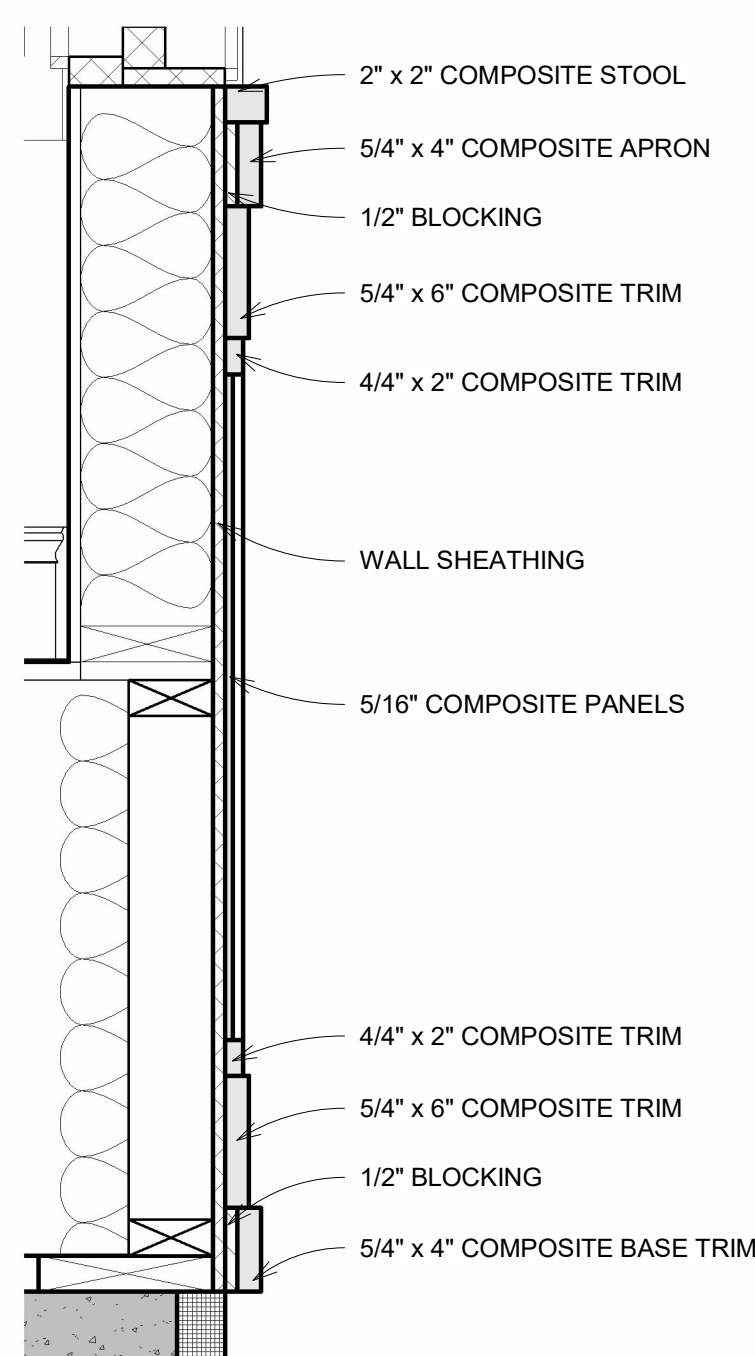
1/4" = 1'-0"

3 DETAIL - BAY WINDOW

3/8" = 1'-0"

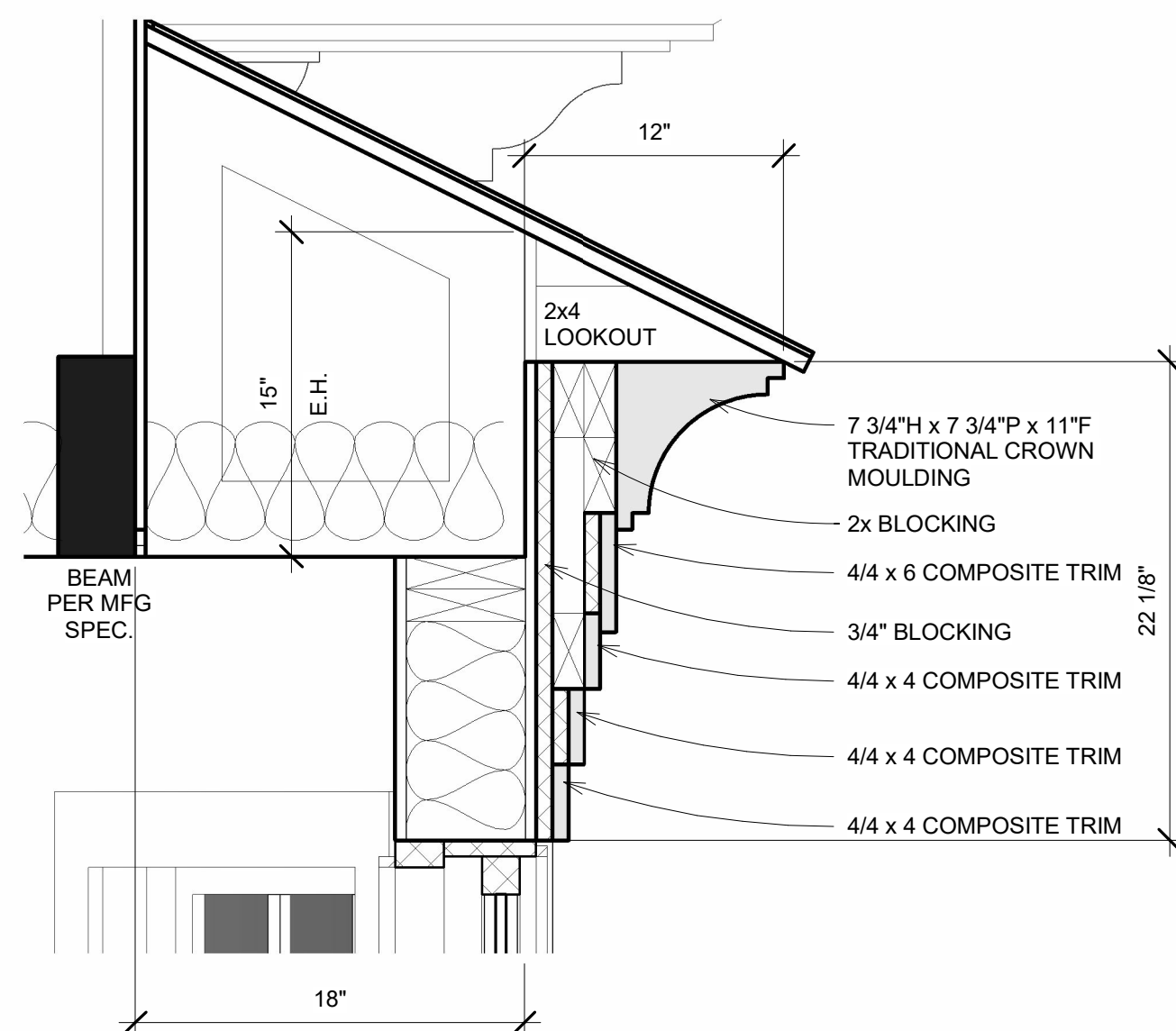
4 C.S. - BAY WINDOW

1/4" = 1'-0"



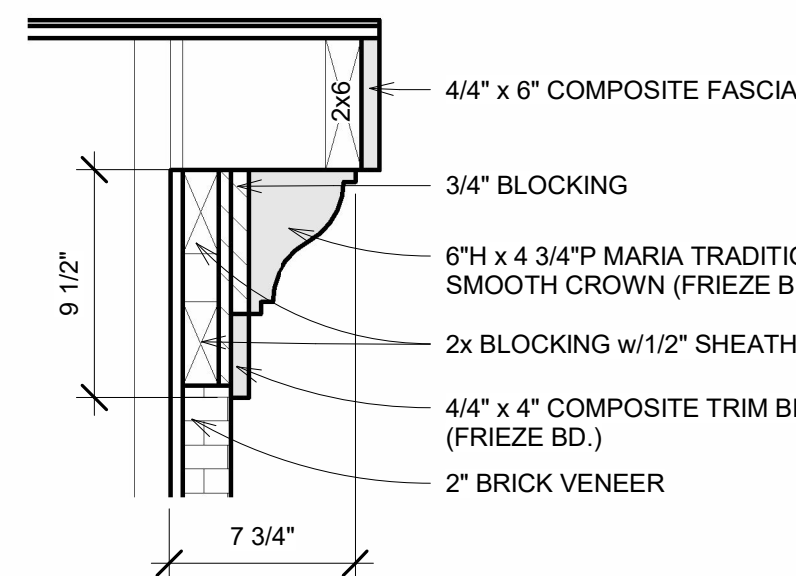
5 CROSS SECTION - BAY WINDOW PANELS

1 1/2" = 1'-0"



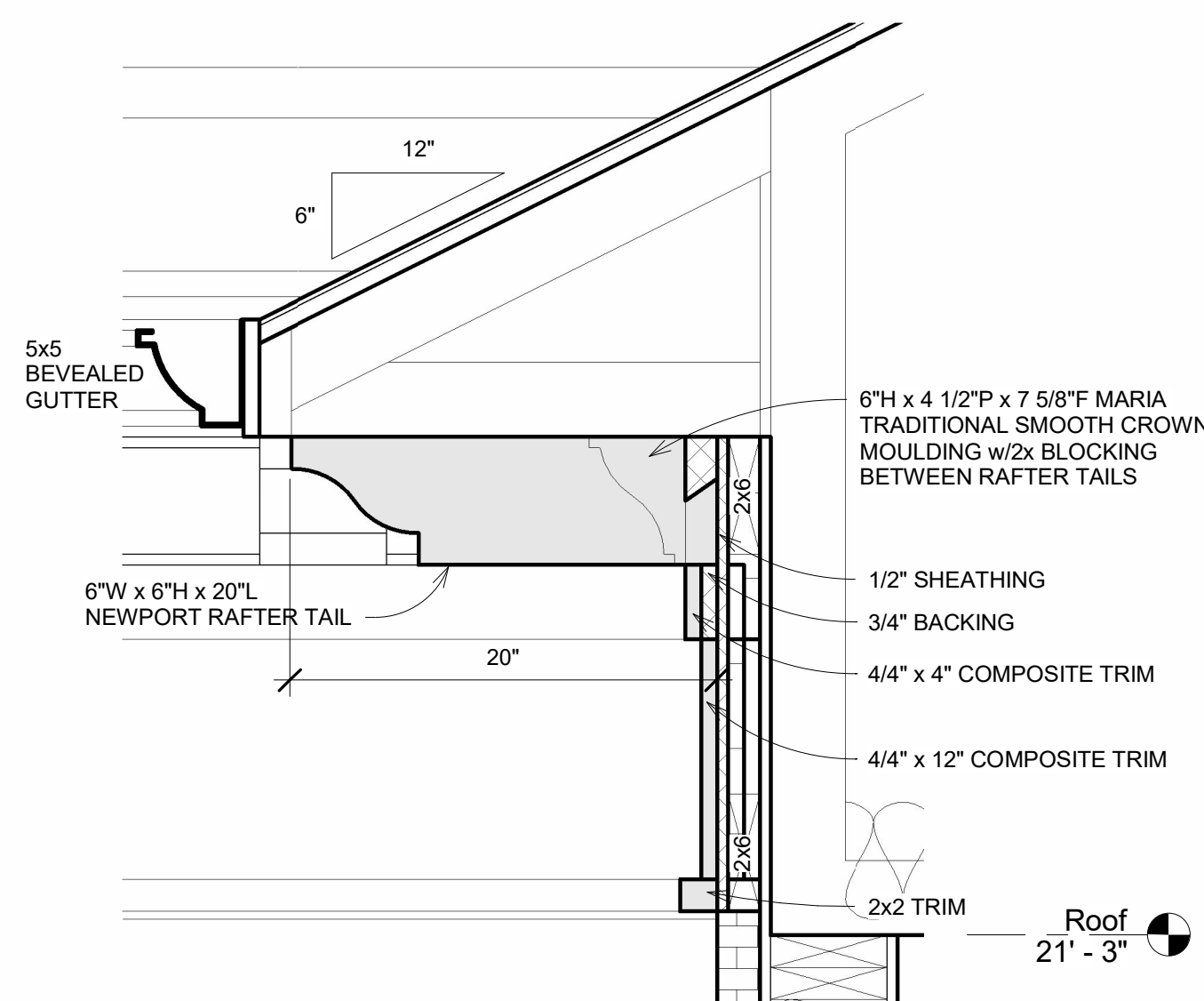
6 DETAIL - BAY WINDOW FASCIA

1 1/2" = 1'-0"



7 DETAIL - GABLE CROWN FASCIA

1 1/2" = 1'-0"



8 DETAIL - U.L. TRIM PER ELEV.

1 1/2" = 1'-0"



Architectural section drawing of a building facade. The drawing shows a sloped roof with a 12" pitch and a 6" overhang. The roof structure is labeled "Energy Heel (E.H.)" and "Overhang". The roof is supported by a wall with a 24" overhang. The wall is shown in cross-section, revealing internal structural elements and insulation. The drawing includes various dimensions and labels for structural components:

- Roof pitch: 12"
- Overhang: 6"
- Energy Heel (E.H.): 39' 3/4"
- Overhang: 24"
- Wall section: 9' - 1 1/8"
- Roof structure: 2' - 0 3/4"
- Wall section: 10' - 1 1/8"
- Roof structure: 2' - 0 3/4"
- Wall section: 8' - 10"
- Foundation: 9' - 0"
- Foundation: F1

These Dimensions, details and confirmation to local codes are to be verified by owner and contractor prior to the start of construction. The designer of the home is not a licensed structural engineer or architect and will assume no responsibility for items included, but not limited to: construction materials, quality of material, workmanship, code adherence, safety, water proofing, insulation, radon, mold/moisture or other health issues, specification or construction issues. It is recommended that a licensed engineer review all plans for structural integrity and verify that the home meets code for extraordinary wind, other natural stresses such as flooding, snowload or substantial bearing soil. All structural members and components should be verified by the designer and their licensed engineering staff. It is also recommended that a licensed contractor be commissioned to install local codes are met. All door and window size are approximate rough openings. Specific manufacturing sizes vary and egress openings should be confirmed prior to construction. The home should be finished and enclosed to meet local codes. Sizes of material and products reflect accepted industry standards and in no way indicate a specific manufacturer. All building components to be installed and constructed to selected manufacturer specified installation techniques and in accordance with building code books. Optional items may be shown on the wind, or within the landscaping/patio area in the rendering for illustrative purpose only. Consult builder for standard or included features. © David Chaffey/ Design2020. Do not replicate with our permission. [05/24/28-2000, David Chaffey]

GENERAL NOTES

1. ALL EXTERIOR WALLS TO BE CONSTRUCTED OF 2x6 STUDS @ 16" O.C.

2. ALL INTERIOR WALLS TO BE CONSTRUCTED OF 2x4 STUDS @ 16" O.C. (UNLESS OTHERWISE NOTED)

3. WALLS ADJACENT TO GARAGE SPACE SHALL BE 2x6 WITH A 1 HR. FIRE RATING

4. STRUCTURAL WALLS TO HAVE A FIRE RATING OF 1 HR.

5. ALL DIMENSIONS LINES TO BE TO CENTERLINE OF STUDS TO FACE OF STUD

6. PROVIDE ROOF VENTILATION 1 SQ.FT. PER 300 SQ.FT. OF ROOF AREA. 50% AT RIDGE AND 50% AT SOFFIT-MIN

7.ALL INTERIOR DOOR HEAD HEIGHT TO BE VERIFIED BY BUILDER UNLESS OTHERWISE NOTED. UNDERCUT MIN 1"

8. ALL STRUCTURAL MEMBERS TO BE VERIFIED BY MANF. AND A STRUCTURAL ENGINEER.

9. ALL WINDOW UNITS ABOVE TUB DECK AND/OR WITHIN 18" OF THE FLOOR AND/OR 24" OF A DOORWAY SHALL BE TEMPERED GLASS

10. PROVIDE AN APPROVED ICE AND WATER ROOFING STARTER EDGE PER CODE OR EQUIVALENT

11. WRAP ALL CANTILEVERS WITH AN APPROVED POLY AND SPRAY FOAM FLOOR

12. SLOPE FINISHED GRADE AWAY FROM THE HOUSE ON ALL SIDES

13. 1/2" AIR SPACE ON EACH SIDE OF MICRO-LAM BEAM & MIN 3" BEARING ON CONCRETE

14. EXTERIOR RAILING TO BE MIN OF 36" HIGH AND BUILT AS TO NOT ALLOW A 4" SPHERE TO PASS THROUGH

15. ALL COMPONENTS TO BE INSTALLED TO MANF. SPEC OR LOCAL CODE

16. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY IS TO BE PRESSURE TREATED OR WOOD SPECIES THAT HAS A NATURAL RESISTANCE TO DECAY

17. PROVIDE A WATER RESISTIVE GYP BOARD AROUND ALL SHOWERS AND TUBS

18. LIGHT OR FAN HOUSING SYSTEM RECESSED THROUGH AN EXTERIOR VAPOR BARRIER SHALL BE OF THE AIR SEALED TYPE OR BE BOXED AND SEALED PER CODE

19. PROVIDE DRAFT STOPS PER UBC 708.3

20. FIRE BLOCK ALL CHASES AT EACH FLOOR-CEILING ASSEMBLY OR AT 10' MAX INTERVALS

21. ALL SMOKE DETECTORS TO BE HARD WIRED WITH BATTERY BACKUP PER CODE

22. MAINTAIN A 6" SEPARATION BETWEEN GRADE AND WOOD

23. CAULK AND FLASH AROUND ALL EXTERIOR OPENINGS

24. PLUMBING PENETRATIONS IN WALL ASSEMBLY SHALL BE FIRE CAULKED WITH LISTED MATERIALS

25. BLOCK PATIO DOORS WITHOUT A DECK

26. SMOKE DETECTORS SHALL BE MIN 16" AWAY FROM WALL AND INSTALL TO MANF. SPEC

27. NO OPENING IN ROOF WITHIN 5' OF PROPERTY LINES

28. 10% OF THE FLOOR AREA IS REQUIRED FOR LIGHT AND VENTILATION IN ALL HABITABLE ROOMS

29. ON EXTERIOR, GRIPPABLE HANDRAILS 34" TO 36" IN HEIGHT FROM THE NOSE OF THE STAIRS

30. COMBUSTION AIR DUCTS 12" OFF THE FLOOR OR RETURN AIR PLENUM WHEN REQUIRED (IMC703)

31. PROVIDE PLUMBING ACCESS AT ALL TUBS EXCEPT WHEN TRAPS & OVERFLOW GLUED

32. PROVIDE 50 cfm OR 20 cfm CONTINUOUS VENTILATION OR OPERABLE WINDOW (ASHRAE 62-2001 6.1)

33. DRYER VENT TO THE EXTERIOR- INSULATE LAST 3 FEET MIN 36" CLEARANCE TO OTHER OPENINGS: (IMC504.4, 401.52 AND 604.1)

34. CERAMIC TILE TO BE APPLIED OVER GREEN BOARD, CEMENT BOARD, WONDER BOARD OR OTHER APPROVED MATERIAL TO A HEIGHT OF 70" ABOVE DRAIN INLET IN SHOWERS. CEMENT BOARD MUST BE USED ON EXTERIOR WALLS UNDERNEATH TILE AND OVER THE VAPOR BARRIER (R307)

35. TRUSS PLANS STAMPED AND APPROVED BY MANF. SHALL BE ON THE JOB SITE. ALTERATIONS TO TRUSSES REQUIRE AN ENGINEER'S APPROVAL

36. RAFTERS SHALL BE FRAMED TO MIN 1" THICK RIDGE BOARD NOT LESS THAN THE DEPTH OF THE CUT END OF THE RAFTERS OR NAILED TO EACH OTHER WITH A GUSSET PLATE A TIE. THE RIDGE BOARD MUST BE SUPPORTED ON END WALL OR MIN 2x4 COLLAR TIES ARE REQUIRED AT MIN 4" O.C.

37. 4-MIL VAPOR BARRIER ON WARM IN WINTER SIDE OF EXTERIOR WALLS AND CEILING. FIRE RETARDANT VAPOR BARRIER MAY BE LEFT UNCOVERED

38. WIND-WASH AT AL EAVES, CORNERS, OVERHANGS, AND BY WINDOWS. SHEATHING INSULATION DAM @ CEILING CHANGES

39. WEATHER-RESISTIVE BARRIER-i.e. BUILDING WRAP TABLE R703.4

40. HOT WATER PIPING LOCATED OUTSIDE OF CONDITIONED SPACE WILL BE INSULATED TO AT LEAST R-3

41. ATTIC ACCESS DOORS FROM CONDITIONED TO UNCONDITIONED SPACES SHALL BE WEATHERED-STRIPPED AND INSULATED.

42. NEW WOOD-BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS AND OUTDOOR COMBUSTION AIR.

43. FOR WINDOWS WHERE THE LOWEST PART OF THE WINDOW OPENING IS MORE THAN 6' ABOVE THE GROUND, THE LOWEST PART OF OPENING SHALL BE MIN. OF 36" ABOVE THE FINISHED FLOOR. EXCEPTIONS INCLUDE WINDOWS THAT DO NOT OPEN MORE THAN 4", WINDOWS WITH FALL PROTECTION, AND WINDOWS THAT HAVE OPENING CONTROL DEVICES.

44. DWELLINGS WITH ATTACHED GARAGES OR FUEL FIRED EQUIPMENT MUST BE EQUIPPED WITH CARBON MONOXIDE ALARMS OUTSIDE OF, BUT NO FURTHER THAN 10' FROM , EACH SLEEPING AREA OR BEDROOM.

45. FOOTINGS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5,000 psi.

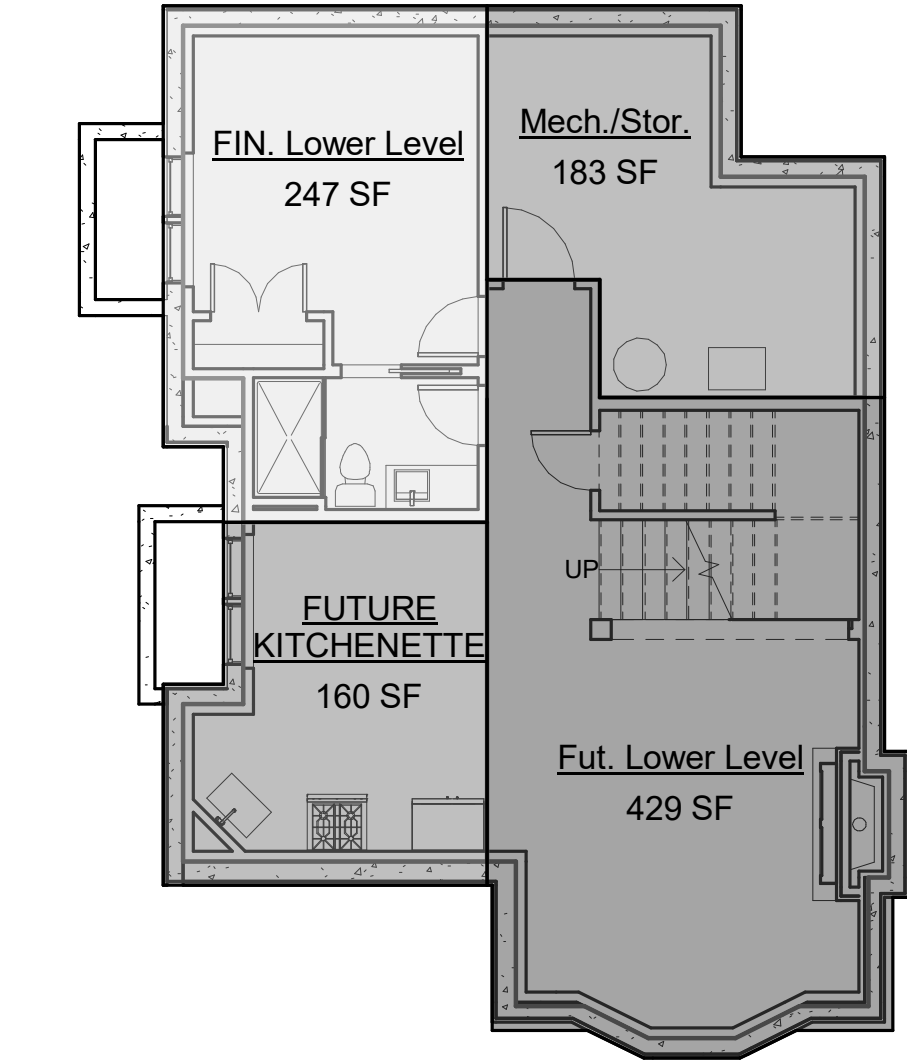
46. A MIN. 1/2" GYPSUM BOARD MEMBRANE, OR 5/8" WOOD STRUCTURAL PANEL MEMBRANE, SHALL BE PROVIDED ON THE UNDERSIDE OF FLOOR ASSEMBLIES. EXCEPTIONS A.DWELLINGS EQUIPPED WITH SPRINKLER SYSTEM. B.CRAWLSPACES C.PORCTIONS OF FLOOR ASSEMBLIES WITH PROPORTIONALLY SMALL AREA. D. FLOOR ASSEMBLIES CONSTRUCTED OF SOLID SAWN LUMBER OR STRUCTURAL COMPOSITE LUMBER WITH MIN. NOMINAL DIMENSIONS OF 2"x10".

47. DECKS SUPPORTED BY ATTACHMENT TO AN EXTERIOR WALL SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AND DESIGNED FOR BOTH VERTICAL AND LATERAL LOADS.

48. FLASHING WITH A MIN. 3 1/2" VERTICAL ATTACHMENT FLANGE IS REQUIRED AT THE INTERSECTION OF THE FOUNDATION AND RIM JOIST FRAMING WHEN THE EXTERIOR WALL COVERING DOES NOT LAP THE FOUNDATION INSULATION. THE FLASHING MUST EXTEND A MIN. OF 1" BELOW THE FOUNDATION PLATE LINE, AND THE REQUIRED WATER-RESISTIVE BARRIER MUST LAP OVER THE ATTACHMENT FLANGE.

49. BUILDING FRAMING CAVITIES SHALL NOT BE USED AS DUCTS OR PLENUMS

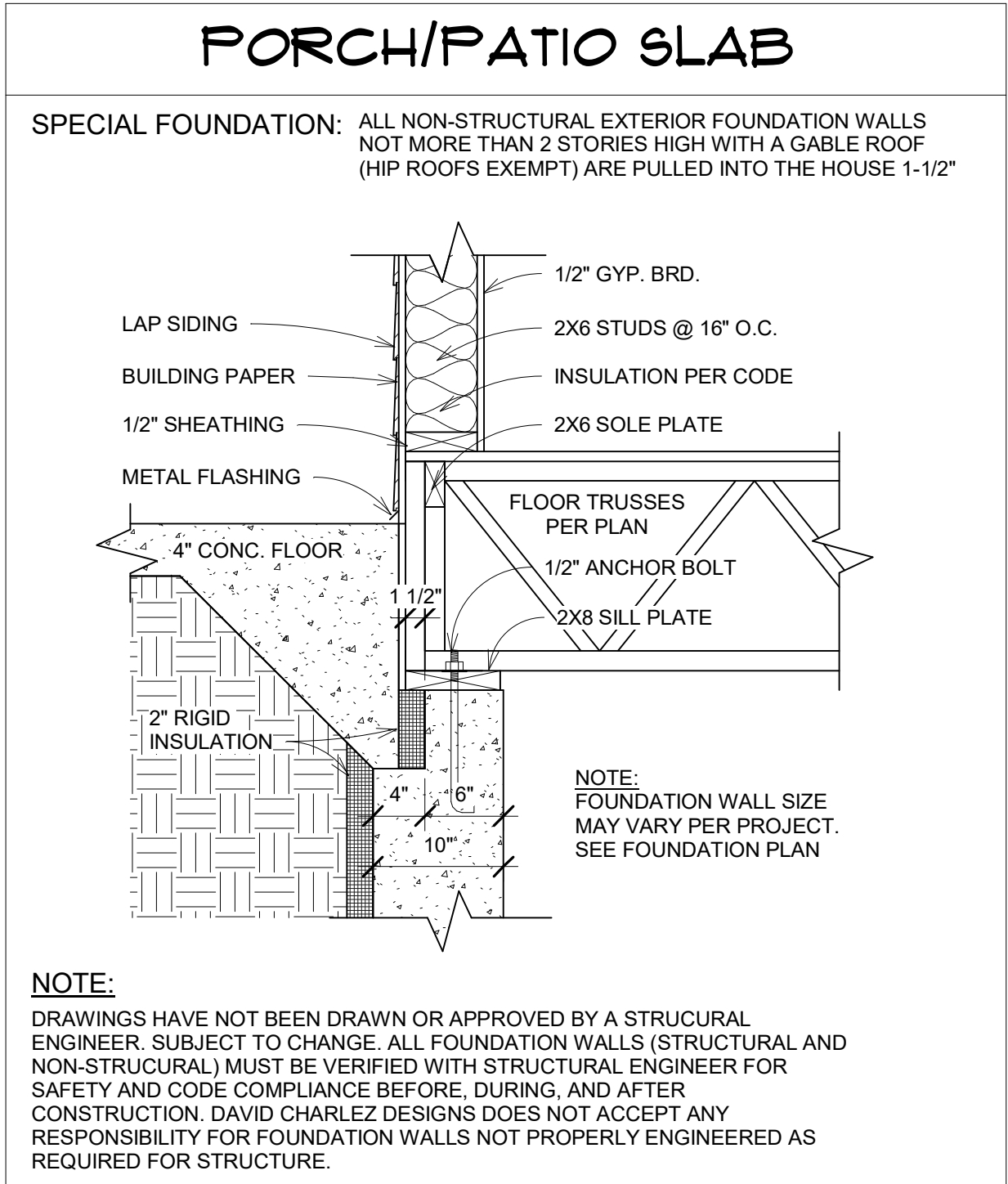
ABBREVIATIONS LIST	
A.C.	= AIR CONDITIONING
A.F.F.	= AT FINISHED FLOOR
B.C.B.	= BOTTOM CHORD BEARING
BD.	= BOARD
BDRM.	= BEDROOM
B.I.	= BUILT IN
B.M.	= BEAM
B.O.	= BOTTOM OF
BRG.	= BEARING
CABS.	= CABINETS
CANT.	= CANTLIEVER
CLG.	= CEILING
C.L.	= CENTER LINE
C.O.	= CASED OPENING
CONC.	= CONCRETE
CONT.	= CONTINUOUS
CPT.	= CARPET
CSMT	= CASEMENT
DBL.	= DOUBLE
D.H.	= DOUBLE HUNG
DIA.	= DIAMETER
DN.	= DOWN
D.O.	= DRYWALL OPENING
DR.	= DOOR
D.W.	= DISHWASHER
E.H.	= ENERGY HEEL
ELEC.	= ELECTRIC
ELEV.	= ELEVATOR
ENG.	= ENGINEER
EXT.	= EXTERIOR
EXST.	= EXISTING
F.D.	= FLOOR DRAIN
FIN.	= FINISHED
FLR.	= FLOOR
FND.	= FOUNDATION
F/P	= FIREPLACE
FRMG.	= FRAMING
FRZ.	= FREEZER
FTG.	= FOOTING
FURN.	= FURNITURE
FUT.	= FUTURE
FXD.	= FIXED
GLD.	= GLIDER
G.T.	= GIRDER TRUSS
GYP.	= GYPSUM
GYP. BD.	= GYPSUM BOARD
HDR.	= HEADER
HGT.	= HEIGHT
I.F.H.	= IN FLOOR HEAT
INSUL.	= INSULATION
INT.	= INTERIOR
LDG.	= LANDING
LIN.	= LINEN
LKRS.	= LOCKERS
LL.	= LOWER LEVEL
L.O.	= LOOKOUT
L.V.T.	= LUXURY VINYL TILE
MAX.	= MAXIMUM
MECH.	= MECHANICAL
MFG.	= MANUFACTURE(R)
MIN.	= MINIMUM
M.L.	= MAIN LEVEL
M.O.	= MASONRY OPENING
O.C.	= ON CENTER
OFF.	= OFFICE
OPNG	= OPENING
OPT.	= OPTIONAL
P.CONC.	= POLISHED CONCRETE
PERM.	= PERIMETER
PKT.	= POCKET
PLMG.	= PLUMBING
PWDR	= POWDER
REF.	= REFRIGERATOR
RM.	= ROOM
R&S.	= ROD & SHELF
S.D.L.	= SIMULATED DIVIDED LITE
SD.	= SMOKE DETECTOR
SD/CO	= SMOKE / CARBON MONOXIDE DETECTOR
S.H.	= SINGLE HUNG
SHLVG.	= SHELVING
SHLV.	= SHELVES
S.LD.	= SLIDER
SNK.	= SINK
SPEC.	= SPECIFICATIONS
STL.	= STEEL
STRG.	= STORAGE
STRUC.	= STRUCTURAL
SQ. FTG.	= SQUARE FOOTAGE
TBD.	= TO BE DETERMINED
T.C.B.	= TOP CHORD BEARING
T&G.	= TONGUE AND GROOVE
T.O.	= TOP OF
TRD.	= TREATED
TRSM.	= TRANSOM
TYP.	= TYPICAL
U.L.	= UPPER LEVEL
UNFIN.	= UNFINISHED
VTY.	= VANITY
WD.	= WOOD
WDW.	= WINDOW
W.I.C.	= WALK IN CLOSET
W.O.	= WALKOUT
WSHR.	= WASHER



1

LOWER LEVEL

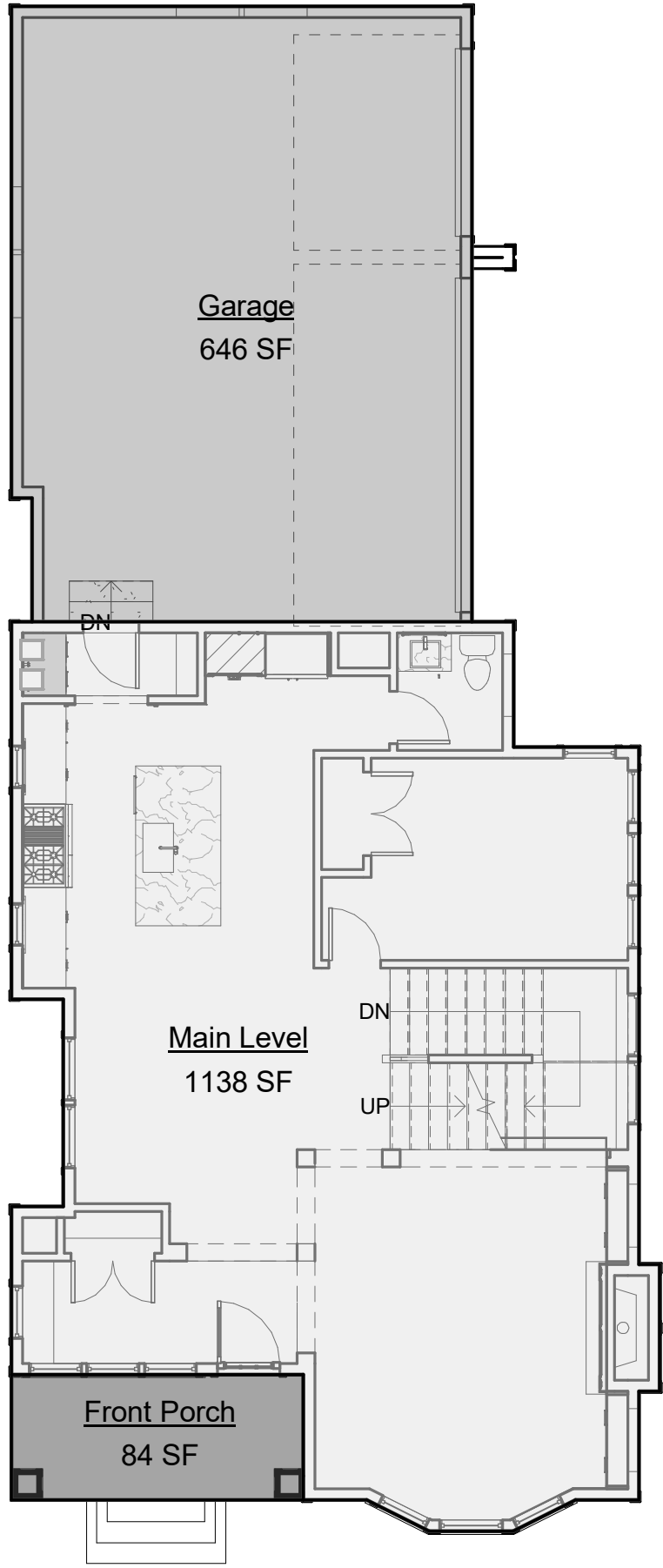
1/8" = 1'-0"



4

FLOOR DETAIL - PORCH/PATIO SLAB

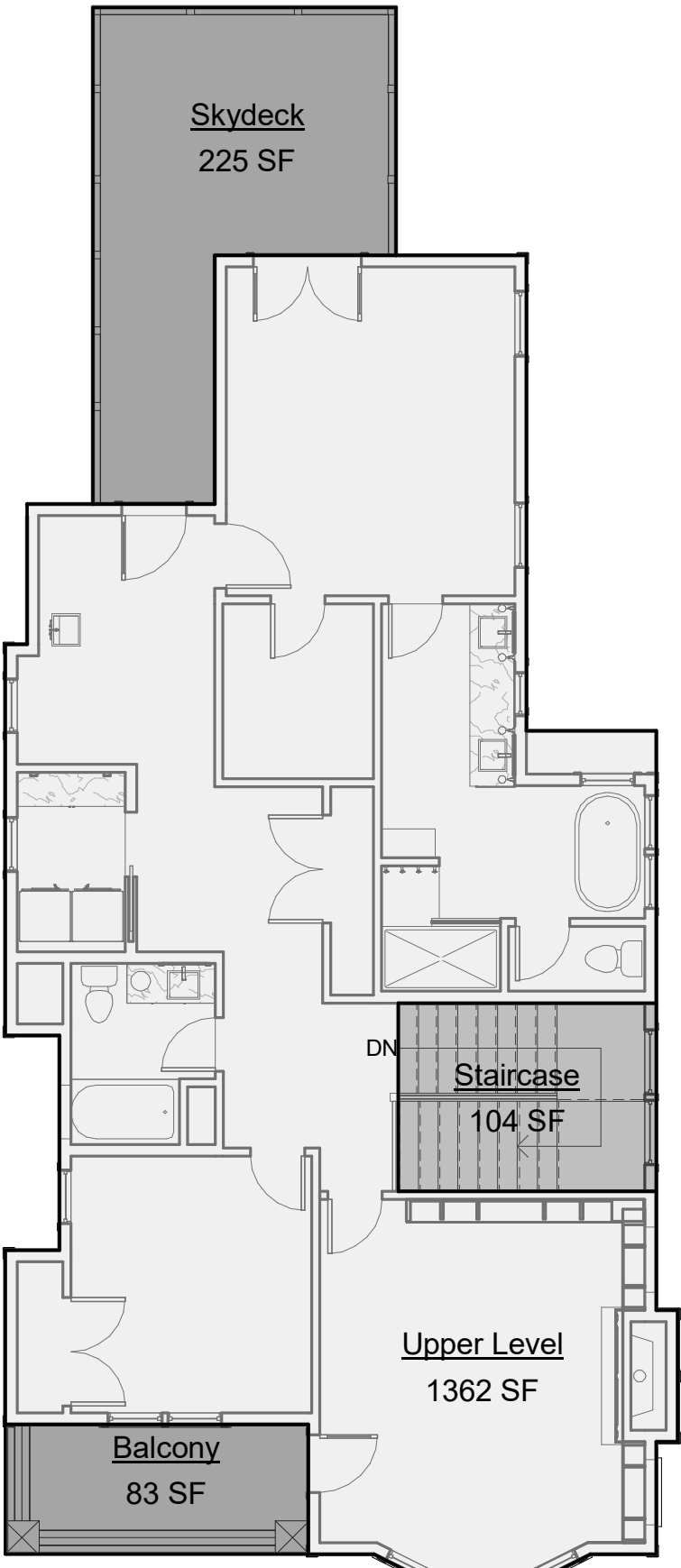
1" = 1'-0"



2

MAIN LEVEL

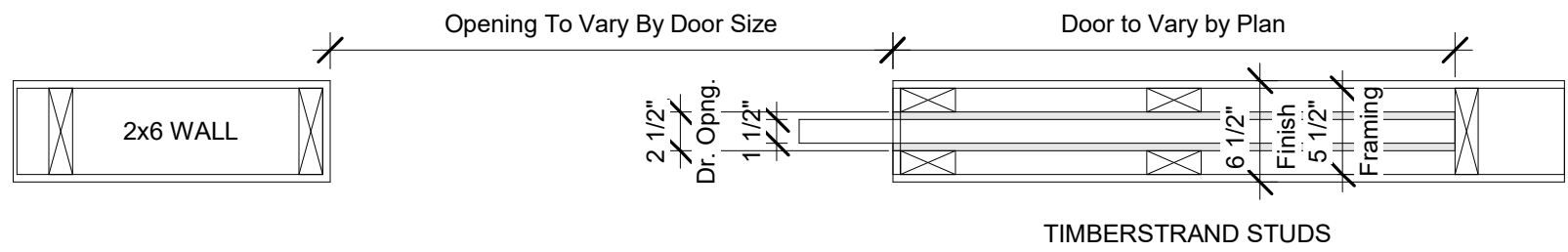
1/8" = 1'-0"



3

UPPER LEVEL

1/8" = 1'-0"



5

DETAIL- 2X6 POCKET DOOR FRAMING

1" = 1'-0"

SQ. FTG. CALCULATIONS

LOWER LEVEL:

247 SQ. FT. FINISHED LOWER LEVEL

429 SQ. FT. FUTURE LOWER LEVEL

160 SQ. FT. FUTURE KITCHENETTE

183 SQ. FT. MECHANICAL ROOM

UPPER LEVEL:

1362 SQ. FT. UPPER LEVEL

104 SQ. FT. STAIRCASE

83 SQ. FT. BALCONY

225 SQ. FT. SKYDECK

MAIN LEVEL:

1138 SQ. FT. MAIN LEVEL

84 SQ. FT. FRONT PORCH

646 SQ. FT. GARAGE

FINISHED TOTAL:

2747 SQ. FT. FINSHED TOTAL

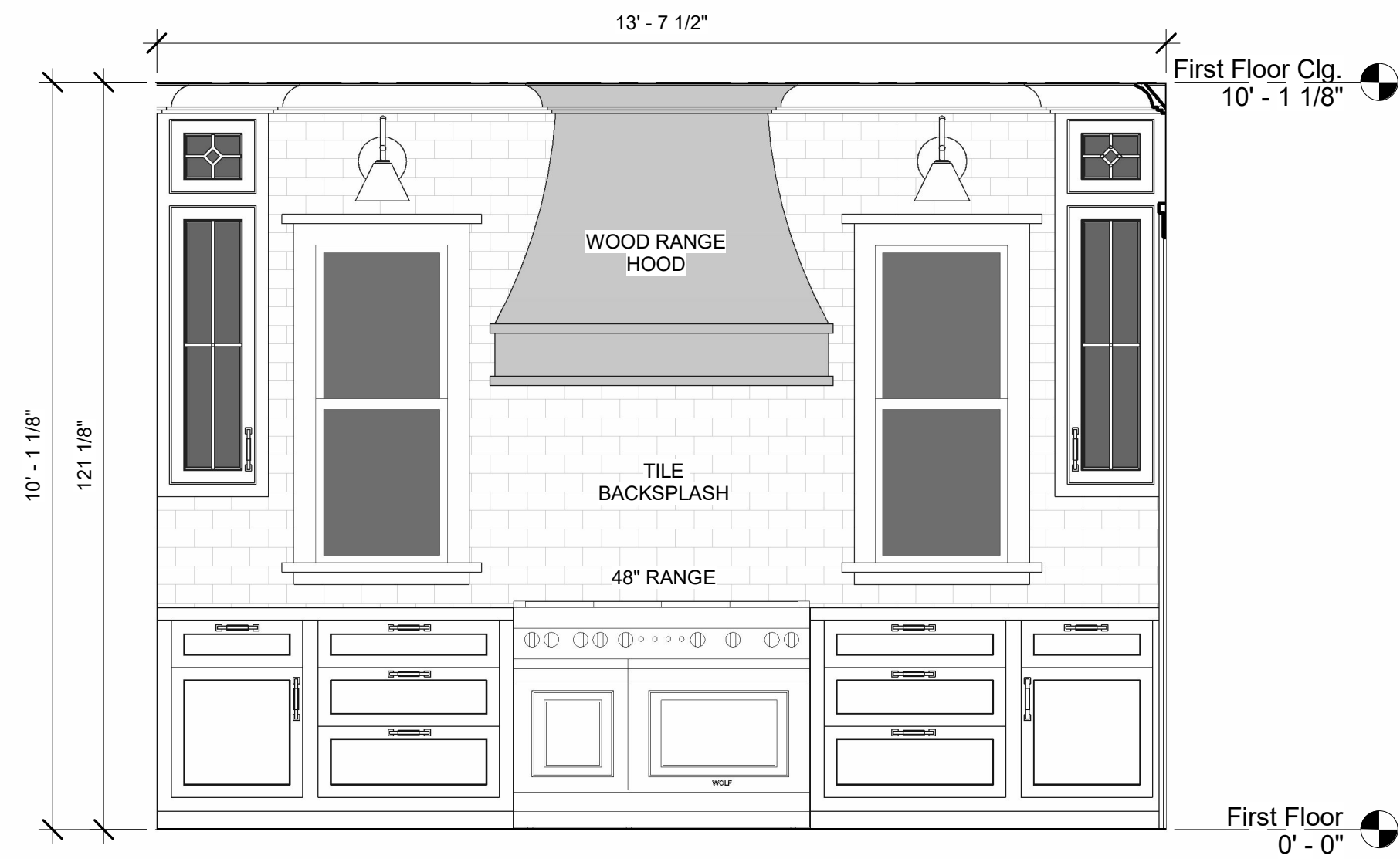
(INCLUDES LOWER, MAIN, & UPPER LEVELS)

(MAIN AND LOWER = 2500 FIN. FQ. FT.)

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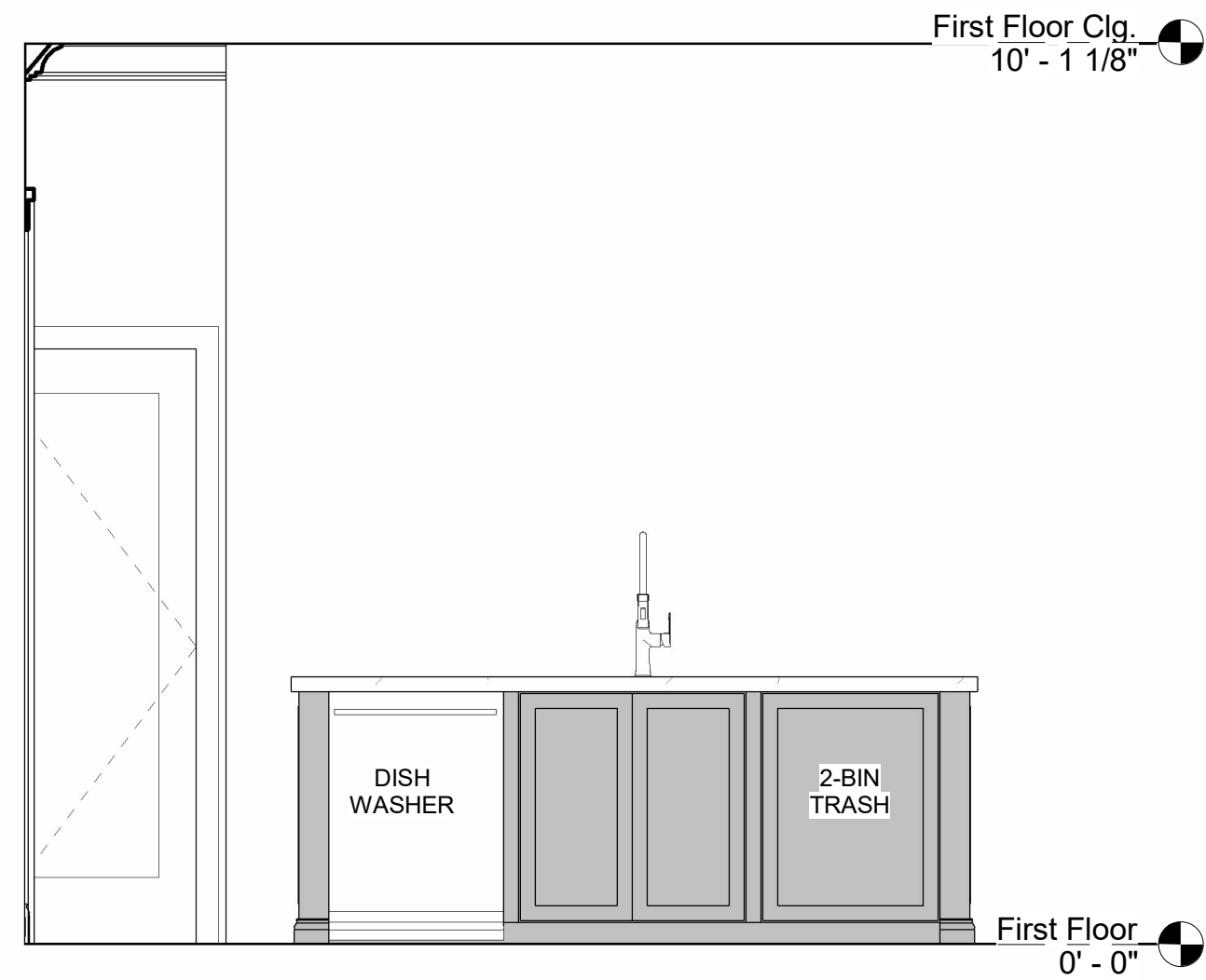
**DESIGNER
DISCLAIMER**

INTERIOR ELEVATIONS SHOWN
ARE FOR ILLUSTRATIVE
PURPOSES ONLY. NOT FOR
CONSTRUCTION. ALL
DIMENSIONS AND DETAILS
SHOWN ARE SUBJECT TO
CHANGE AND SHOULD BE
VERIFIED AND FINALIZED WITH
THE GENERAL CONTRACTOR,
INTERIOR DESIGNER, AND
CLIENT. SDB CABINET
DESIGNER WILL PROVIDE
ACCURATE SHOP DRAWINGS
FOR ALL CABINETS SHOWN.



1 M.L. - KITCHEN @ RANGE

1/2" = 1'-0"



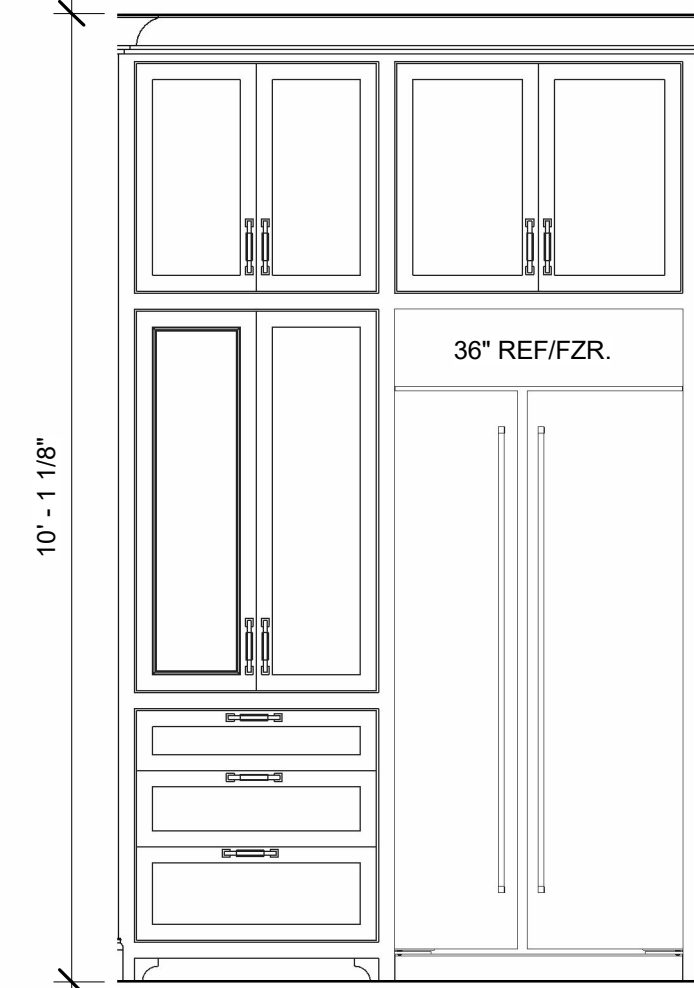
6 M.L. - ISLAND I

1/2" = 1'-0"



7 M.L. - ISLAND II

1/2" = 1'-0"



3 M.L. - KITCHEN @ REF/FZR

1/2" = 1'-0"



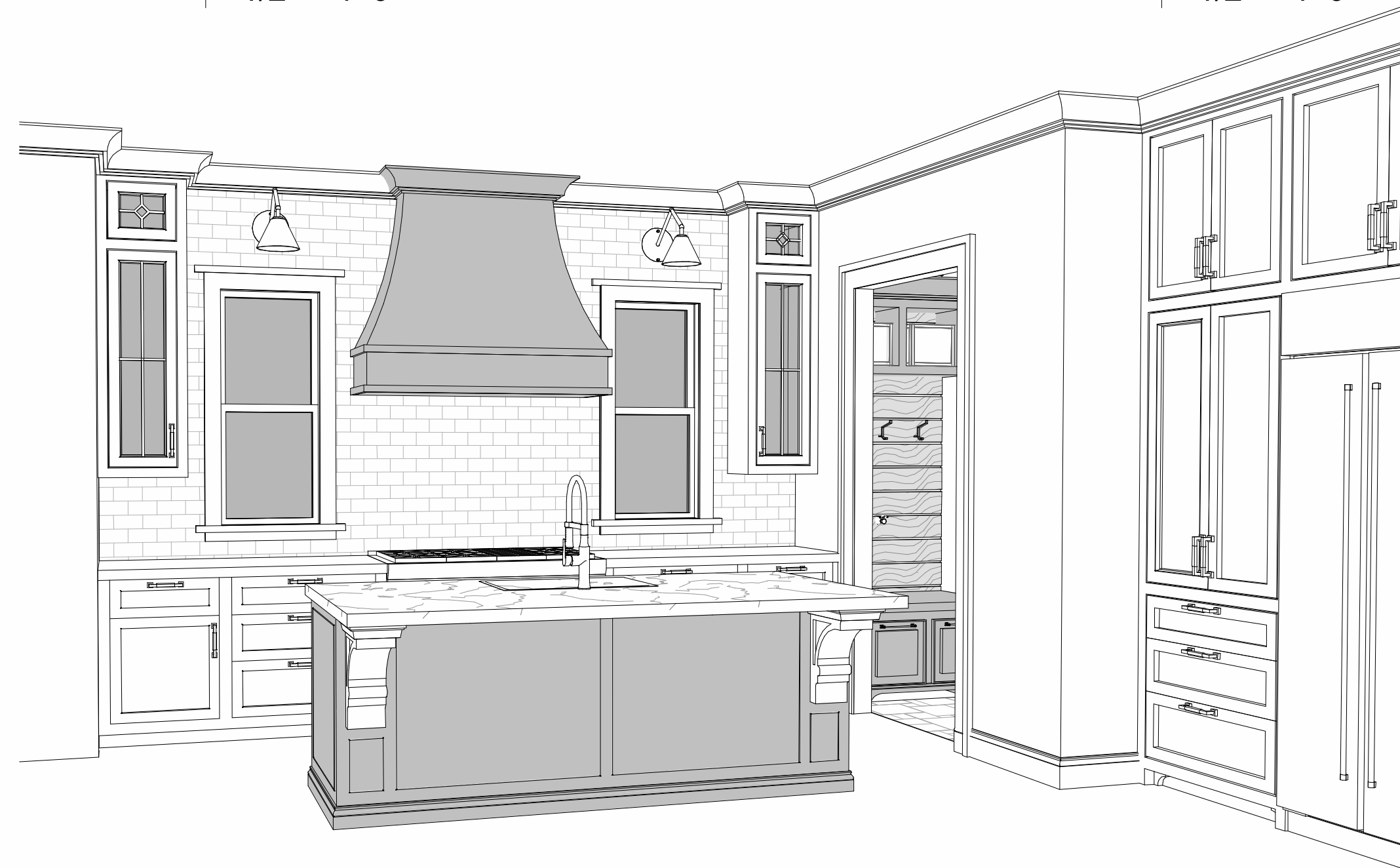
4 M.L. - ISLAND IV

1/2" = 1'-0"

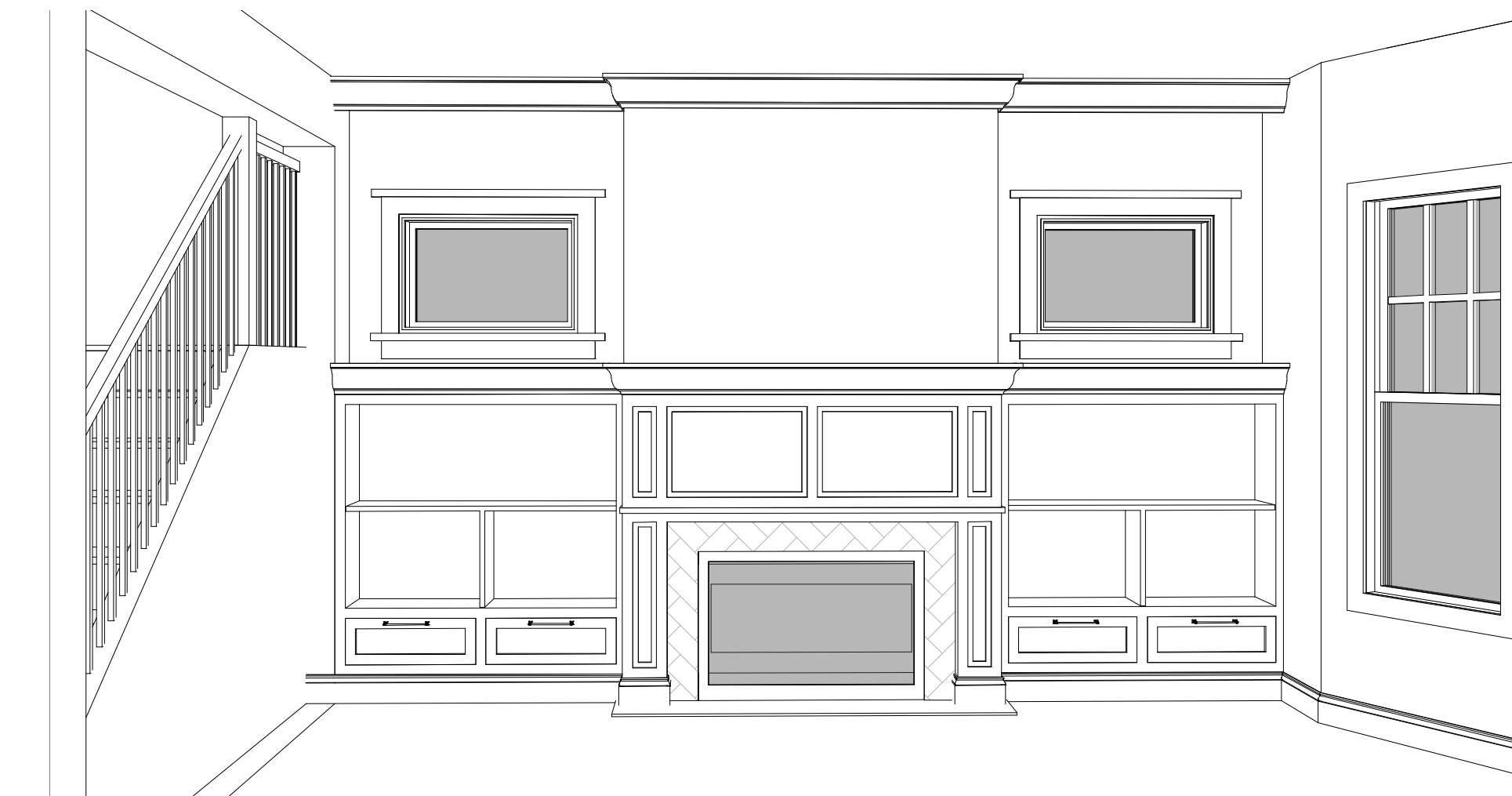


5 M.L. - ISLAND III

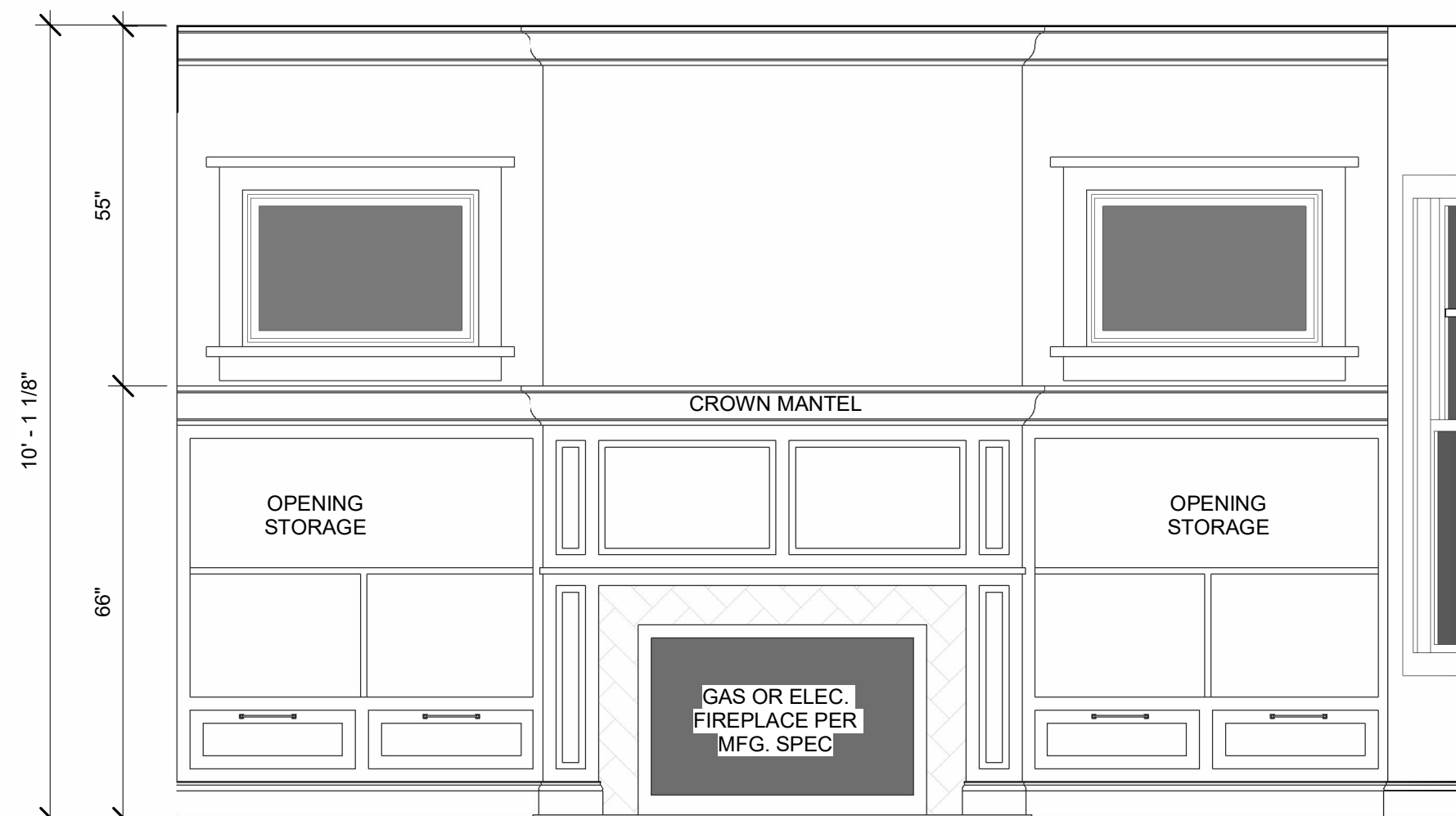
1/2" = 1'-0"



10 3D KITCHEN

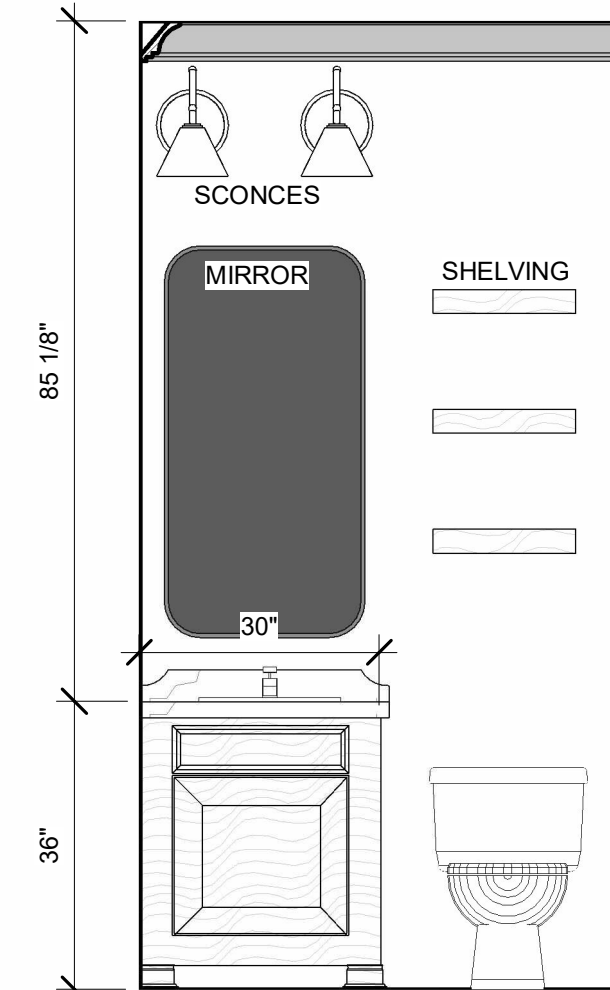


11 3D GREAT ROOM



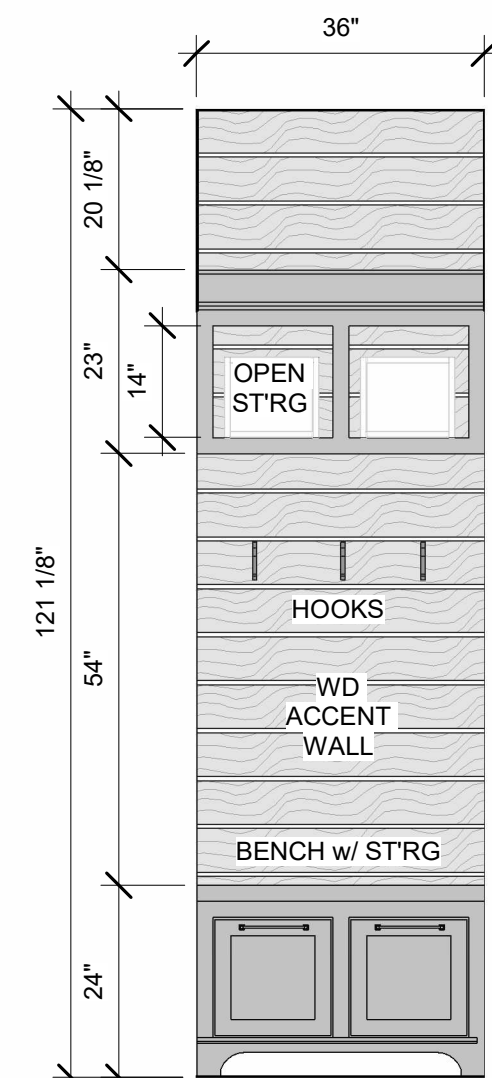
9 M.L. - GREAT ROOM FIREPLACE

1/2" = 1'-0"



8 M.L. - PWDR BATH

1/2" = 1'-0"



2 M.L. - MUDROOM BENCH

1/2" = 1'-0"

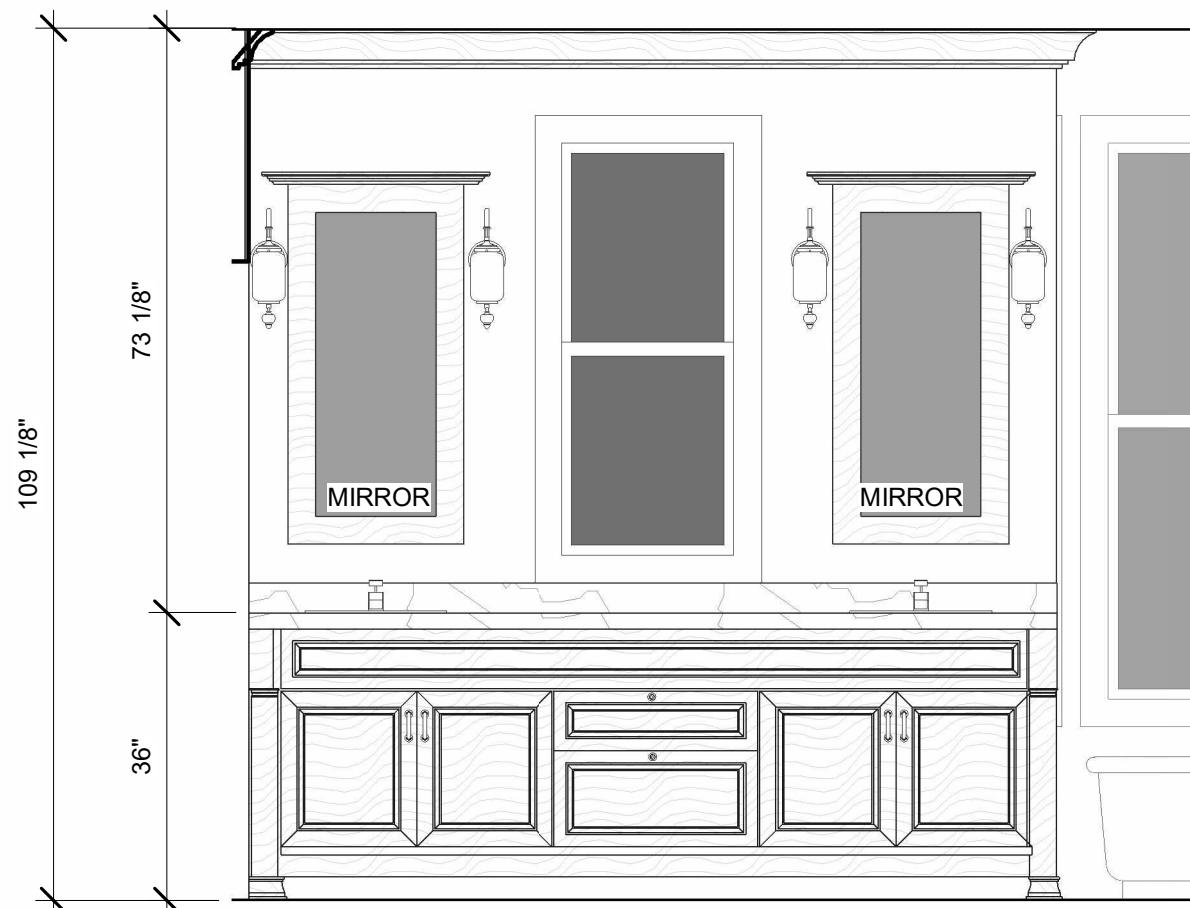
DESIGNER
DISCLAIMER

INTERIOR ELEVATIONS SHOWN
ARE FOR ILLUSTRATIVE
PURPOSES ONLY. NOT FOR
CONSTRUCTION. ALL
DIMENSIONS AND DETAILS
SHOWN ARE SUBJECT TO
CHANGE AND SHOULD BE
VERIFIED AND FINALIZED WITH
THE GENERAL CONTRACTOR,
INTERIOR DESIGNER, AND
CLIENT. SDB CABINET
DESIGNER WILL PROVIDE
ACCURATE SHOP DRAWINGS
FOR ALL CABINETS SHOWN.



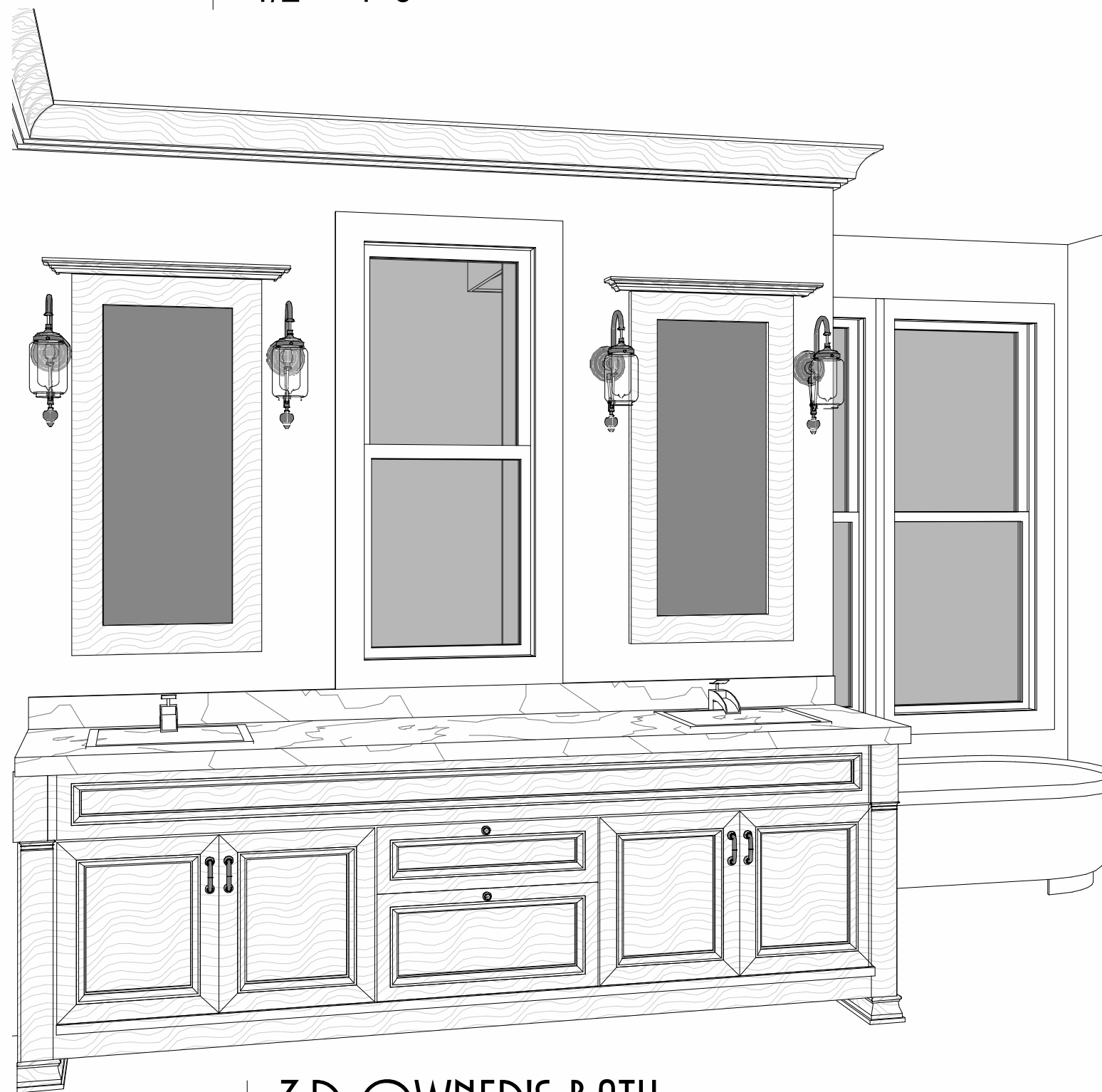
1 U.L. - LIBRARY FIREPLACE

1/2" = 1'-0"

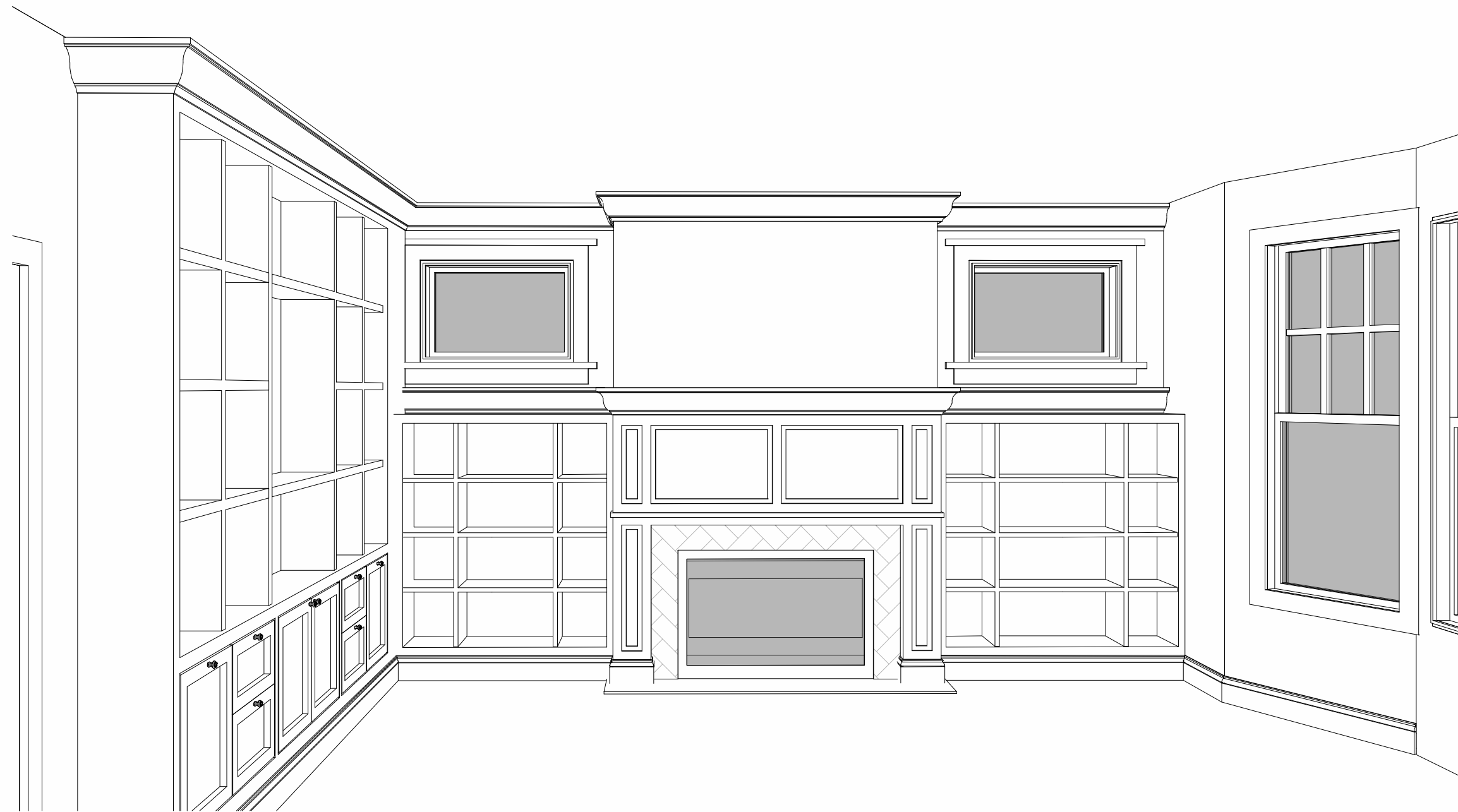


3 U.L. - OWNER'S BATH

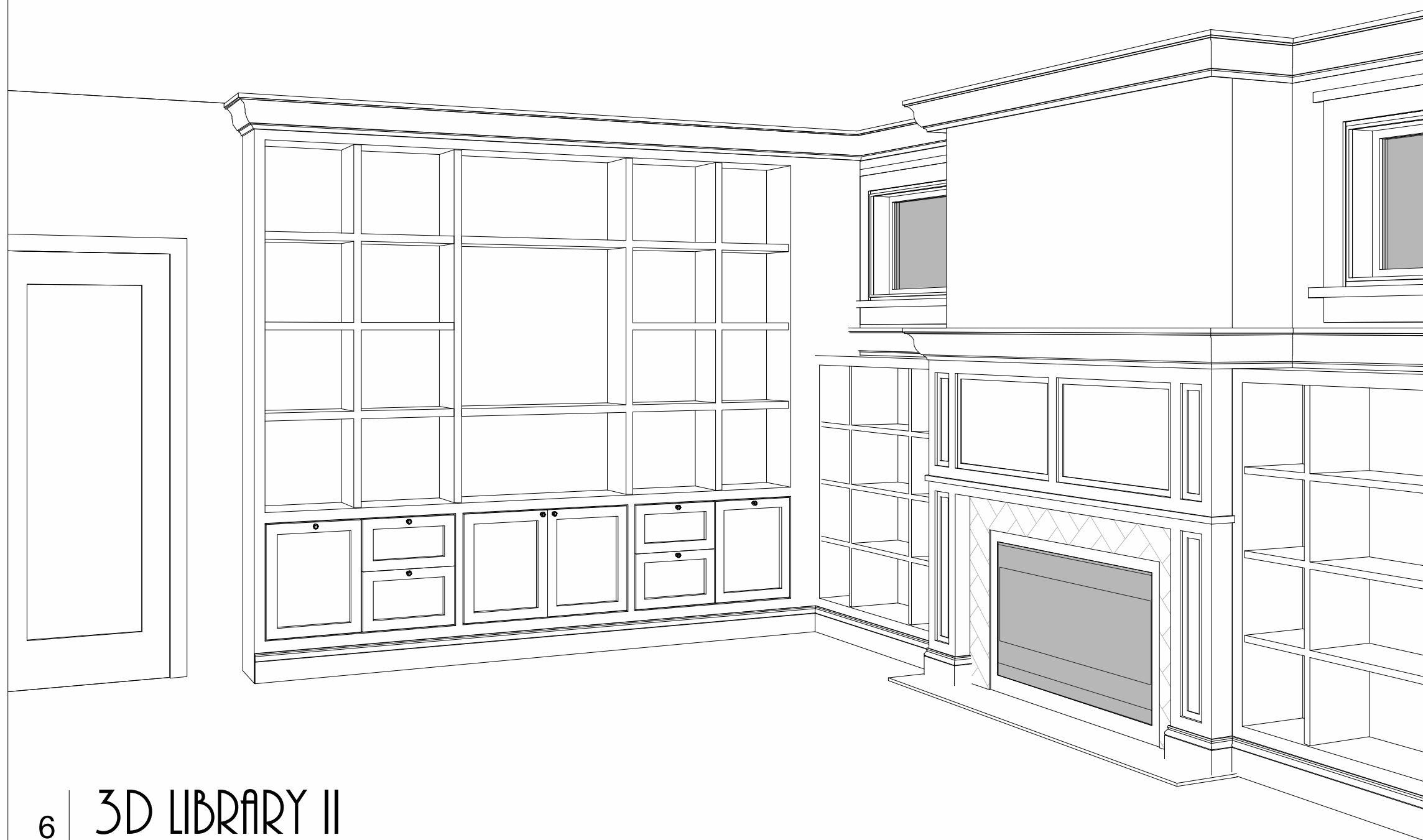
1/2" = 1'-0"



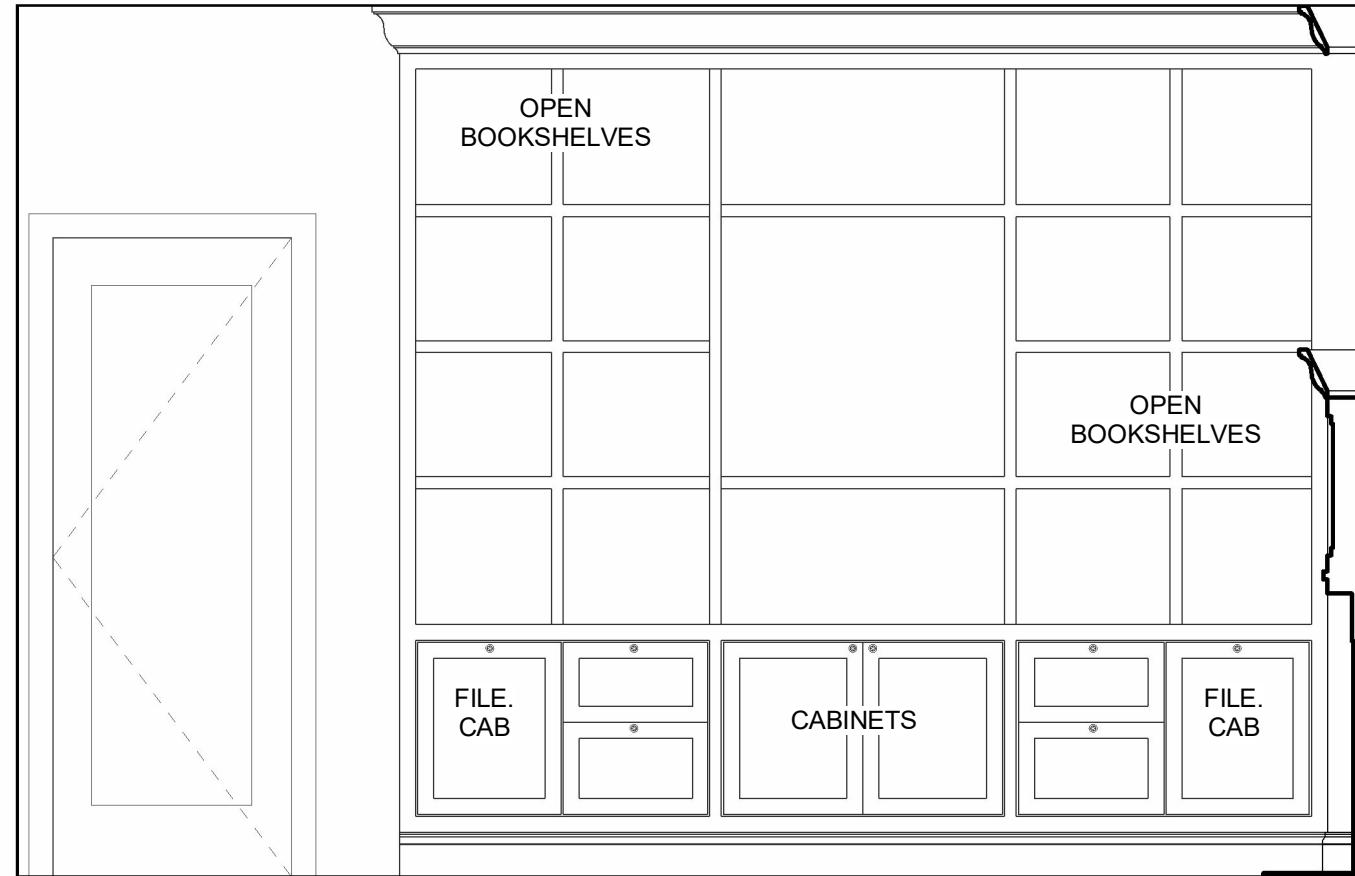
7 3D OWNER'S BATH



5 3D LIBRARY

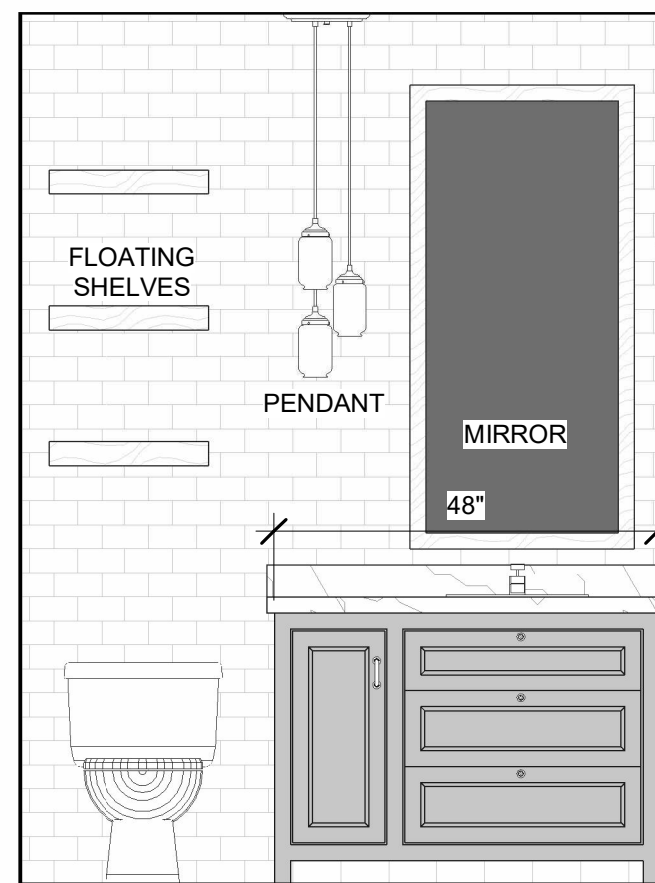


6 3D LIBRARY II



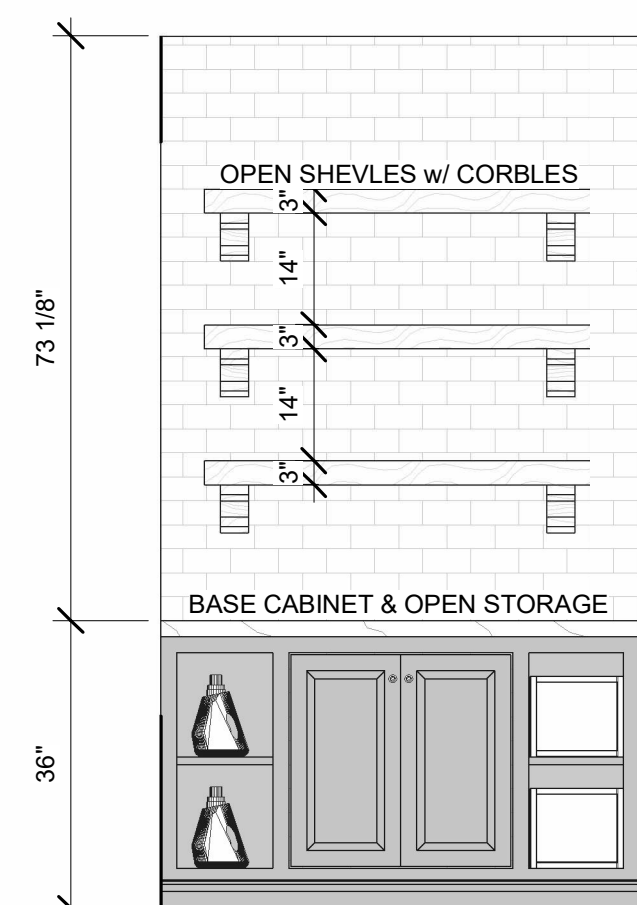
2 U.L. - LIBRARY BOOKSHELF

1/2" = 1'-0"



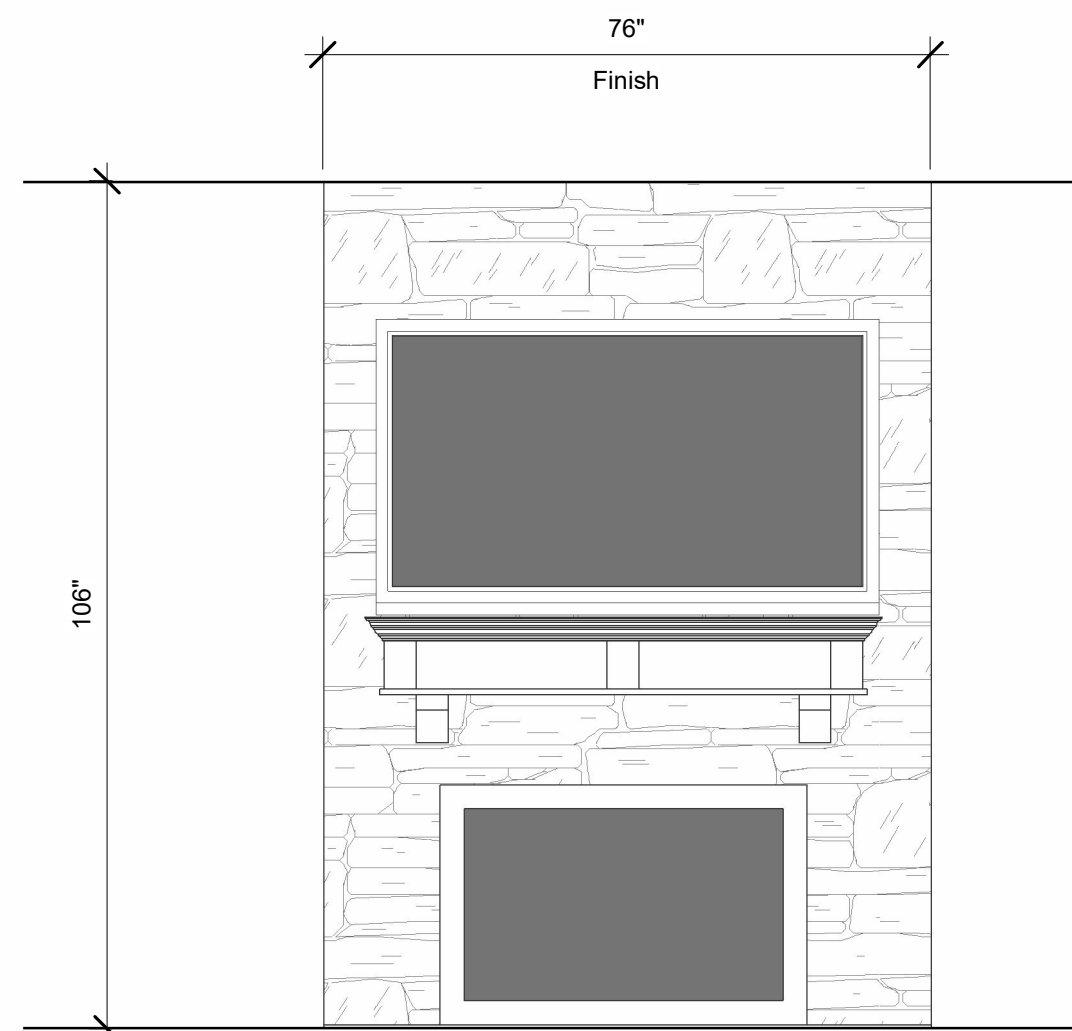
4 U.L. - BATH

1/2" = 1'-0"



8 U.L. LAUNDRY CAB.

1/2" = 1'-0"



9 L.L. - FAMILY ROOM FIREPLACE

1/2" = 1'-0"

CERTIFICATE OF SURVEY

PROPERTY ADDRESS: Unassigned, Ryan Ave., St. Paul, MN
(10' GARAGE/PART OF HOUSE & 9' WALLS, SEE HSE PLANS)
10 POURED WALLS, FULL BASEMENT

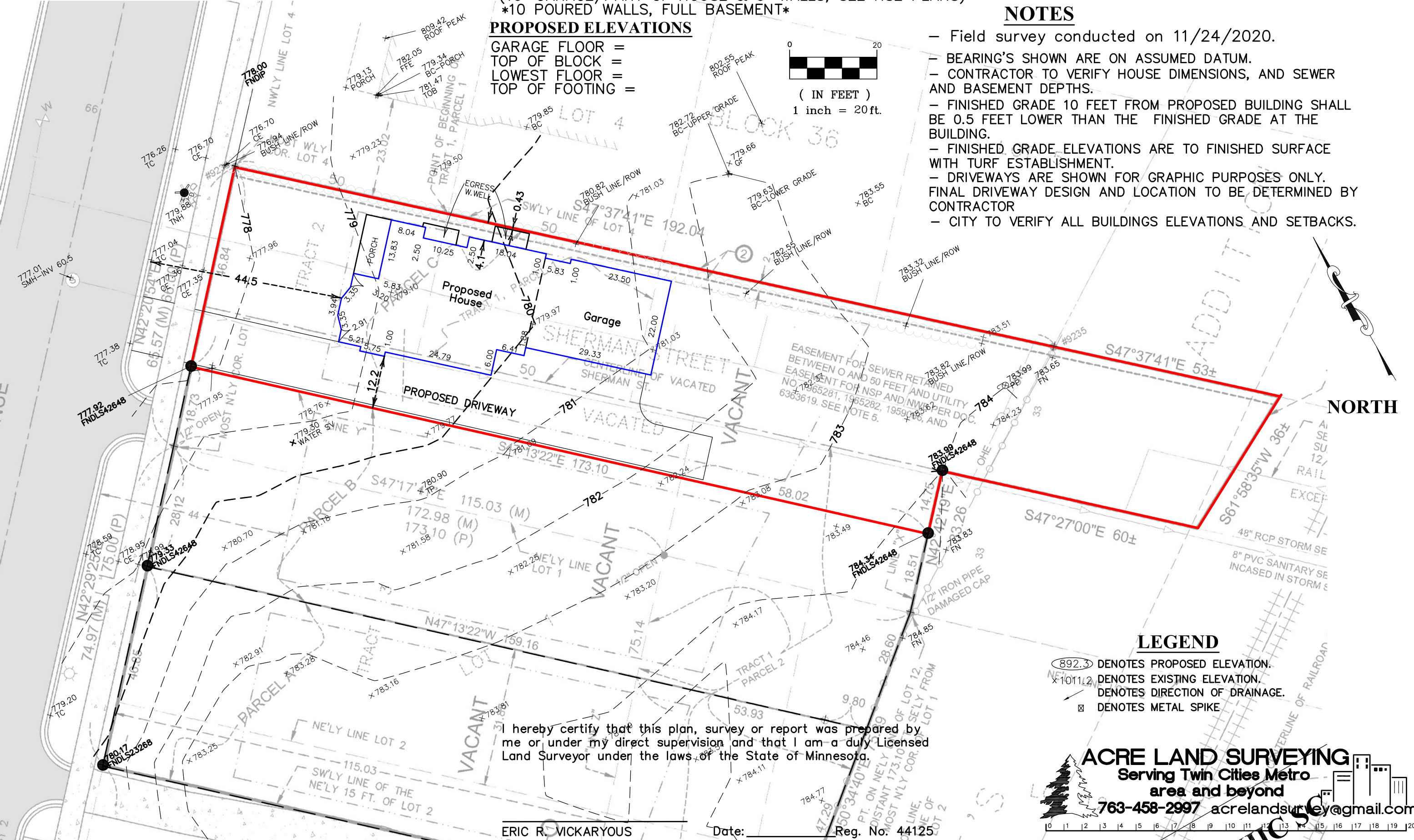
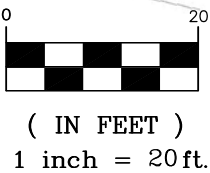
~for~ Sharkey Design Build

NOTES

- Field survey conducted on 11/24/2020.
- BEARING'S SHOWN ARE ON ASSUMED DATUM.
- CONTRACTOR TO VERIFY HOUSE DIMENSIONS, AND SEWER AND BASEMENT DEPTHS.
- FINISHED GRADE 10 FEET FROM PROPOSED BUILDING SHALL BE 0.5 FEET LOWER THAN THE FINISHED GRADE AT THE BUILDING.
- FINISHED GRADE ELEVATIONS ARE TO FINISHED SURFACE WITH TURF ESTABLISHMENT.
- DRIVEWAYS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. FINAL DRIVEWAY DESIGN AND LOCATION TO BE DETERMINED BY CONTRACTOR
- CITY TO VERIFY ALL BUILDINGS ELEVATIONS AND SETBACKS.

PROPOSED ELEVATIONS

GARAGE FLOOR =
TOP OF BLOCK =
LOWEST FLOOR =
TOP OF FOOTING =



LEGEND

- 892.3 DENOTES PROPOSED ELEVATION.
- x1011.2 DENOTES EXISTING ELEVATION.
- DENOTES DIRECTION OF DRAINAGE.
- ⊠ DENOTES METAL SPIKE

I hereby certify that this plan, survey or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

ERIC R. VICKARYOUS

Date:

Reg. No. 44125

JOB #20432hs

C:\Users\eric.j\OneDrive\CAD-1D\20432 hs St Paul Sharkey\dwg\20432hs.dwg 12/2/2020 3:33:28 PM CST

ACRE LAND SURVEYING
Serving Twin Cities Metro
area and beyond
763-458-2997 acrelandsurvey@gmail.com







