



**April 22, 2021**

**Subject: Marshall Avenue Flats – Executive Summary**  
1619 Dayton Avenue/1606 Marshall Avenue  
St. Paul, Minnesota 55104

To Whom it May Concern,

We are excited to initiate and present the following design proposal and historic report for a new affordable housing development on the north side of the 1619 Dayton Avenue block in St. Paul. The new development is proposed as a 6-story, 98-unit apartment building that will call this site home and stand as a backdrop to the existing Richards Gordon School, originally constructed in 1911.

The Richards Gordon School building currently houses office and clinic space for the Family Tree Clinic where the proposed housing development provides a unique opportunity to mix living, working, and wellness on a single block. The site is surrounded by a limestone WPA retaining wall (Works Progress Administration) that was constructed in 1936 and has been repointed and renovated in the last 3 decades, which also delivers a distinguished character to the site.

As a design and development team, we thoroughly recognize the distinctive qualities of this site with respect to its historic nature, and also realize its importance to the current and future fabric of the Snelling Avenue corridor's rapidly gentrifying neighborhood.

It is our goal in this proposal to respect the most unique qualities of this site, while mitigating the impacts this new development has on the history of the site and acknowledging the inevitable and positive progress of the neighborhood.

Two key aspects outlining our approach to the new affordable housing development include:

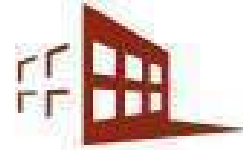
- Honoring the existing Richards Gordon School by utilizing materials, forms, and colors that create a direct relationship and a 'campus' feel on site.
- Preserving the existing 1936 WPA retaining wall where possible and constructing a new retaining wall where necessary to complement the existing wall and site context.

We sincerely appreciate your review of this proposal and look forward to any dialogue and discussions that may follow to make this exciting and much needed project a success for the Union Park Neighborhood and the City of St. Paul.

Sincerely,

Mohammed Lawal  
CEO | Principal Architect  
LSE Architects Inc.

Richard Pakonen  
Founder, Chief Manager  
PAK Properties



PAK PROPERTIES

# Marshall Avenue Flats

1619 Dayton Avenue | St. Paul, Minnesota



## Project Narrative

The Marshall Avenue Flats project proposed a 6-Story building with off-street parking below grade, and at grade shared with the adjacent office building.

Located at the intersection of Marshall Avenue and Fry Street in Saint Paul's Union Park neighborhood, this site offers residents excellent access to transit, services and anchoring institutions located within walking distance.

The project will add 98 units of affordable housing in a rapidly developing section of the city – where affordable housing stock is relatively limited.

### Tabular Schedule:

Site Area:	33,290 SF (0.764 Acres)
Building Footprint:	16,897 SF
Total Building Area:	116,741 GSF
Construction Type:	L-P & L-1 Type I-B L-2 – L-6 Type III-A
Enclosed Parking:	39 Stalls
Residential Units	98 Units
Site Address:	1619 Dayton Ave, Saint Paul, MN 55104

## Conceptual Approach

The Marshall Avenue Flats Affordable Housing Development is located along Marshall Avenue on the northern portion of the block that is currently occupied by the Richards Gordon School, originally constructed in 1911. The Richards Gordon School building currently houses office and clinic space for the Family Tree Clinic. The site is surrounded by a limestone WPA retaining wall (Works Progress Administration) that was constructed in 1936 and has been repointed and renovated in the last 3 decades.

Based on the historic nature of the site, an important goal for this new affordable housing development is to embrace the growth and density of the neighborhood as established in the City of St. Paul 2040 Comprehensive Plan, and at the same time, to pay homage to the history of the site and express the synergies of 'old' and 'new'.

### Relationship to existing building:

- Provide a 'Campus Feel' on site by use of similar materials.
- Play on the existing building elevations and 'datum lines' to establish proportions and visual relationships between 'old' and 'new'.
- Respect the simple material palette and classical forms of the Richards Gordon School in a contemporary aesthetic with a simple palette.

### Material use on proposed building:

- Utility Brick base - Cream color to match the existing school
- Charcoal Metal Panel – a 'contrast' to the school's cream brick building
- Charcoal Fiber Cement Panel – a 'contrast' to the school's cream brick building

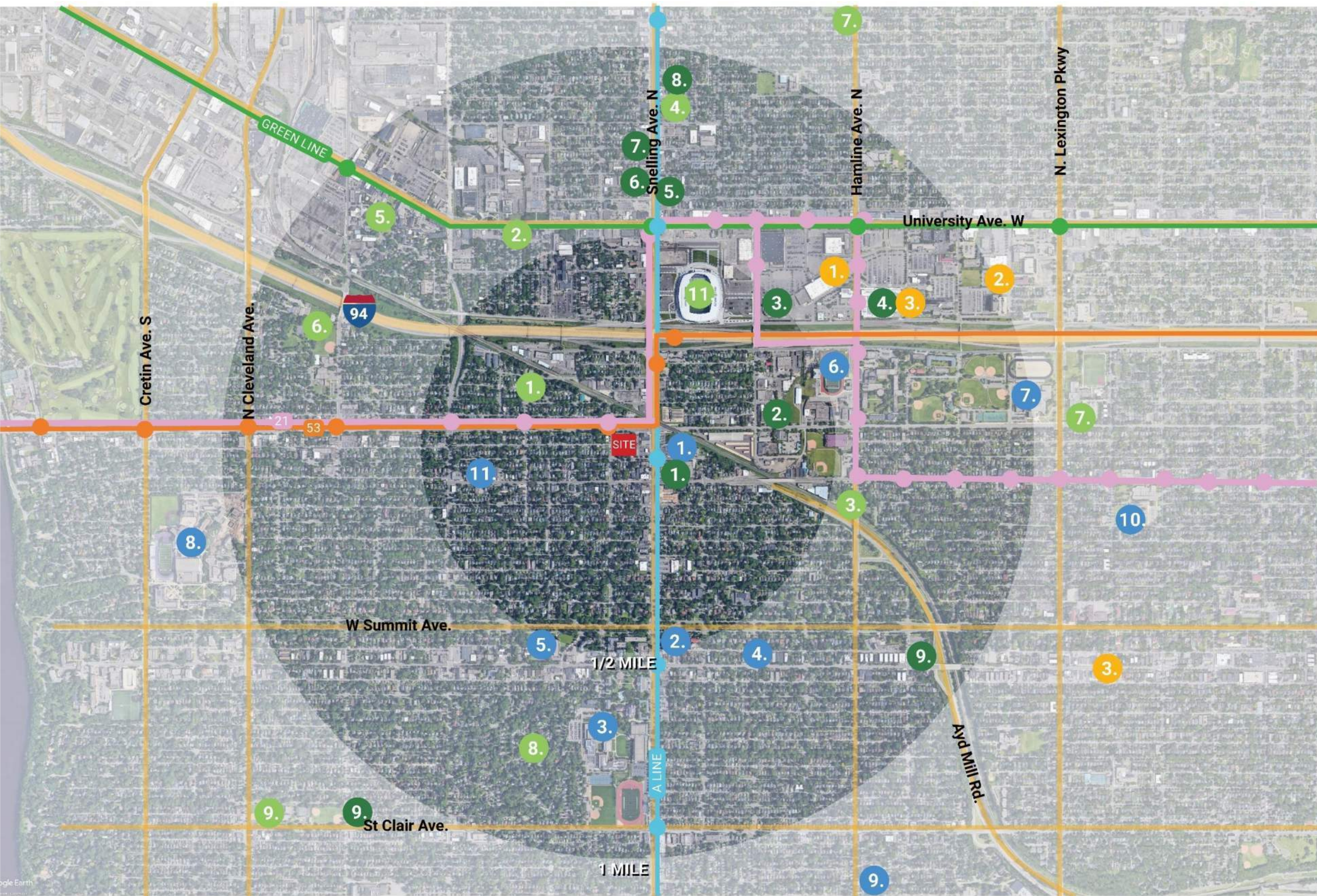
### Exterior Elevations:

We may think about the SOUTH ELEVATION of the new building as a 'backdrop' to the existing school – The relationship between the cream-colored brick and charcoal panel creates a familiar relationship and a contrast at the same time, allowing the front facade (south elevation) of the Richards Gordon School to shine with views from Dayton Avenue and Fry Street.

We may think of the NORTH ELEVATION of the new building as a 'theater curtain' to the existing school – When you turn the corner off Marshall Avenue on to Fry Street, the school is 'revealed' and new thoughtful relationships are formed to the 'campus'.

# Site & Context





**PARKS & RECREATION**

- 1. Aldine Park
- 2. Dickerman Park
- 3. Hamline & Hague Park (Tot-Lot)
- 4. Hamline Park & Recreation Center
- 5. Iris Park
- 6. Saint Paul Recreation Center
- 7. Jimmy Lee Recreation Center
- 8. Horton Park
- 9. Cambridge Triangle
- 10. Groveland Recreation Center
- 11. Allianz Field

**EDUCATION**

- 1. Primrose School of St. Paul at Merriam Park
- 2. Laura Jeffery Academy
- 3. Macalester College
- 4. Kinderberry Hill Child Development Center
- 5. Ramsey Middle School
- 6. Concordia Academy
- 7. Central High School
- 8. St. Thomas
- 9. Randolph Heights Elementary School
- 10. JJ Hill Montessori School
- 11. Merriam Park Library

**GROCERY**

- 1. Whole Foods
- 2. Schmitz Food LLC
- 3. Cub Foods
- 4. Target
- 5. Dahabshil Market
- 6. Sheger Market
- 7. Star Foods Market
- 8. Mini Grocery
- 9. Kowalski's Market
- 10. Widmer's Super Market

**HEALTHCARE**

- 1. M Health Fairview Clinic
- 2. Health Partners Clinic
- 3. Minute Clinic

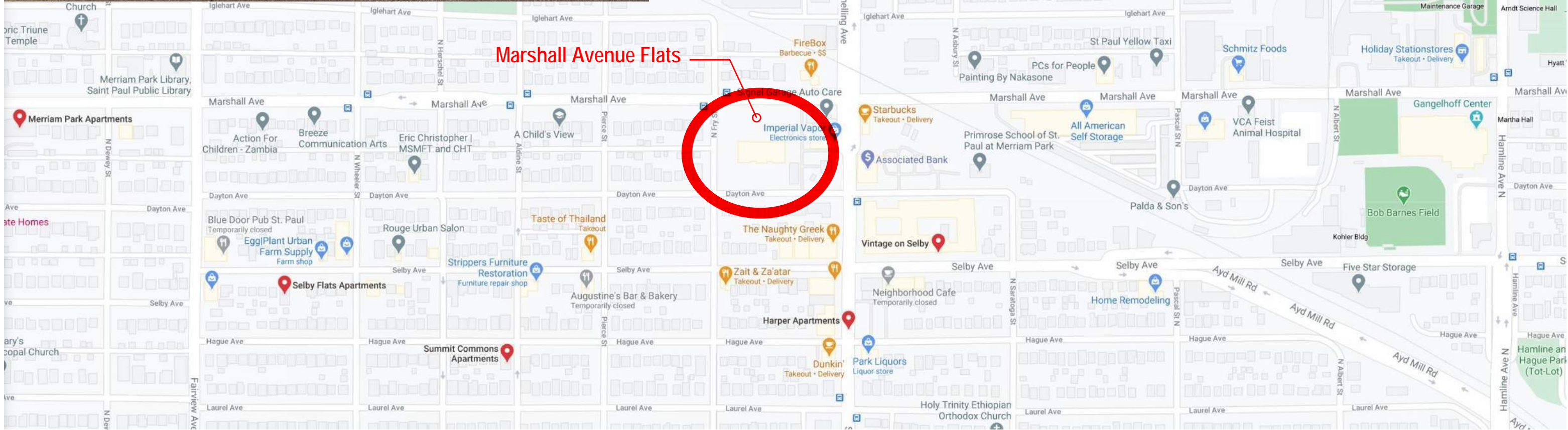




Harper Apartments on Snelling



Vintage on Selby







South Elevation



North Elevation



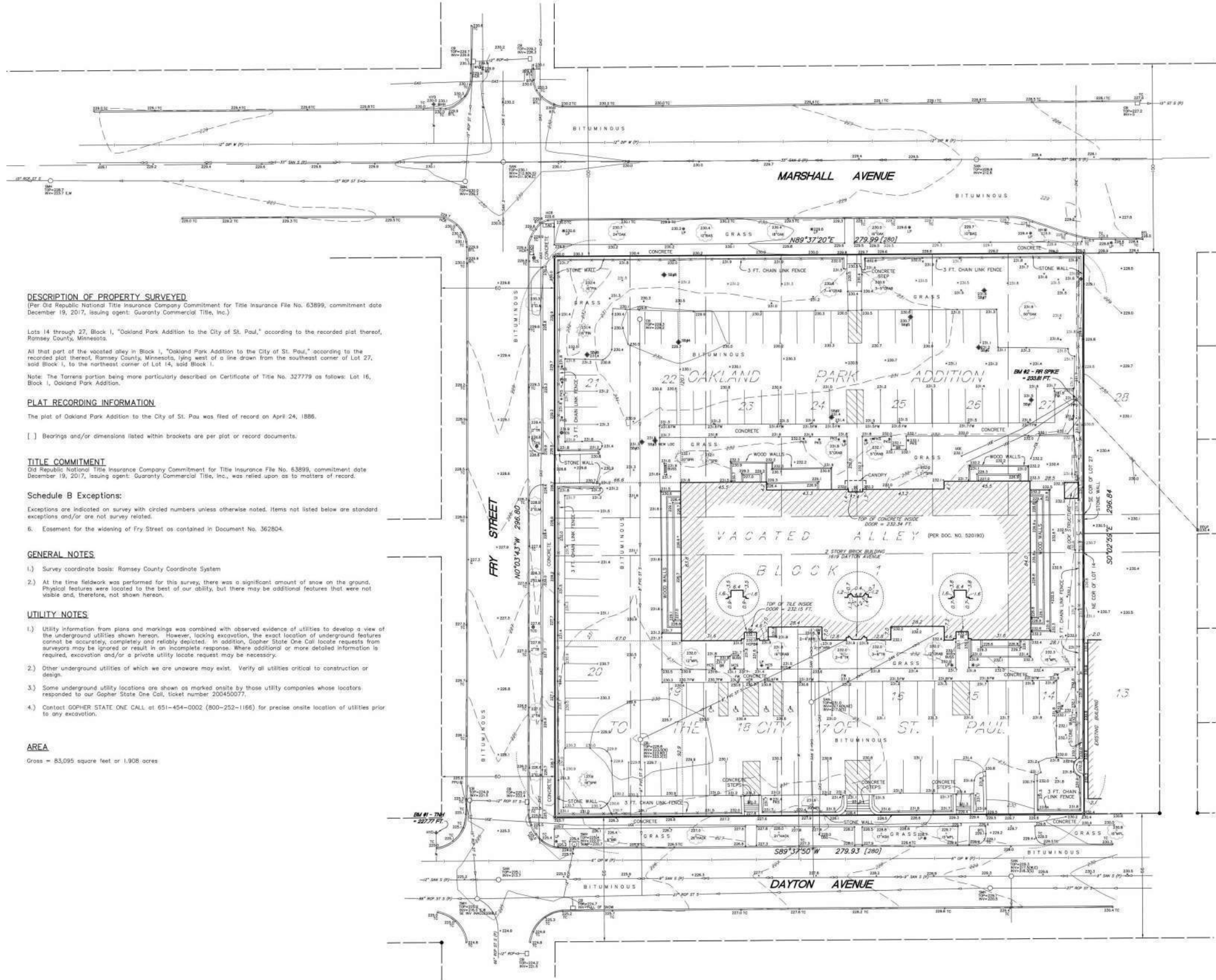
West Elevation











- LEGEND**
- Denotes iron monument set marked with P.L.S. No. 44900
  - Denotes found iron monument
  - ⊙ Denotes 1.17 inch diameter copper magnetized marker with disc cap affixed stamped LS-44900 set
  - BE Denotes building entrance
  - BR Denotes bike rack
  - BTL Denotes beaver tail curb
  - BUSS Denotes business sign
  - CB Denotes catch basin
  - CP Denotes cast iron pipe
  - DIP Denotes ductile iron pipe
  - FOL Denotes fiber optic line
  - FW Denotes face of work
  - GM Denotes gas meter
  - GW Denotes guy wire
  - HCPB Denotes handicap door push button
  - HCR Denotes handicap ramp
  - HCS Denotes disabled sign
  - HH Denotes hand hole
  - HYD Denotes fire hydrant
  - INV Denotes structure invert
  - LP Denotes light pole
  - OHE Denotes overhead electric line
  - (P) Denotes per plan
  - PKS Denotes parking sign
  - PPLP Denotes power and light pole
  - PPL Denotes power pole with underground utility
  - PVC Denotes polyvinylchloride pipe
  - RCP Denotes reinforced concrete pipe
  - SAN Denotes sanitary manhole
  - SAN S Denotes sanitary sewer
  - SB Denotes soil boring
  - SM Denotes storm manhole
  - ST S Denotes storm sewer
  - TAD Denotes truncated dome
  - TC Denotes top of concrete curb
  - TCS Denotes traffic control sign
  - UGE Denotes underground electric line
  - W Denotes water line
  - WV Denotes water valve
  - ARB Denotes Arborvitae
  - BAS Denotes Basswood tree
  - BIR Denotes Birch tree
  - CRAB Denotes Crabapple tree
  - HACK Denotes Hackberry tree
  - MPL Denotes Maple tree
  - PIN Denotes Pine tree
  - SPR Denotes Spruce tree
  - TR Denotes deciduous tree

- BENCHMARKS (BM)**
- 1.) Top of top nut of fire hydrant at northwest quadrant of Dayton Avenue and Fry Street.  
Elevation = 227.77 feet
  - 2.) Top of railroad spike on north side of power pole northeast of northeast building corner.  
Elevation = 233.81 feet
- NOTE: Elevations shown are based on City of St. Paul datum. Add 694.10 feet to convert to mean sea level datum.

**DESCRIPTION OF PROPERTY SURVEYED**  
 (Per Old Republic National Title Insurance Company Commitment for Title Insurance File No. 63899, commitment date December 19, 2017, issuing agent: Guaranty Commercial Title, Inc.)

Lots 14 through 27, Block 1, "Oakland Park Addition to the City of St. Paul," according to the recorded plat thereof, Ramsey County, Minnesota.

All that part of the vacated alley in Block 1, "Oakland Park Addition to the City of St. Paul," according to the recorded plat thereof, Ramsey County, Minnesota, lying west of a line drawn from the southeast corner of Lot 27, said Block 1, to the northeast corner of Lot 14, said Block 1.

Note: The Tarrans portion being more particularly described on Certificate of Title No. 327779 as follows: Lot 16, Block 1, Oakland Park Addition.

**PLAT RECORDING INFORMATION**  
 The plat of Oakland Park Addition to the City of St. Paul was filed for record on April 24, 1886.

[ ] Bearings and/or dimensions listed within brackets are per plat or record documents.

**TITLE COMMITMENT**  
 Old Republic National Title Insurance Company Commitment for Title Insurance File No. 63899, commitment date December 19, 2017, issuing agent: Guaranty Commercial Title, Inc., was relied upon as to matters of record.

**Schedule B Exceptions:**  
 Exceptions are indicated on survey with circled numbers unless otherwise noted. Items not listed below are standard exceptions and/or are not surveyed related.

6. Easement for the widening of Fry Street as contained in Document No. 362804.

**GENERAL NOTES**

- 1.) Survey coordinate basis: Ramsey County Coordinate System
- 2.) At the time fieldwork was performed for this survey, there was a significant amount of snow on the ground. Physical features were located to the best of our ability, but there may be additional features that were not visible and, therefore, not shown hereon.

**UTILITY NOTES**

- 1.) Utility information from plans and markings was combined with observed evidence of utilities to develop a view of the underground utilities shown hereon. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. In addition, Gopher State One Call locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, excavation and/or a private utility locate request may be necessary.
- 2.) Other underground utilities of which we are unaware may exist. Verify all utilities critical to construction or design.
- 3.) Some underground utility locations are shown as marked onsite by those utility companies whose locators responded to our Gopher State One Call, ticket number 200450077.
- 4.) Contact GOPHER STATE ONE CALL at 651-454-0002 (800-252-1166) for precise onsite location of utilities prior to any excavation.

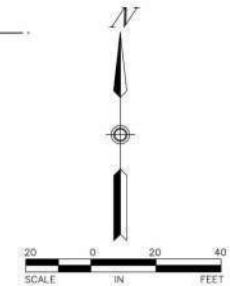
**AREA**  
 Gross = 83,095 square feet or 1.908 acres

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 5th day of March, 2020

SUNDE LAND SURVEYING, LLC.  
 By: *Alex J. Carlson*  
 Alex J. Carlson, P.L.S. Minn. Lic. No. 44900

Revised after snow melt	MAP 6/19/2020
Revision	By: Date
Drawing Title: <b>BOUNDARY, LOCATION, TOPOGRAPHIC and UTILITY SURVEY FOR: RC ENTERPRISES, LLC 1619 DAYTON AVE, ST. PAUL, MN</b>	
<b>SUNDE LAND SURVEYING</b> Main Office: 900 East Brookington Freeway (290) • Suite 118 Brookington, Minnesota 55420-2425 852-881-2425 (Fax: 852-888-8526) www.sunde.com	
Project: 2020-020	As of: 2/23/20
Team: 28	Range: 23 Section: 4
Date: 3/05/2020	Sheet: 1 of 1
File: 202002001.dwg	



**Marshall Avenue Flats**  
 1619 Dayton Avenue | St. Paul, Minnesota

**Existing Site Survey**

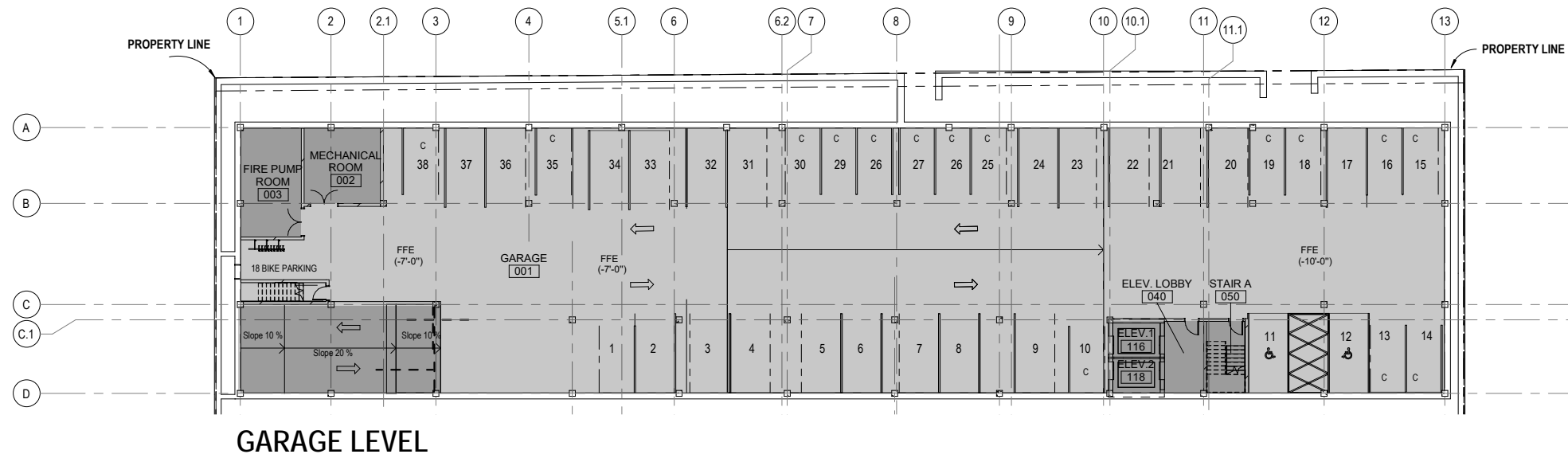








**GARAGE LEVEL**  
(38) stalls

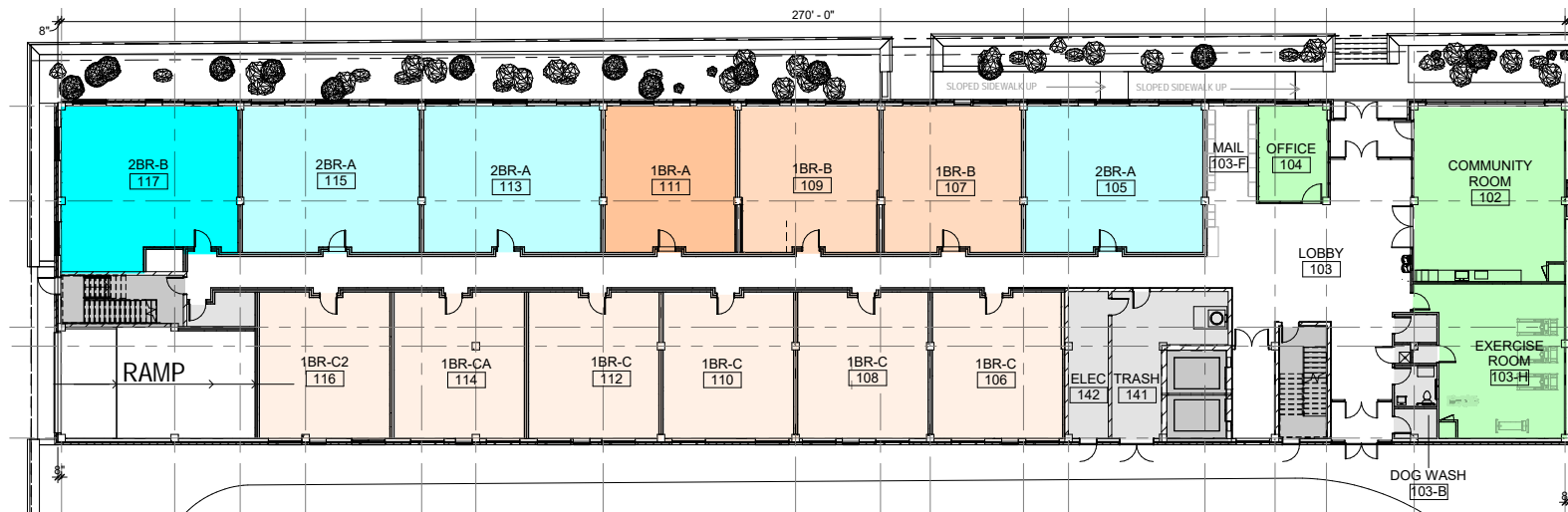


**GARAGE LEVEL**

**MAIN LEVEL**

1BR: (9)  
2BR: (4)

TOTAL: (13 units)

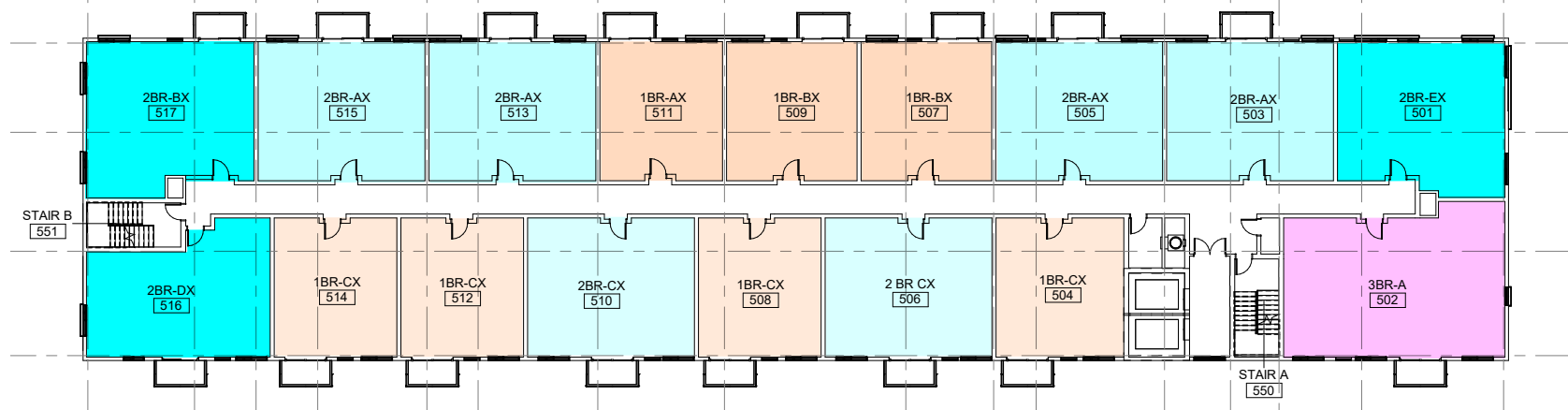


**MAIN LEVEL**

**LEVELS 2-6**

1BR: (7) x 5 = (35 total)  
2BR: (9) x 5 = (45 total)  
3BR: (1) x 5 = (5 total)

TOTAL: (17) x 5 = (85 units)



**LEVELS 2-6**

**TOTAL UNITS: (98)**

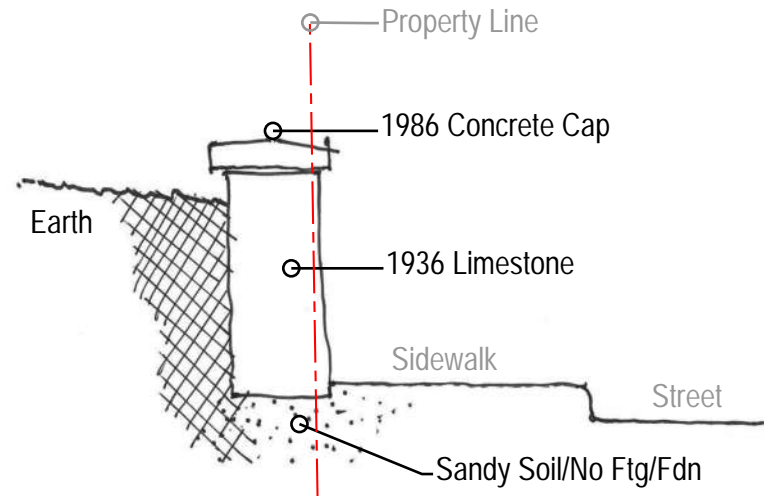
# Retaining Wall



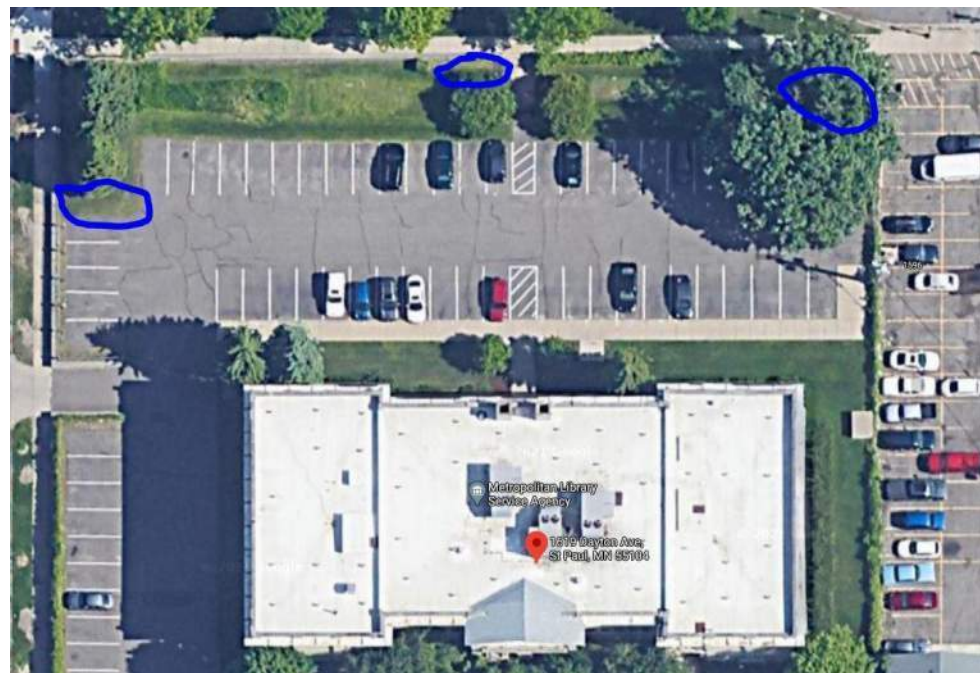


A Forensic exploration of the existing WPA Retaining Wall was performed by a General Contractor in March 2021. Test pits were dug in three (3) locations on site to gain a better understanding of the wall construction.

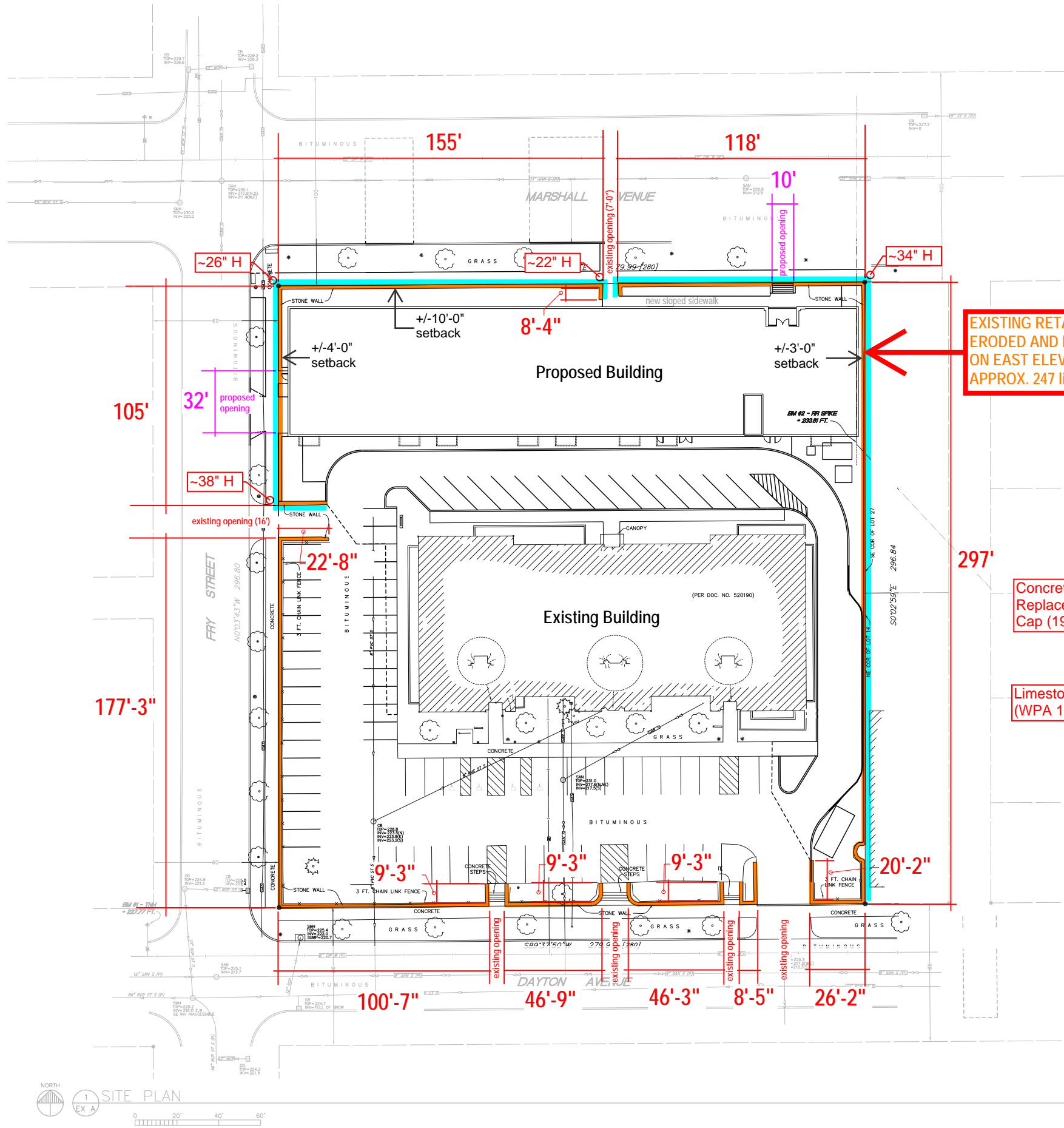
- It was discovered, there appeared to be no actual footings or foundations below the existing WPA retaining wall. The wall is sitting on a thin layer of clay on top of sand.
- The existing WPA retaining wall was originally constructed in 1936. The stone cap was removed and replaced with a cast-in-place concrete cap in 1986.
- Most of the east side of the wall is falling apart beyond repair or completely eroded and disintegrated.



Section Sketch Through WPA Retaining Wall

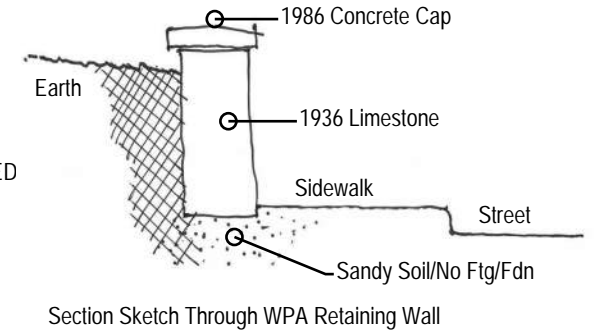






**KEY**

- EXISTING RETAINING WALL: APPROX. 1,240 linear ft
- EXISTING RETAINING WALL IMPACTED BY NEW CONSTRUCTION: APPROX. 467 linear ft
- PROPOSED OPENING APPROX. 42 linear ft



**EXISTING RETAINING WALL ERODED AND IRREPARABLE ON EAST ELEVATION. APPROX. 247 linear ft.**



Existing Wall Opening @ North Elevation



Existing Wall Materials



Existing Wall @ Northeast Corner



Existing Wall @ Northeast Corner

Concrete Cap Replaced Stone Cap (1986)

Limestone Wall (WPA 1936)



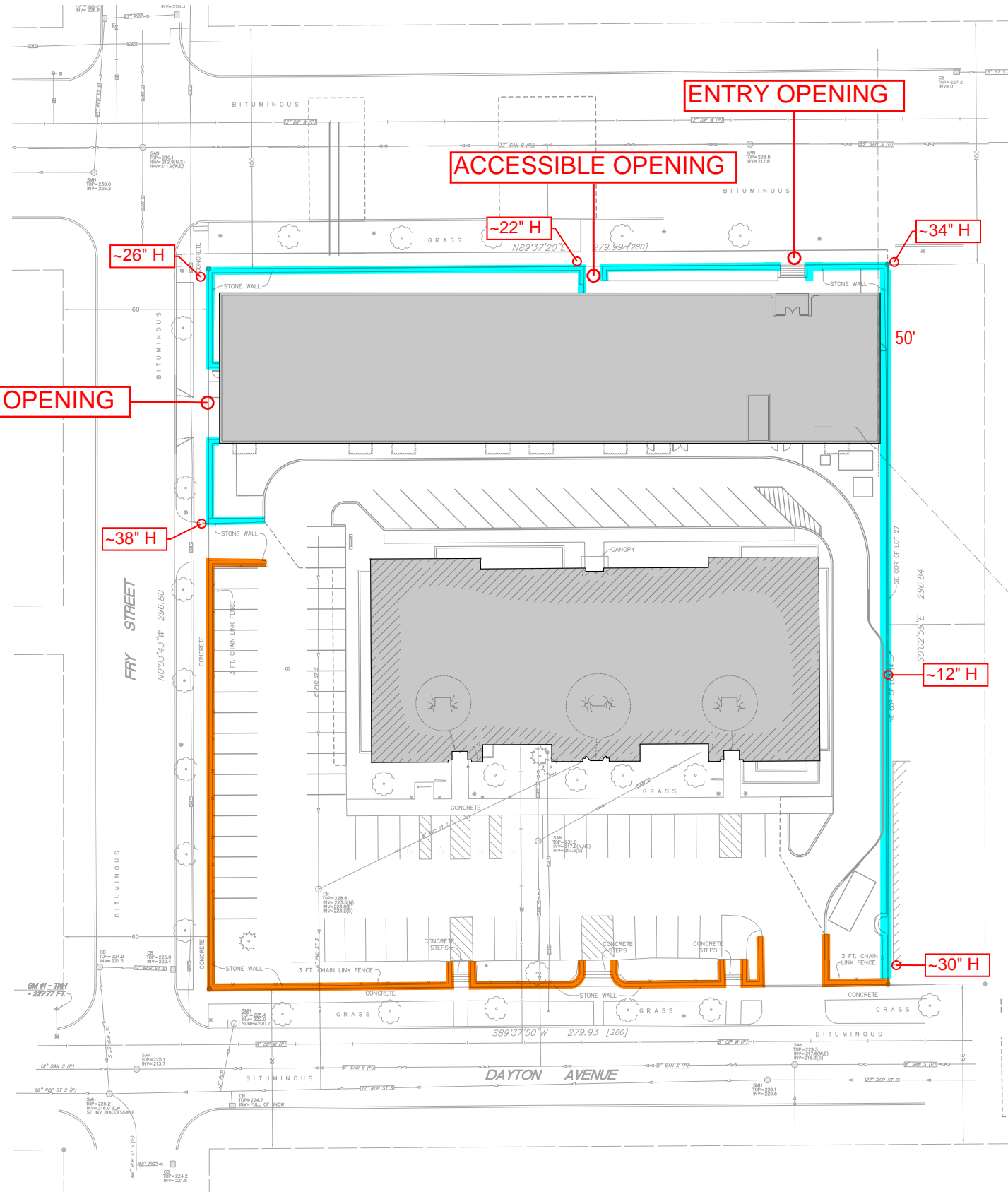
Existing Wall @ East Elevation (Erroded)



Existing Wall @ East Elevation (Erroded)







- NEW RETAINING WALL
- EXISTING RETAINING WALL TO REMAIN

PROPOSED MODULAR BLOCK RETAINING WALL



EXISTING WPA RETAINING WALL



# OPTION 1:

- NEW RETAINING WALL
- EXISTING RETAINING WALL TO REMAIN

- Spread footings & foundations at new building construction.
- 8-foot east neighbor construction easement.
- Remove entirety of existing retaining wall impacted by new construction.
- Construct new retaining wall.

# OPTION 2:

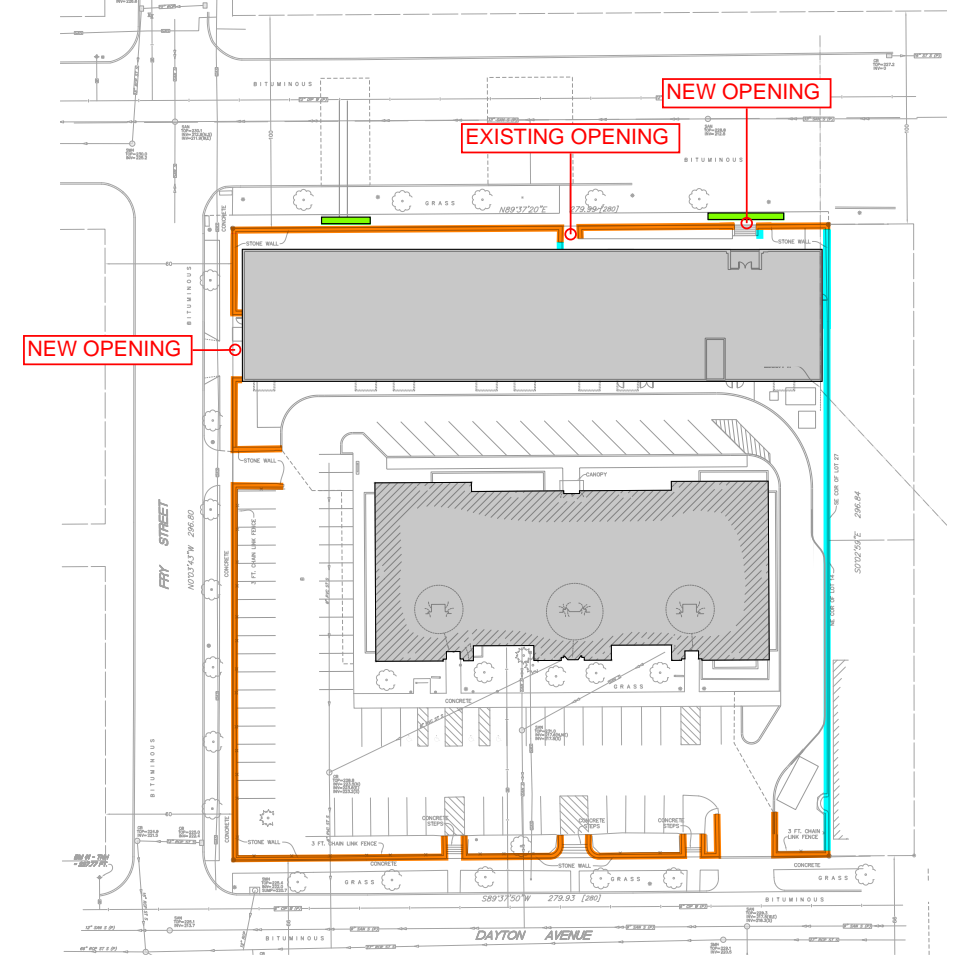
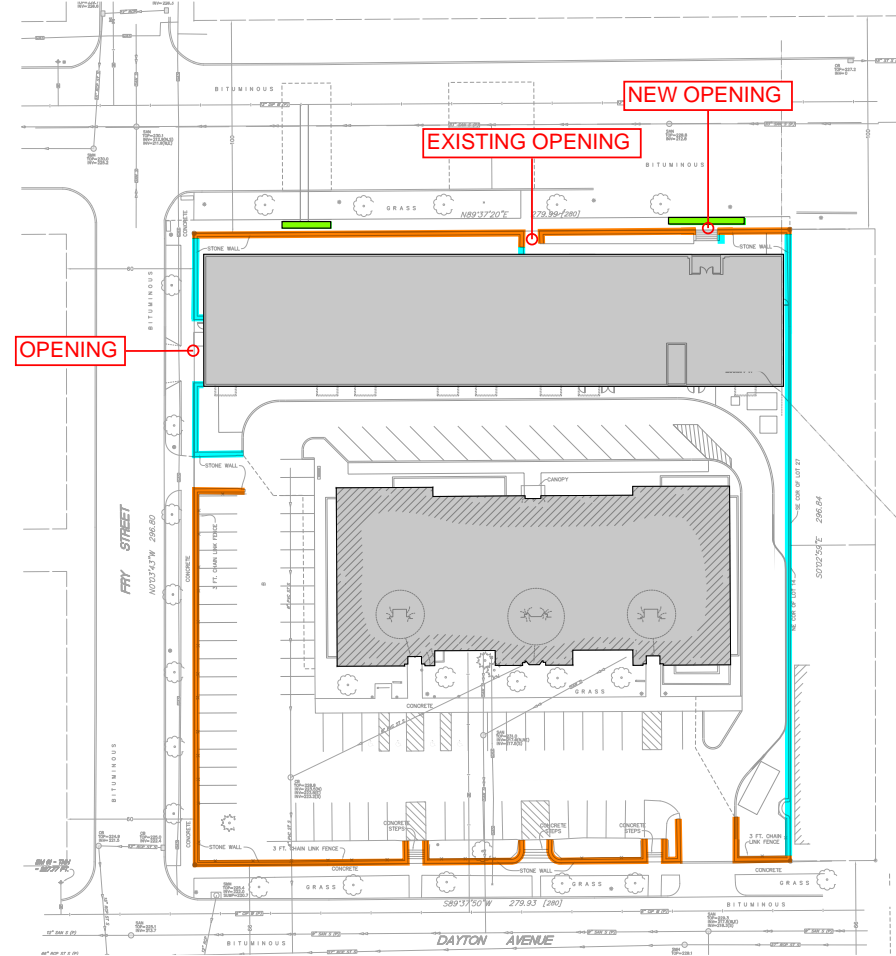
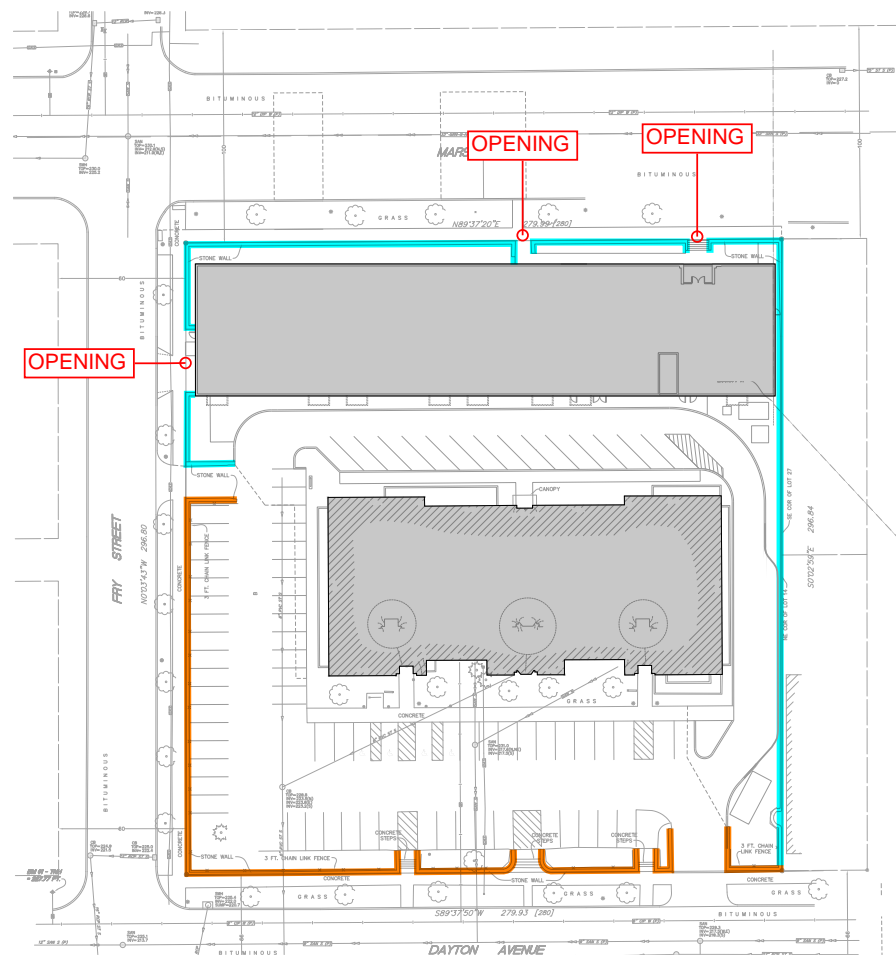
- NEW RETAINING WALL
- EXISTING RETAINING WALL TO REMAIN
- EXISTING RETAINING WALL IMPACTED BY SITE UTILITIES

- Spread footings and foundations at new building construction.
- 8-foot east neighbor construction easement
- Remove east and west portions of existing retaining wall.
- North portion of existing retaining wall along Marshall Ave to remain.
- Construct new retaining wall on east and west.

# OPTION 3:

- NEW RETAINING WALL
- EXISTING RETAINING WALL TO REMAIN
- EXISTING RETAINING WALL IMPACTED BY SITE UTILITIES

- H-Piles with Shot-Crete foundation system at New building construction based on west building face relationship to existing retaining wall .
- North & West existing retaining wall to remain.
- New 32-foot opening in west wall for garage entry
- Construct new east retaining wall (existing retaining wall is eroded in poor condition)



1B - Spread Footings w/ CMU Foundation	Qty	Unit	Unit Cost	Revised Budget	12/21/20 Budget	DELTA
Earthwork	1	LS	\$430,000.00	\$430,000	\$355,000	\$75,000
Demo of Existing Retaining Wall (West, North, East)	1	LS	\$20,000.00	\$20,000	\$0	\$20,000
					\$0	\$0
Exterior Wall Footings	1	LS	\$24,211.00	\$24,211	\$24,211	\$0
Omit Bump Outs For Slab On Grade	-680	SF	\$4.00	-\$2,720	\$0	(\$2,720)
CMU Foundation walls (10' w/ Rebar at 16" O. C.)	6,689	SF	\$33.49	\$224,000	\$150,000	\$74,000
Precast	30,450	SF	\$29.39	\$894,935	\$737,886	\$157,049
Foundation Waterproofing & Insulation	6,689	SF	\$9.64	\$64,455	\$83,800	(\$19,345)
Rebuild Existing Stone Wall	1	AL	-\$172,500.00	-\$172,500	\$172,500	(\$172,500)
Restoration of Neighboring Property - Asphalt	1	AL	\$5,320.00	\$5,320	\$0	\$5,320
Small Block Retaining Wall	694	LF	\$110.22	\$76,493	\$0	\$76,493
<b>Total:</b>				<b>\$1,564,194</b>	<b>\$1,725,397</b>	<b>-\$213,297</b>

\*Notes: Remove existing stone walls at West, North, and East sides as highlighted in option #1 of LSE's site plan retaining wall options

2B - Spread Footings w/ CMU Foundation	Qty	Unit	Unit Cost	Revised Budget	12/21/20 Budget	DELTA
Earthwork - Assumes 8' Easement to East	1	LS	\$430,000.00	\$430,000	\$355,000	\$75,000
Earthwork Retention	1	LS	\$340,000.00	\$400,000	\$202,000	\$198,000
					\$0	\$0
*Includes H-Piles at North Wall Only					\$0	\$0
Exterior Wall Footings	1	LS	\$24,211.00	\$24,211	\$24,211	\$0
Omit Bump Outs For Slab On Grade	-680	SF	\$4.00	-\$2,720	\$0	(\$2,720)
CMU Foundation walls (10' w/ Rebar at 16" O. C.)	6,689	SF	\$33.49	\$224,000	\$150,000	\$74,000
Precast	30,450	SF	\$29.39	\$894,935	\$737,886	\$157,049
Foundation Waterproofing & Insulation	6,689	SF	\$9.64	\$64,455	\$83,800	(\$19,345)
Rebuild Existing Stone Wall	1	AL	-\$172,500.00	-\$172,500	\$172,500	(\$172,500)
Small Block Retaining Wall	431	LF	\$110.22	\$47,505	\$0	\$47,505
Restoration of Neighboring Property - Asphalt	1	AL	\$2,090.00	\$2,090	\$0	\$2,090
<b>Total:</b>				<b>\$1,911,976</b>	<b>\$1,725,397</b>	<b>\$359,079</b>

\*Notes: Drill and set temp. earth retention on North side only, East / West existing stone walls to be removed, 8' Easement granted to East

3 - H-Piles w/ Shot-Crete Foundation	Qty	Unit	Unit Cost	Revised Budget	12/21/20 Budget	DELTA
Earthwork	1	LS	\$320,000.00	\$320,000	\$355,000	(\$35,000)
Earthwork Retention	1	LS	\$1,400,000.00	\$1,400,000	\$202,000	\$1,198,000
					\$0	\$0
*Includes 8" Shot-crete on piles (4-Sides of Foundation)					\$0	\$0
Micropiles	1	LS	\$145,000.00	\$145,000	\$0	\$145,000
Grade Beam on Top of Piles	1	LS	\$130,000.00	\$130,000	\$0	\$130,000
Precast	1	LS	\$894,935.00	\$894,935	\$737,886	\$157,049
Omit Exterior Wall Footings	1	LS	\$0.00	\$0	\$24,211	(\$24,211)
Omit Bump Outs For Slab On Grade	-680	SF	\$4.00	-\$2,720	\$0	(\$2,720)
Omit CMU Foundation Walls	1	LS	\$0.00	\$0	\$150,000	(\$150,000)
Foundation Waterproofing & Insulation	1	LS	\$ 161,025.00	\$161,025	\$83,800	\$77,225
Rebuild Existing Stone Wall	1	AL	-\$172,500.00	-\$172,500	\$172,500	(\$172,500)
					\$0	\$0
<b>Total:</b>				<b>\$2,875,740</b>	<b>\$1,725,397</b>	<b>\$1,322,843</b>

\*Notes: Permanent H-pile supported foundation wall bearing on bedrock (4 sides), 8" shotcrete face w/ troweled finish, added rebar / thickened concrete to act as perimeter below grade columns, micropile deep foundation to support perimeter pile caps, interior soil berm previously shown not possible - allows for one precast mobilization

# Exterior







South Elevation



North Elevation



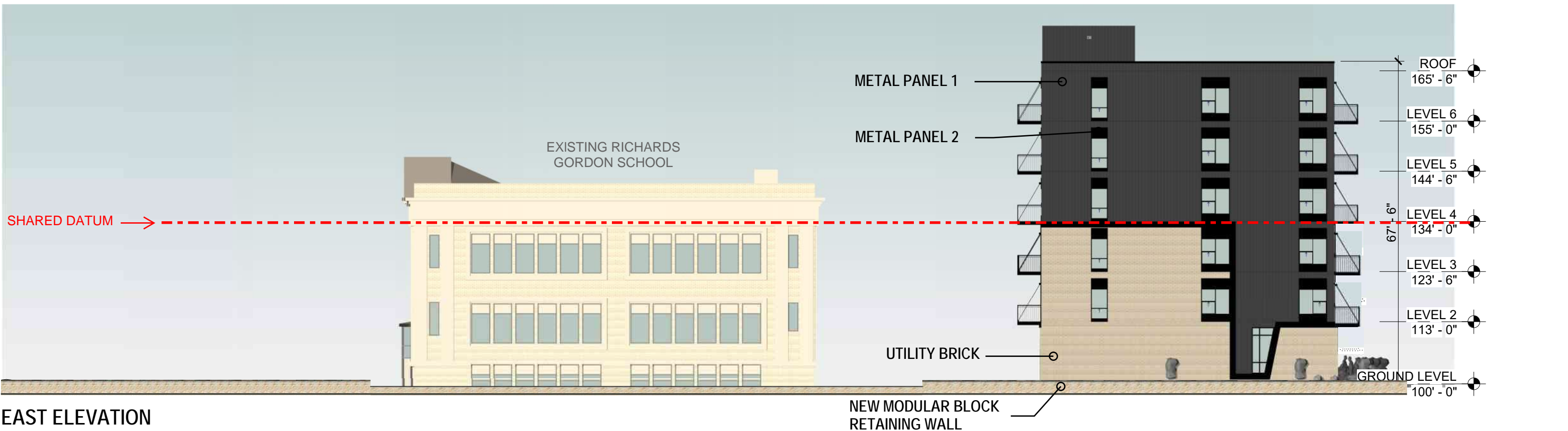
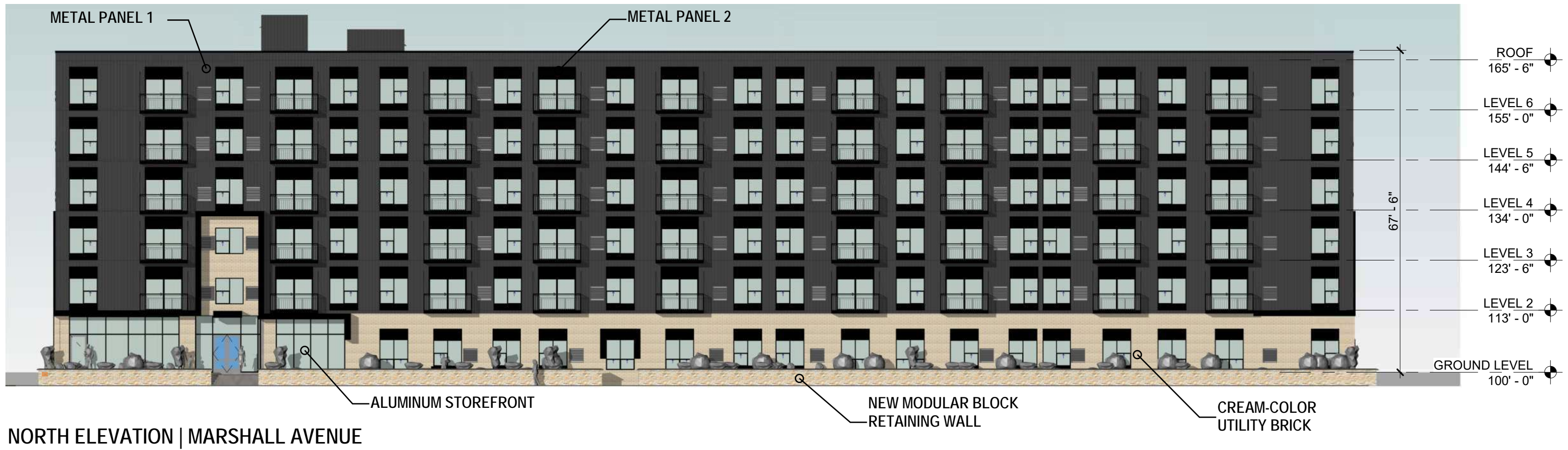
West Elevation



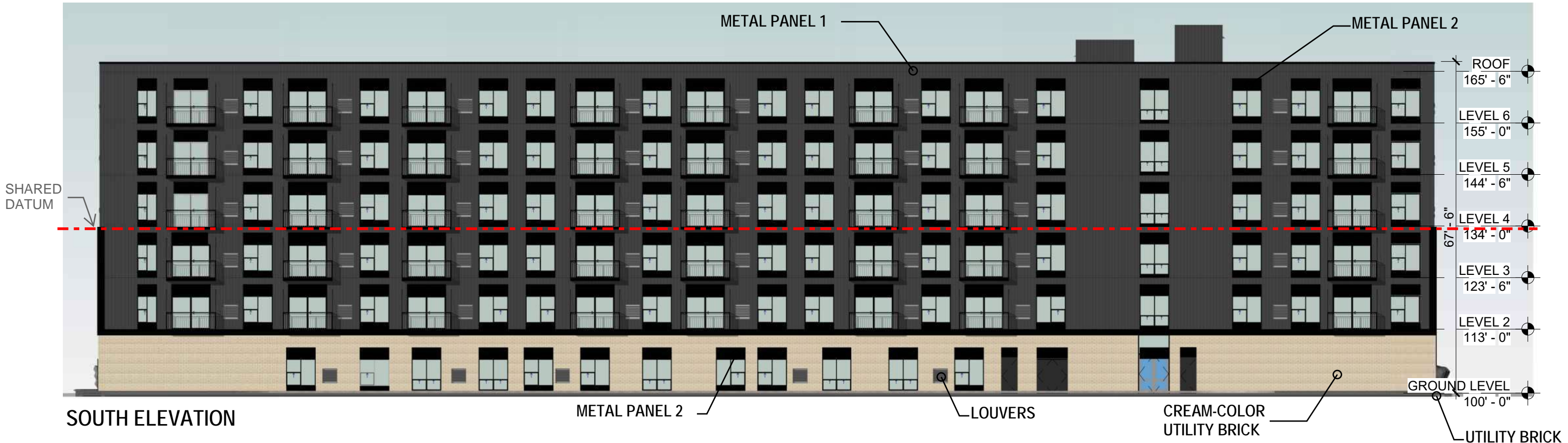




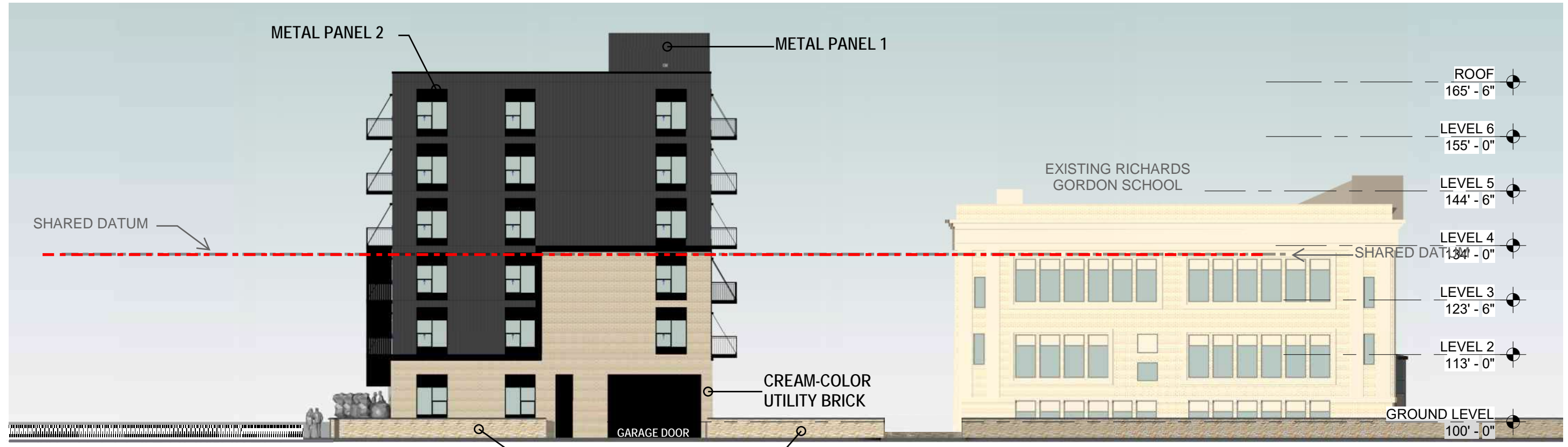








SOUTH ELEVATION



WEST ELEVATION | FRY STREET





VIEW SOUTHWEST ( NORTH & EAST ELEVATION )





VIEW EAST ( NORTH & WEST ELEVATION )





VIEW NORTHEAST ( SOUTH & WEST ELEVATION )





VIEW AT MAIN ENTRY





VIEW NORTH - FROM FRY STREET & DAYTON AVE