

ZONING COMMITTEE STAFF REPORT

1. **FILE NAME:** 160 WABASHA **FILE #** 19-084-455
 2. **APPLICANT:** Wabasha Partners LLC **HEARING DATE:** October 24, 2019
 3. **TYPE OF APPLICATION:** Conditional Use Permit
 4. **LOCATION:** 160-162 Wabasha St S, NE corner at Plato Blvd.
 5. **PIN & LEGAL DESCRIPTION:** 06.28.22.41.0033, Lots 5-9, Block 179, Robertsons Addition to West St. Paul
 6. **PLANNING DISTRICT:** 3 **PRESENT ZONING:** T3M
 7. **ZONING CODE REFERENCE:** § 61.501
 8. **STAFF REPORT DATE:** October 24, 2019 **BY:** Michael Wade
 9. **DATE RECEIVED:** September 12, 2019 **60-DAY DEADLINE FOR ACTION:** Nov. 25, 2019
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- A. **PURPOSE:** Conditional use permit for a reception hall
- B. **PARCEL SIZE:** 27,878 square feet
- C. **EXISTING LAND USE:** Industrial and utility (vacant)
- D. **SURROUNDING LAND USE:**
 - North: Parking, with three restaurants and two commercial uses north of the parking lots
 - East: Parking, railroad, and undeveloped land
 - South: Industrial, commercial, and parking
 - West: Commercial and parking
- E. **ZONING CODE CITATION:** § 61.501 lists general conditions that must be met by all conditional uses.
- F. **PARKING:** Zoning Code § 63.207 requires a minimum of sixty-six (66) spaces for reception halls of this size (1 space per 200 square feet of gross floor area). The applicant proposes to use the provision in § 63.210 for up to a 10% reduction in the parking requirement by providing 24 bicycle spaces, reducing the requirement to sixty (60) parking spaces. Thirteen (13) spaces are proposed on-site. The applicant is arranging a shared parking agreement under the provisions of § 63.206(d) for use of a parking area directly north to provide the forty-seven (47) remaining required parking spaces, which will require separate Planning Commission approval. That application has not been submitted yet and will undergo Zoning Administrator review.
- G. **HISTORY/DISCUSSION:** The roughly thirteen-thousand square foot, two-story (split-grade) manufacturing and warehousing building on the site has been vacant since at least 2007, though industrial and commercial firms have shown interest.

The site has room for only thirteen parking spaces, necessitating alternative provision of the required sixty-six (66) parking spaces. Per § 63.210 of the Zoning Code, installment of twenty-four (24) bicycle parking spaces reduces the requirements by 10% to sixty (60) spaces. After the thirteen (13) on-site spaces, forty-seven (47) spaces are still required. Originally applying for a variance for the unmet parking requirement, the applicant has withdrawn the variance application and has expressed intent to apply for a shared parking arrangement for use of the parking lot

directly to the north. That application has not been submitted yet, nor has an adequately detailed projection of parking that the event center will generate.

H. **DISTRICT COUNCIL RECOMMENDATION:** The West Side Community Organization had not submitted a comment by the time of this report.

I. **FINDINGS:**

1. The applicant is applying for a conditional use permit to allow an event center with an event capacity between two-hundred (200) and three-hundred (300) people.
2. § 61.501 lists five standards that all conditional uses must satisfy:
 - (a) *The extent, location and intensity of the use will be in substantial compliance with the Saint Paul Comprehensive Plan and any applicable subarea plans which were approved by the city council. **This condition is met.***

The 2030 Comprehensive plan labels this property Mixed Use Corridor. Growth in this area “provides for housing for changing demographic groups, jobs that capitalize on emerging labor markets, and commercial areas with goods and services for people who live and work along them.” Mixed Use Corridors are centered on arterial and collector streets and primary thoroughfares, providing a mix of residential and commercial uses. Wabasha Street is a primary connection between Downtown and the West Side neighborhood. Additionally, the Comprehensive Plan “recognizes that some existing commercial areas attract regional patrons as well as local customers [and] are more oriented to the automobile.” The form of this building, brought close to the right of way and acting as an anchor for the block, conforms to traditional urban form principles encouraged by the Plan. The following Land Use policies support the harmony between the 2030 Comprehensive Plan and establishment of an event center that exhibits traditional urban building form at this location:

- 1.24 Support a mix of uses on Mixed-use Corridors
- 1.46 Encourage the expansion of compact commercial areas in Neighborhood Centers and Mixed-Use Corridors to further the objectives of both categories of neighborhoods.
- 1.47 Ensure that streets in **compact urban building form**, streetscape amenities, and traffic calming measures.
- 1.49 Continue to promote principles of traditional urban form in the design of new or renovated commercial buildings.

This parcel lies on the western-most edge of the West Side Flats as covered by the West Side Flats Master Plan (“Master Plan”, adopted 2013) which envisions on the West Side Flats “a broad mix of land uses, retention and growth of jobs, and appropriate transitions between neighborhoods and employment land uses.” The Master Plan also designates this parcel a Mixed-Use Corridor, which accommodate “a broad mix of land uses, such as residential, retail, restaurants, office, civic/institutional. ... Street-level uses should be predominantly non-residential...” Land use strategies in the Master Plan that support establishment of an event center at this location include the following:

- LU2) Promote active commercial, civic, and institutional land uses at street level within buildings facing Mixed-Use Corridors, including the River Esplanade.
- LU5) Cultivate stronger relationships between Employment Center businesses, new residents and employees on the West Side Flats, as well as the greater West Side community.

- LU7) Reuse selected older industrial buildings that no longer meet the needs of more conventional industrial users but that have the potential for high job density.
- LU8) Promote redevelopment of vacant and underutilized sites to benefit existing businesses, attract new businesses, and create an Employment Center.

The West Side Community Plan (adopted 2013) also applies to this parcel. Supporting this application are the following Objectives:

- LU1 Support land use that balances the housing, commercial, industrial, ecological, agricultural and green space needs of the community.
- LU3 Promote development that maintains the traditional urban form...
- B1 Reinvigorate the economy on the West Side through commercial/industrial start ups and business expansion.

- (b) *The use will provide adequate ingress and egress to minimize traffic congestion in the public streets. **This condition is met.*** The proposed site plan includes ingress and egress points for the thirteen parking spaces on the property. Both are over one hundred (100) feet from the intersection of Wabasha Street and Plato Boulevard, and will provide adequate ingress and egress to minimize traffic congestion on public streets. The applicant is arranging a shared parking agreement for use of parking spaces directly north of the site, in a parking lot that has adequate ingress and egress to minimize traffic congestion on public streets.
- (c) *The use will not be detrimental to the existing character of the development in the immediate neighborhood or endanger the public health, safety and general welfare. **This condition is met.*** The existing character of this area includes compatible commercial and restaurant businesses. The applicant has stated this event center will be primarily used on weekends and in evenings, avoiding traffic and parking conflicts with surrounding uses which primarily generate traffic during business hours on weekdays.
- (d) *The use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district. **This condition is met.*** Improvements to this building and property will be contained within the lot boundaries. The proposed event center will not impede use of the surrounding property, and is compatible with surrounding uses.
- (e) *The use shall, in all other respects, conform to the applicable regulations of the district in which it is located. **This condition is met subject to approval and maintenance of a shared parking agreement,*** under the provisions of Zoning Code § 63.206(d), for use of a nearby parking lot for the number of required parking spaces not provided on the site.

J. **STAFF RECOMMENDATION:** Based on the above findings, staff recommends approval of the conditional use permit for a reception hall at 160-162 S. Wabasha Street subject to the following conditions:

1. Final plans approved by the Zoning Administrator for this use shall be in substantial compliance with the plan submitted and approved as part of this application.
2. A shared parking agreement under the provisions of Zoning Code § 63.206(d), subject to approval by the Planning Commission and the Zoning Administrator, must be maintained for the number of required parking spaces not provided on the site.

Request for Continuance

Date: September 25, 2019

Dan Edgerton, Chair
Zoning Committee
City of Saint Paul
1400 City Hall Annex
Saint Paul, Minnesota 55102

Re: Zoning File # 19-084-455

Dear Mr. Edgerton:

I am the applicant or the applicant's duly appointed representative for this zoning file.


I request a continuance of the public hearing on the application in this zoning file, which is presently scheduled before the Zoning Committee on October 10, 2019.

I understand that a continuance of the public hearing before the Zoning Committee means that the decision of the Planning Commission on this application, which is presently scheduled for October 18, 2019, will also be continued.

I request that the Zoning Committee continue the public hearing for this zoning file to **October 24, 2019**, I understand that the Planning Commission would then be scheduled to make their decision on **November 1, 2019**.

I am aware of and understand the statutory requirements found in Minn. Statute § 15.99 (1995) requiring the City of Saint Paul to approve or deny this application within sixty days of its submission. I desire to extend the sixty day period for a City decision under Minn. Stat. §15.99 by **14 days to November 25, 2019**, to accommodate the continuance I am requesting.

Sincerely,



Signature of Applicant or
Applicant's duly appointed
representative.

ANGELA TRYGG
Printed name of applicant or
applicant's duly appointed
representative



CONDITIONAL USE PERMIT APPLICATION

Department of Planning and Economic Development
Zoning Section
1400 City Hall Annex, 25 West Fourth Street
Saint Paul, MN 55102-1634
(651) 266-6583

Zoning Office Use Only

File # 19-084555

Fee Paid \$ 1030

Received By / Date _____

Tentative Hearing Date 10-10-19

PD-3

062822410033

APPLICANT

Name Wabasha Partners, LLC
(must have ownership or leasehold interest in the property, contingent included)

Address 160 Wabasha City St Paul State MN Zip 55107

Email james.brown.realty@gmail.com Phone 612-702-7489

Name of Owner (if different) _____ Email _____

Contact Person (if different) James Brown Email Same

Address 4023 East Lake St City Mpls State MN Zip 55406

PROPERTY INFO

Address/Location 160 Wabasha St

PIN(s) & Legal Description See attached
(attach additional sheet if necessary)

Lot Area .64 Acres Current Zoning Industrial

REC T3m

TYPE OF PERMIT: Application is hereby made for a Conditional Use Permit under provisions of Zoning Code Section(s) 61.502 for the following use or purpose:
Event Space

SUPPORTING INFORMATION: Explain how the use will meet all of the applicable standards and conditions for the use. If you are requesting modification of any standards or conditions for a conditional use, explain why the modification is needed and how it meets the requirements for modification of special conditions in Zoning Code § 61.502. Attach additional sheets if necessary.



* see Attached
* legal description also attached

ck 9497 pdd

Required site plan is attached

If you are a religious institution you may have certain rights under RLUIPA. Please check this box if you identify as a religious institution.

Applicant's Signature _____ Date 9/9/19

Required Findings

9/9/2019

160 Wabasha St
St Paul, Mn 55107

Supporting Information

As the one the new owners of 160 Wabasha St I will describe in this supporting information document the ways that our proposed project meets the intent of the zoning code and supports the long range goals for the enhancement and development of the broader downtown St Paul area.

160 Wabasha is roughly a 14,000 sqft two story structural concrete building with extensive views of the downtown St Paul skyline. It is positioned within three blocks of downtown St Paul in an area, Westside Flats, that is poised for redevelopment.

The building has historically been used for light manufacturing and storage, this use has become outdated within the context of the surrounding properties that are, restaurant/private events space, i.e.; Josephs Restaurant, offices, gas station.

Our proposed use is to convert the entire building into a event space that would serve the immediate neighborhood and surrounding metro area. The area where the building is located is densely commercial so our proposed event space use will not disrupt any other uses or quiet enjoyment. The area is mostly commercial manufacturing and office space, our use will be primarily during hours that those businesses are closed, nights and weekends.

Our event capacity will be between 200-300 people, there are many other similar event spaces in the Twin Cities with the same or less parking available on site.

We have 14 parking spaces on site and an agreement with a valet parking company and a surface parking lot one block away that will be able to accommodate all of the events that we are going to have. This will mitigate any impact from the event parking as well as the fact that the entire area has reduced usage on nights and most weekends.

Our proposed plan will be an enhancement to the neighborhood and be a catalyst for other likeminded development in the area

Thank you for your consideration

James Brown

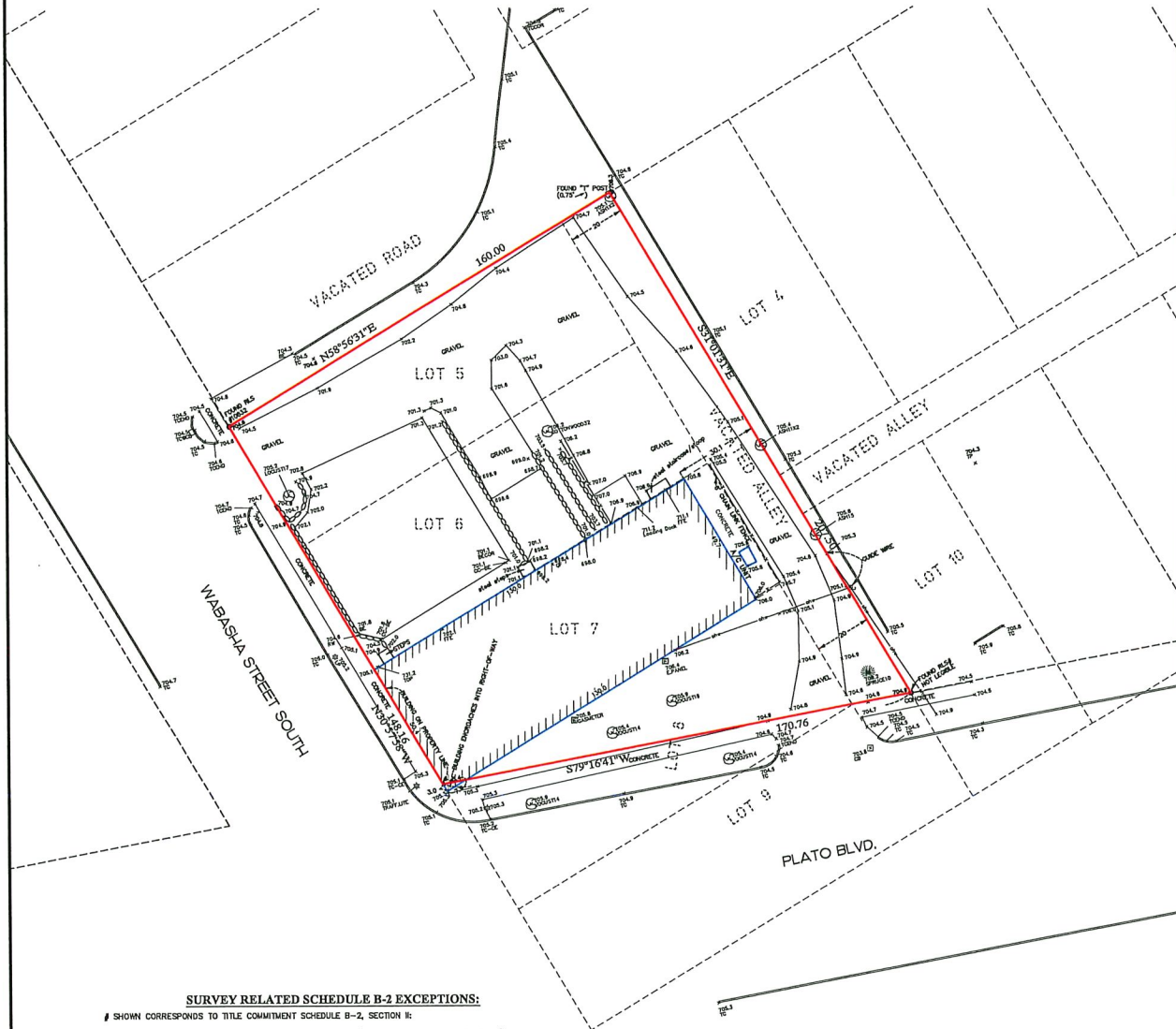
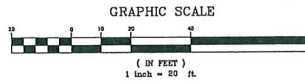
ALTA/ACSM LAND TITLE SURVEY

~for~ Red Tail Enterprises, LLC

PID# 06.28.22.41.0033

PROPERTY ADDRESS: #160/162 Wabasha St. So., St. Paul, MN 55107

BENCHMARK
BASIS FOR ELEVATION: NAVD 88 (VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION VRS NETWORK)
BASIS FOR BEARINGS: NAD83 (1990) (VIA REAL TIME GPS MEASUREMENTS UTILIZING MINNESOTA DEPARTMENT OF TRANSPORTATION VRS NETWORK).



SURVEY RELATED SCHEDULE B-2 EXCEPTIONS:

- 1) SHOWN CORRESPONDS TO TITLE COMMITMENT SCHEDULE B-2, SECTION II;
- 2) MINERAL RIGHTS RESERVED BY THE STATE OF MINNESOTA. (BLANKET IN NATURE, NOT SHOWN).
- 3) COVENANTS CONTAINED IN DEED RECORDED AS DOC. NO. 1758779. SEE DOCUMENT FOR DETAILS.

LEGAL DESCRIPTION

All of Lots 5, 6 and 7, in Block 179, Robertson's Addition to West Saint Paul, together with entire vacated alley, and Lots 8 and 9, Block 178, Robertson's Addition to West Saint Paul, together with all of the alley adjacent thereto, except that part thereof lying southerly of the northerly line of new Platou Boulevard described as follows:

Commencing at a point on the northeasterly line of Lot 5, Block 18, of Bazille and Roberts Addition to West Saint Paul, which is 25.0 feet, Northeasterly of the Easterly corner of said Lot 5 thence South 59 degrees 32 minutes West parallel to the center line of existing East Platou Avenue for 141.84 feet; thence to the right on a curve having a radius of 471 feet for an arc distance of 167.77 feet; thence South 79 degrees 56 minutes 30 seconds West for 1622.16 feet and there terminating, Ramsey County, Minnesota.

Abstract Property

GENERAL NOTES

- Boundary area of surveyed premises: 26,688 sq. ft. (2.61 acres) ac ft. corner
- The surveyed premises has access to Wabasha Street & Platou Blvd, both publicly dedicated right-of-ways.
- Utilities shown hereon are observed. Excavations were not made during the process of this survey to locate underground utilities and/or structures. The location of underground utilities and/or structures may vary from locations shown hereon and underground utilities and/or structures may be encountered. Contact Gopher State One Call Notification Center at (651) 454-0002 for verification of utility type and field location prior to excavation.
- Subsurface and environmental conditions were not examined or considered during the process of this survey. No statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of the surveyed property.
- There is no observable evidence of building construction or holding additions within recent months. There is no observable evidence of site use as a solid waste dump, dump or sanitary landfill. There is no observable evidence of recent street or sidewalk repairs within recent months.



LEGEND

- DENOTES IRON MONUMENT FOUND
- ⊙ DENOTES SANITARY SEWER MANHOLE
- ⊙ DENOTES STORM SEWER MANHOLE
- DENOTES CATCH BASIN
- DENOTES GAS METER/BOX
- DENOTES ELECTRIC PANEL
- DENOTES EXISTING FENCE
- DENOTES STREET LIGHT
- DENOTES RETAINING WALL

I hereby certify to "Old Republic National Title Insurance Company" and "Red Tail Enterprises, LLC" to their heirs, successors and assigns, that I have surveyed the property legally described herein; that this survey is a true, correct and accurate drawing and representation of said property and the boundaries thereof; that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys", as jointly established and adopted by ALTA and ACSM in 2016, and includes items 2, 4, 5, 7(a), 7(b), 8 and 16 of Table A thereof, and meets the Accuracy Standards (as adopted by ALTA and ACSM and in effect on the date of this certification), and that in locating or identifying recorded easements or other recorded documents I have relied upon the Commitment for Title Insurance issued by OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY dated Oct. 30th, 2016 file no. 14-010129-NC-Second Supplemental.

Dated January 5th, 2017

Eric R. Vickroy
Eric R. Vickroy, P.L.S.#44123

CHRISTIAN DEAN ARCHITECTURE

160 WABASHA
160 WABASHA STREET SOUTH
SAINT PAUL, MN 55107



DRAWING REFERENCE SYMBOLS		SYMBOLS LEGEND		TYPE TAGS	
REF MULTI-ELEVATION REFERENCE	REF ELEVATION REFERENCE	REVISION	DOOR NUMBER	REF WINDOW NUMBER	REF CURTAIN WALL/STREETFRONT TYPE
REF SECTION REFERENCE	REF DETAIL REFERENCE	GRID LINE	FLOOR TYPE	REF FLOOR TYPE	REF ROOF TYPE
REF DRAWING NUMBER	REF DRAWING TITLE	ELEVATION MARKER	CEILING TYPE	REF 1'-0" P.A.F.F.	REF 1'-0" P.A.F.F.
REF SCALE	REF SHEET	NORTH SYMBOL	FLOOR FINISH ID	REF INTERNAL PRODUCT ID	REF WALL FINISH ID
		ROOM NAME	WALL FINISH ID	REF WALL FINISH ID	REF FIRE RATING
		FLOOR FINISH	ROOF FINISH	REF FIRE RATING	REF ACoustical RATED
		ROOM NAME	ROOM NUMBER	REF ACoustical RATED	REF FIRE RATING
		ROOM NUMBER		REF ACoustical RATED	REF ACoustical RATED

ARCHITECT
CHRISTIAN DEAN
CHRISTIAN DEAN, LLC
2409 5th Street South, Suite 304
Minneapolis, MN 55408
Contact
cdean@deanarch.com
612 886 2814

OWNER
160 Wabasha, LLC
160 Wabasha Street South
Minneapolis, MN 55406
Contact
eric@bunnersandassociates.com
612 386 2893

STRUCTURAL
Bunners & Associates, LLC

PERMIT SET 03 SEPTEMBER 2019

DRAWING INDEX

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0199	FOUNDATION WALLS - INTERIOR
0200	FOUNDATION WALLS - EXTERIOR

CHRISTIAN DEAN ARCHITECTURE

2009 Bryant Ave #304
 Minneapolis, MN 55408
 www.christiandean.com
 Christian Dean
 612.338.8979

OWNER
 160 Wabasha, LLC
 4023 East Lake Street
 Minneapolis, MN 55409
 Contact

STRUCTURAL
 Burkens & Associates, LLC

CONSULT
 Eric Hansen, P.E.
 612.338.8979

I hereby verify that the plan specifications, or correct specification and that I am a duly licensed professional engineer in the State of Minnesota.

FRANK MAERZ, Captain Dean, AIA
 LICENSE NO. 4789

Issue / Revision Schedule
 NO. DESCRIPTION DATE

319 CONVENT CHRISTIAN DEAN ARCHITECTURE, LLC

ARTICLE 11.04.00. SPECIAL SIGN DISTRICTS

Sec. 11.04.00. - Special Sign Districts

1. Purpose: To regulate signs in the Special Sign Districts. The purpose of this article is to provide for signs in the Special Sign Districts that are consistent with the character and appearance of the neighborhood. Signs in the Special Sign Districts shall be designed to be aesthetically pleasing, harmonize with the architecture and landscape of the neighborhood, and be of high quality. Signs shall not be placed in a way that obstructs the view of the street or the entrance to a building. Signs shall not be placed in a way that is a safety hazard. Signs shall not be placed in a way that is a fire hazard. Signs shall not be placed in a way that is a health hazard. Signs shall not be placed in a way that is a nuisance. Signs shall not be placed in a way that is a public safety hazard. Signs shall not be placed in a way that is a public safety hazard. Signs shall not be placed in a way that is a public safety hazard.

ARTICLE 11.05.00. COMMERCIAL SIGNS

Sec. 11.05.00. - Commercial Signs

1. Purpose: To regulate commercial signs. The purpose of this article is to provide for commercial signs that are consistent with the character and appearance of the neighborhood. Commercial signs shall be designed to be aesthetically pleasing, harmonize with the architecture and landscape of the neighborhood, and be of high quality. Commercial signs shall not be placed in a way that obstructs the view of the street or the entrance to a building. Commercial signs shall not be placed in a way that is a safety hazard. Commercial signs shall not be placed in a way that is a fire hazard. Commercial signs shall not be placed in a way that is a health hazard. Commercial signs shall not be placed in a way that is a nuisance. Commercial signs shall not be placed in a way that is a public safety hazard. Commercial signs shall not be placed in a way that is a public safety hazard. Commercial signs shall not be placed in a way that is a public safety hazard.

ARTICLE 11.06.00. MULTIMEDIA SIGNAGE DISTRICTS

Sec. 11.06.00. - Multimedia Signage Districts

1. Purpose: To regulate multimedia signage. The purpose of this article is to provide for multimedia signage that is consistent with the character and appearance of the neighborhood. Multimedia signage shall be designed to be aesthetically pleasing, harmonize with the architecture and landscape of the neighborhood, and be of high quality. Multimedia signage shall not be placed in a way that obstructs the view of the street or the entrance to a building. Multimedia signage shall not be placed in a way that is a safety hazard. Multimedia signage shall not be placed in a way that is a fire hazard. Multimedia signage shall not be placed in a way that is a health hazard. Multimedia signage shall not be placed in a way that is a nuisance. Multimedia signage shall not be placed in a way that is a public safety hazard. Multimedia signage shall not be placed in a way that is a public safety hazard. Multimedia signage shall not be placed in a way that is a public safety hazard.

Building	Address	Use	Height	Area	Signage	Signage	Signage	Signage	Signage	Signage	Signage
160 Wabasha	160 Wabasha	Commercial	10	10,000	10	10	10	10	10	10	10

ARTICLE 11.07.00. SIGNAGE DISTRICTS

Sec. 11.07.00. - Signage Districts

1. Purpose: To regulate signage. The purpose of this article is to provide for signage that is consistent with the character and appearance of the neighborhood. Signage shall be designed to be aesthetically pleasing, harmonize with the architecture and landscape of the neighborhood, and be of high quality. Signage shall not be placed in a way that obstructs the view of the street or the entrance to a building. Signage shall not be placed in a way that is a safety hazard. Signage shall not be placed in a way that is a fire hazard. Signage shall not be placed in a way that is a health hazard. Signage shall not be placed in a way that is a nuisance. Signage shall not be placed in a way that is a public safety hazard. Signage shall not be placed in a way that is a public safety hazard. Signage shall not be placed in a way that is a public safety hazard.

ARTICLE 11.08.00. SIGNAGE DISTRICTS

Sec. 11.08.00. - Signage Districts

1. Purpose: To regulate signage. The purpose of this article is to provide for signage that is consistent with the character and appearance of the neighborhood. Signage shall be designed to be aesthetically pleasing, harmonize with the architecture and landscape of the neighborhood, and be of high quality. Signage shall not be placed in a way that obstructs the view of the street or the entrance to a building. Signage shall not be placed in a way that is a safety hazard. Signage shall not be placed in a way that is a fire hazard. Signage shall not be placed in a way that is a health hazard. Signage shall not be placed in a way that is a nuisance. Signage shall not be placed in a way that is a public safety hazard. Signage shall not be placed in a way that is a public safety hazard. Signage shall not be placed in a way that is a public safety hazard.

ZONING DISTRICT

St. Paul, Minnesota - Code of Ordinances PART - LEGISLATIVE CODE TITLE III - ZONING CODE

ZONING PANEL

Traditional Neighborhood with Modern Amenities - G102

Ordinance 2018-09

Special Sign District - West Lake

13735/5700/1882

13735/5700/1882

13735/5700/1882

13735/5700/1882

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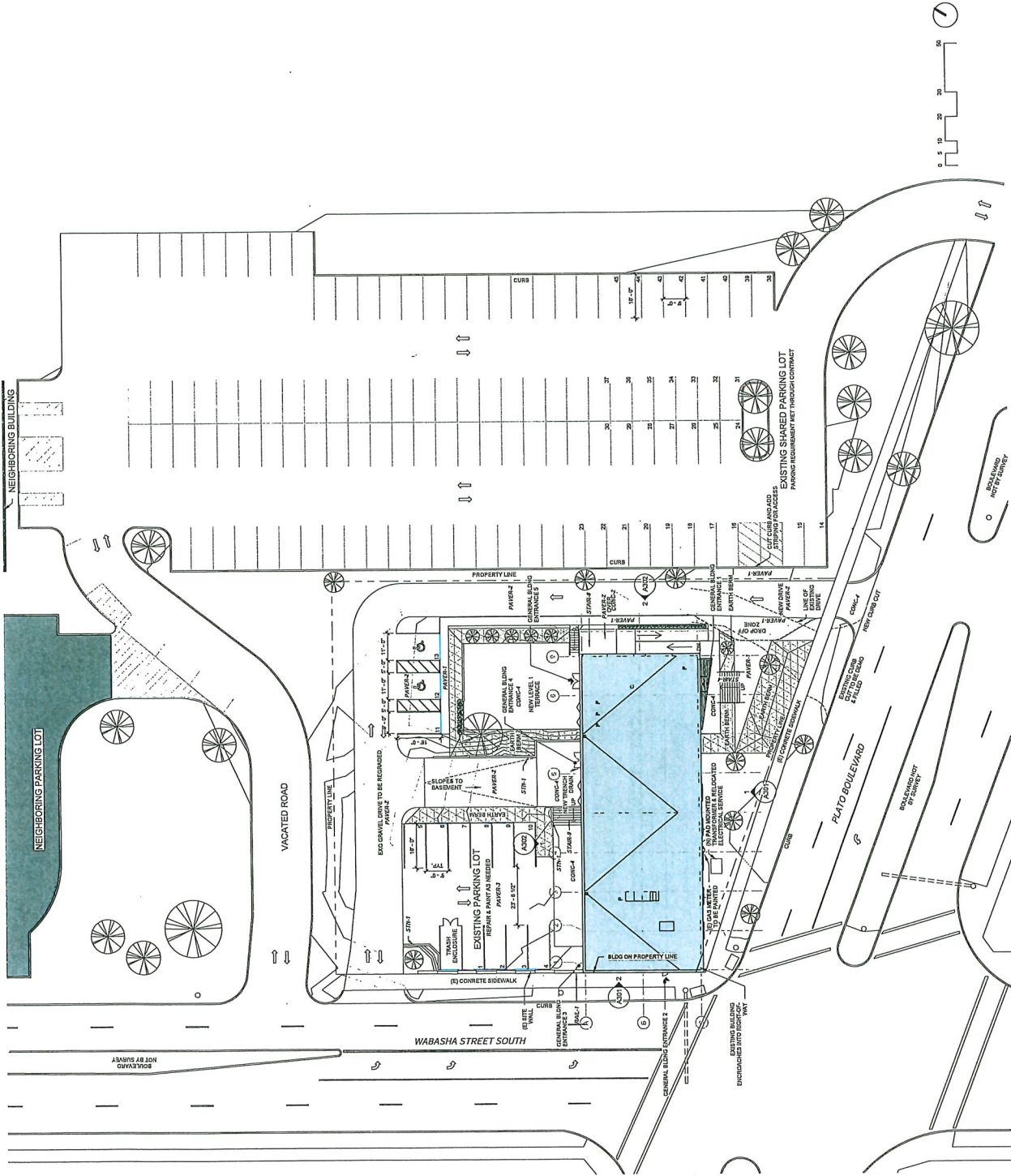
13735/5700/1882

13735/5700/1882

13735/5700/1882

13735/5700/1882

13735/5700/1882



SITE AREA SUMMARIES	
NEW TRAFFIC PAVING	5,018 SF
NEW TRAFFIC PAVING (PAVING)	2,318 SF
NEW TRAFFIC PAVING (PAVING)	2,318 SF
BUILDING FOOTPRINT	5,435 SF

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 LICENSE NO.: 44768

Issue / Revision Schedule
 NO. DESCRIPTION DATE

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ARCHITECTURAL SITE
 PLAN

G103

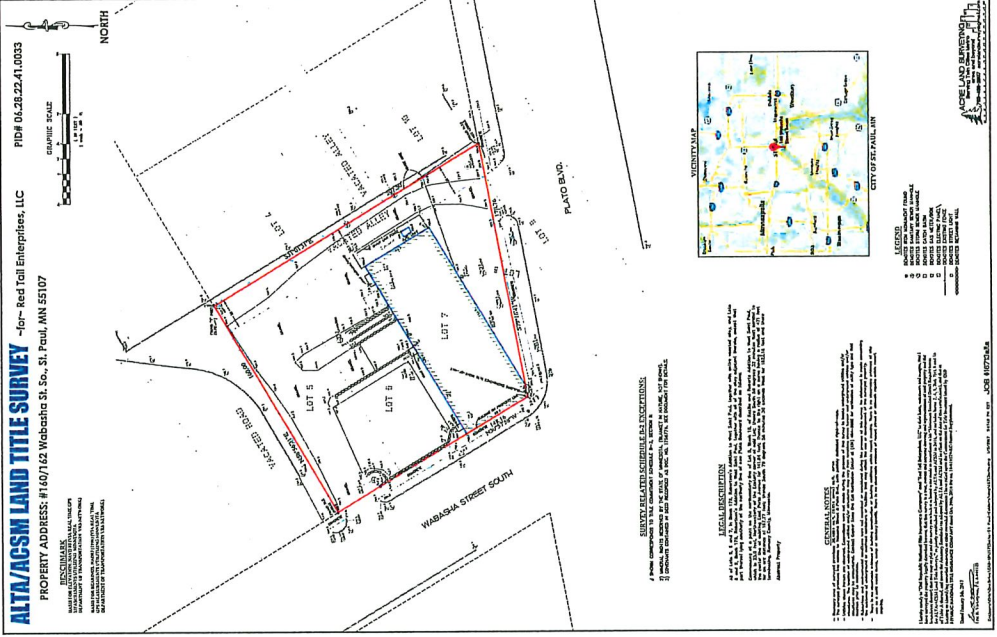
PERMIT SET 03 SEPTEMBER 2019

1 ARCHITECTURAL SITE PLAN
 G103 1" = 30'-0"

160 WABASHA

Project No: 2018.02
160 WABASHA STREET SOUTH
SAINT PAUL, MN 55107

REDUCED 50% TO FIT ON SHEET



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LICENSE NO.: 41789

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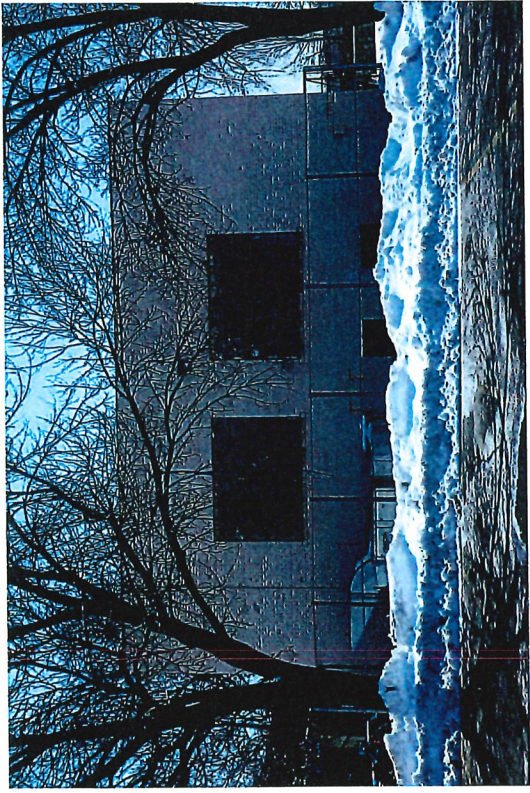
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EXISTING SURVEY
G104
 PERMIT SET 03 SEPTEMBER 2019



NORTH ELEVATION



EAST ELEVATION

160 WABASHA
 Project No: 2018.02
 160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107

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 direct supervision and that I am a duly
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 PRINT NAME: Christian Dean, AIA
 SIGNATURE: *Christian Dean*
 LICENSE NO.: 41918

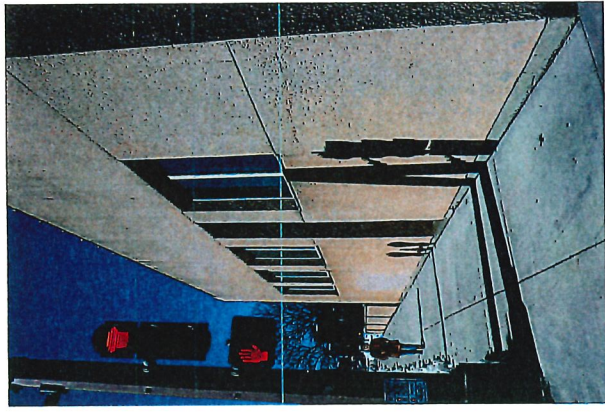
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 NO. DESCRIPTION DATE

3811 D:\PROJECTS\CHRISTIAN DEAN ARCHITECTURE\G.L.C.

**EXISTING CONDITIONS
 - EXTERIOR**

G111

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WEST ELEVATION



SOUTH ELEVATION

160 WABASHA

Project No: 2018.02
160 WABASHA STREET SOUTH
SAINT PAUL, MN 55107

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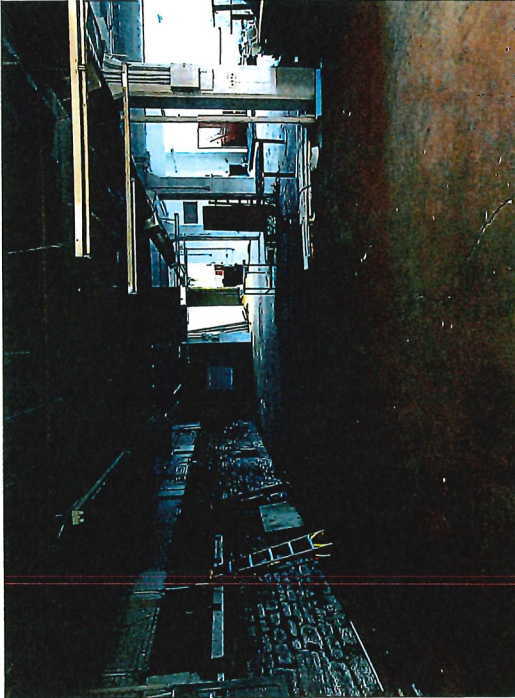
PRINT NAME: Christian Dean, AIA
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NO. DESCRIPTION DATE

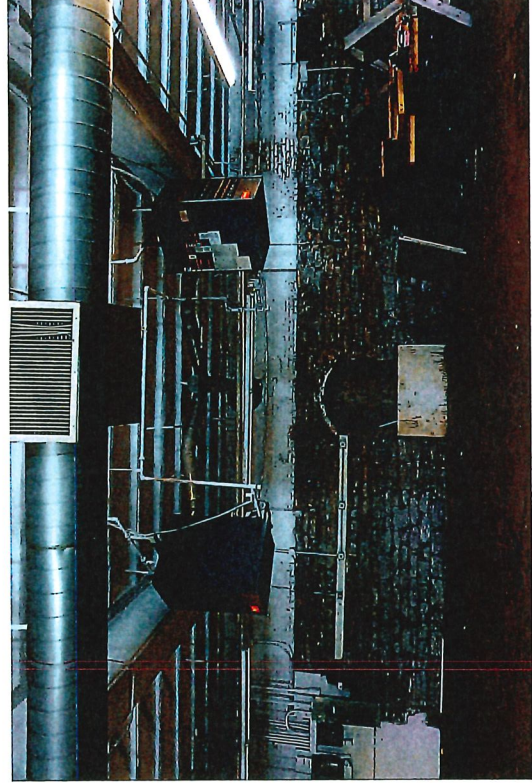
289 SOUTH CHRISTIAN DEAN ARCHITECTURE, LLC
EXISTING CONDITIONS
- LOWER LEVEL
INTERIOR

G112

PERMIT SET 03 SEPTEMBER 2019



LOWER LEVEL - LOOKING WEST



LOWER LEVEL - SOUTH WALL



LOWER LEVEL - LOOKING EAST



LOWER LEVEL - LOOKING NORTH

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I hereby certify that the plan, specification, or
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ISSUANCE DATE: 08/27/2019
LICENSE NO.: 44789

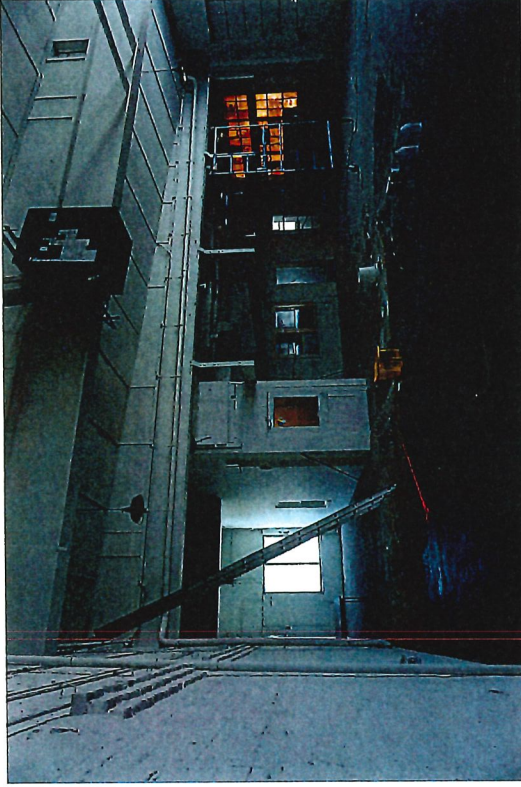
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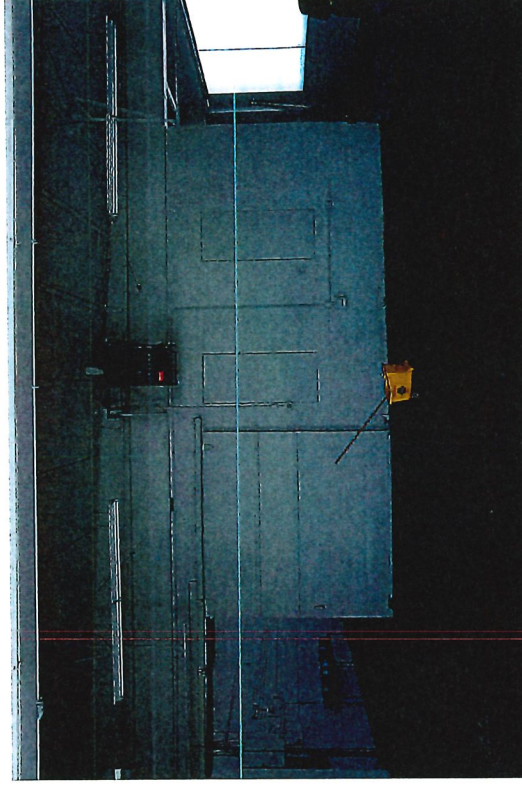
**EXISTING CONDITIONS
- LEVEL 1 INTERIOR**

G113

PERMIT SET 03 SEPTEMBER 2019

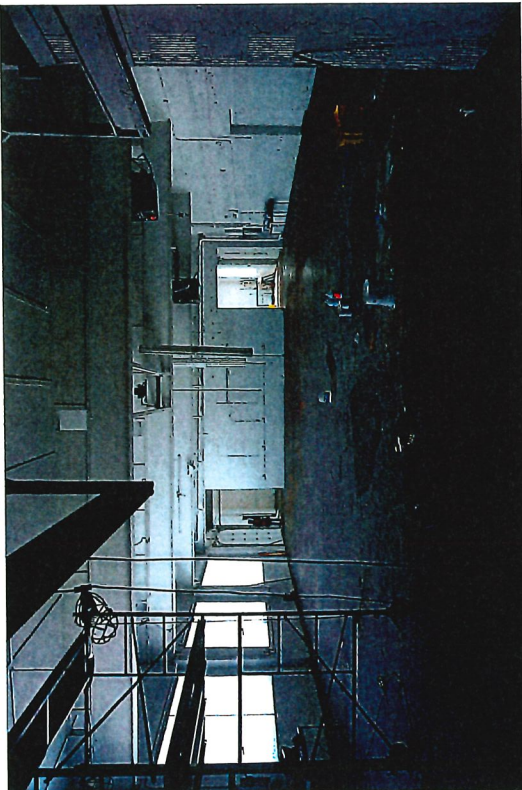


LEVEL 1 - EVENT SPACE LOOKING WEST

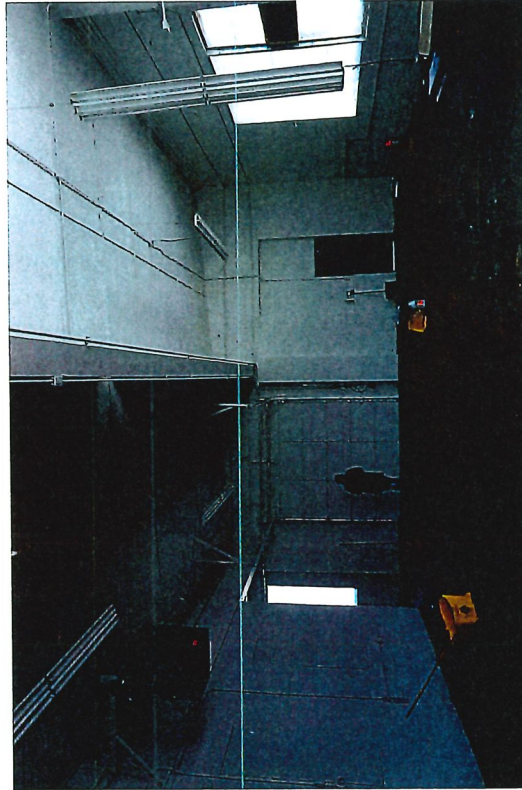


LEVEL 1 - PROPOSED STAIR LOCATION

ADDITIONAL PHOTOS AVAILABLE ELECTRONICALLY



LEVEL 1 - EVENT SPACE LOOKING EAST



LEVEL 1 - ENTRY / LOUNGE LOOKING NORTH

160 WABASHA

160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107
 Project No: 2018.02

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	Issue / Revision Schedule	

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**PROPOSED
 CONDITIONS -
 EXTERIOR**

G114

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PROPOSED EAST ELEVATION



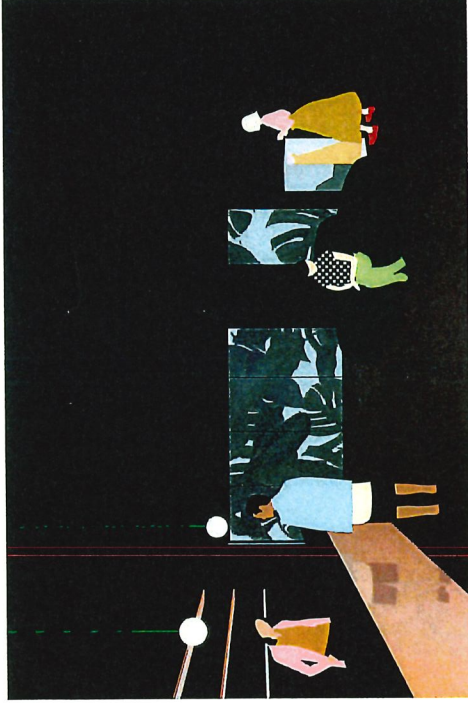
PROPOSED WEST ELEVATION



PROPOSED SOUTH ELEVATION



PROPOSED NORTH ELEVATION



LOWER LEVEL BAR AND TERRARIUM



LOWER EVENT HALL - TOWARD PATIO

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 NO. DESCRIPTION DATE

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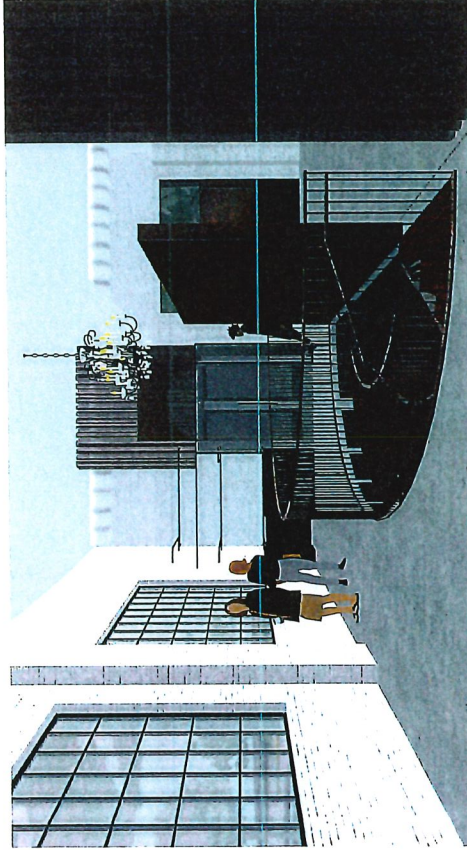
**PROPOSED
 CONDITIONS -
 INTERIOR**

G115

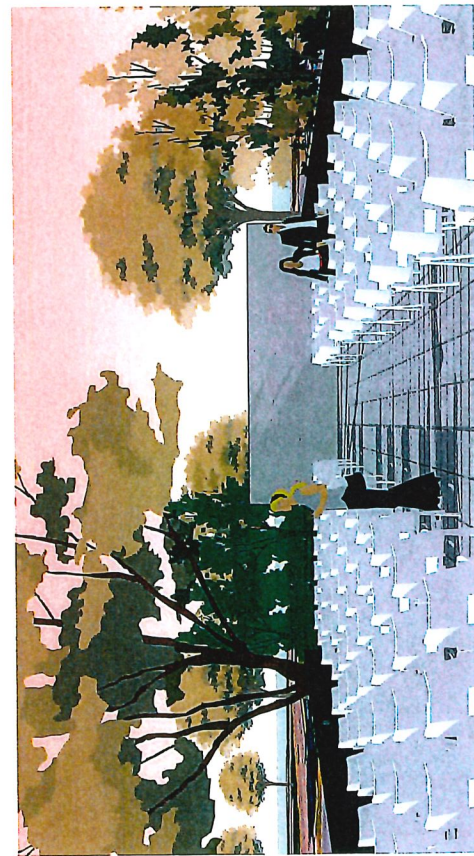
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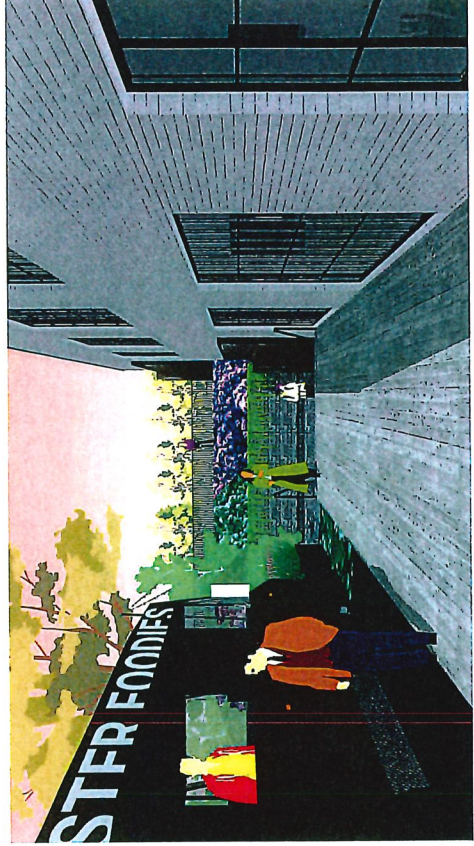
UPPER EVENT HALL - LOOKING EAST



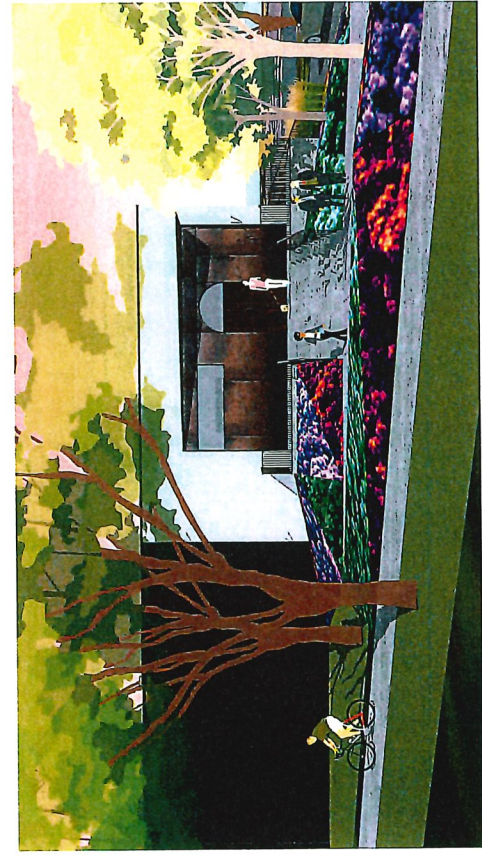
UPPER LOUNGE - COAT CHECK



PROPOSED TERRACE



PATIO - TOWARD TERRACE



PROPOSED MAIN ENTRY

160 WABASHA

160 WABASHA STREET SOUTH
SAINT PAUL, MN 55107
Project No.: 2018.02

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**PROPOSED
CONDITIONS -
EXTERIOR**

G116

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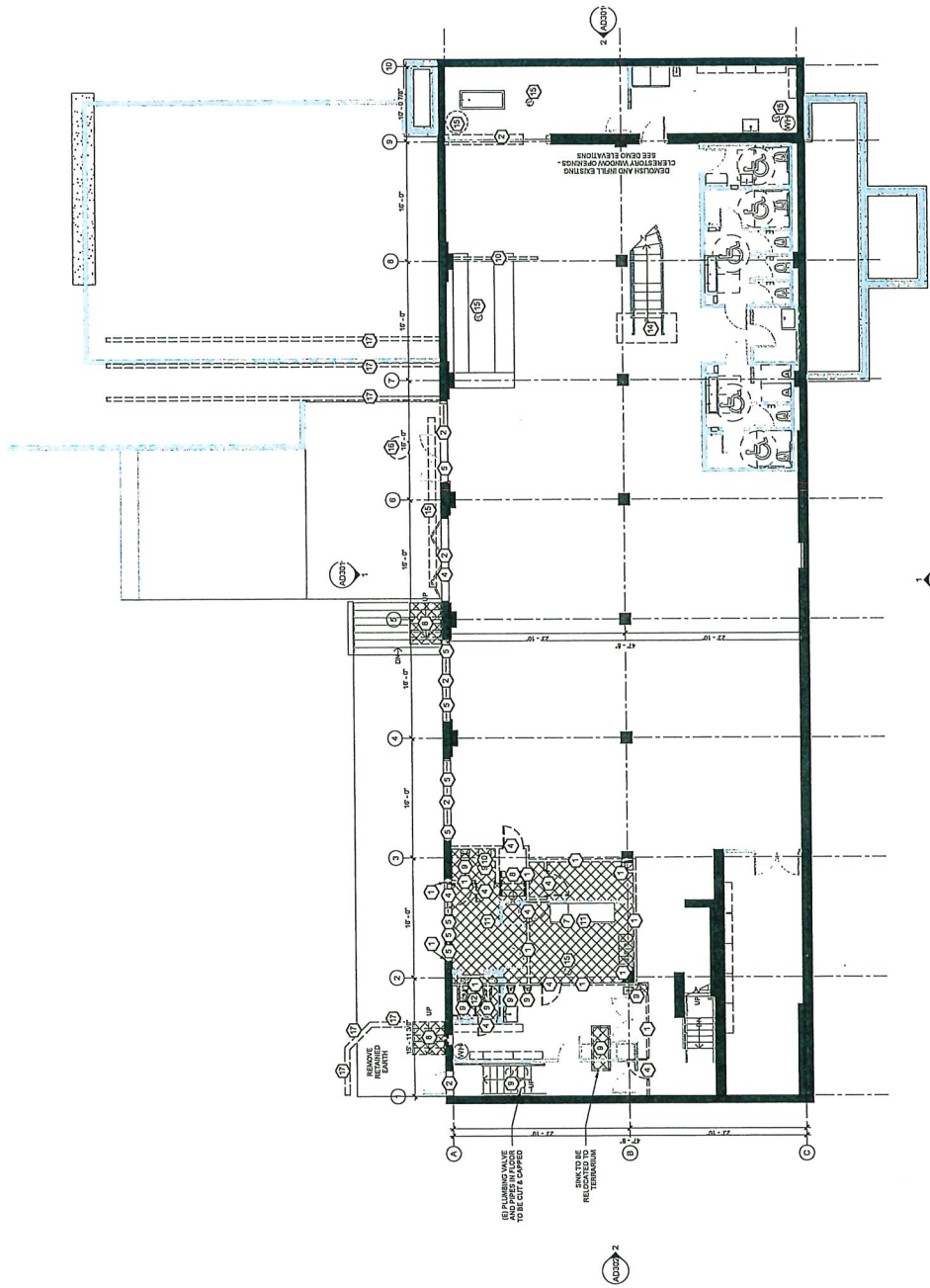
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LICENSE NO.: 44768

Issue / Revision Schedule DATE

**LOWER LEVEL
DEMOLITION PLAN**
AD200

PERMIT SET 03 SEPTEMBER 2019



DEMOLITION KEYNOTES

- 1 DEMO WALL
- 2 DEMO WALL FOR NEW OPENING
- 3 DEMO WALL FOR NEW WINDOW
- 4 DEMO DOOR
- 5 DEMO WINDOW
- 6 DEMO ROOF FOR OPENING
- 7 DEMO FLOOR
- 8 DEMO STAR
- 9 DEMO PLUMBING FIXTURE
- 10 DEMO CASEWORK
- 11 DEMO OVERHEAD CEILING
- 12 DEMO FLOOR FOR NEW LIFT PIT
- 13 RELOCATE STRUCTURE FOR MEZZANINE
- 14 DEMO FLOOR FOR NEW FOOTING
- 15 DEMO FLOOR FOR DRAIN
- 16 DEMO SUMP PUMP
- 17 DEMO RETAINING WALL
- 18 DEMO COPING
- 19 DEMO ROOF MEIBANE - PREPARE FOR REROOFING
- 20 DEMO RETAINING WALL

DEMOLITION GENERAL NOTES

- 1. REVIEW PREPARED NEW CONSTRUCTION DETAILS FOR PRECISE DEMO REQUIREMENTS.
- 2. CONSULT STRUCTURAL ENGINEER AND ARCHITECT FOR ALL DEMO WORK PRIOR TO ANY DEMOLITION.
- 3. PROVIDE TEMPORARY BRACING AND SHORING FOR ALL STRUCTURAL ELEMENTS TO BE DEMOLISHED. PROVIDE WEATHER PROTECTION AS NECESSARY FOR ALL AREAS AFFECTED BY DEMOLITION UNTIL NEW ENCLOSURE IS COMPLETE.
- 4. PROVIDE TEMPORARY BRACING AND SHORING FOR ALL STRUCTURAL ELEMENTS TO BE DEMOLISHED TO PREVENT LATERAL MOVEMENT OR DEFLECTION TO ADJACENT AREAS.
- 5. PROVIDE CUTTING AND PATCHING AS WELL AS SHORING AND BRACING REQUIRED TO ACCOMPLISH THE WORK.
- 6. SALVAGE VAL CONTROLS OR DISPOSE OF ALL DEMOLISHED MATERIALS AS NECESSARY.
- 7. VERIFY EXISTING CONDITIONS AFTER DEMOLITION. REVIEW WITH ARCHITECT ALL CONCEALED FRAMING CONDITIONS.

DEMOLITION KEY

- TO BE REMOVED
- EXISTING CONDITION
- NOT IN SCOPE

1 LOWER DEMO

AD200 - 10' x 14'

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Industry: Work with the architect, engineer, or contractor to provide professional services of structural engineering and design for the State of Minnesota.

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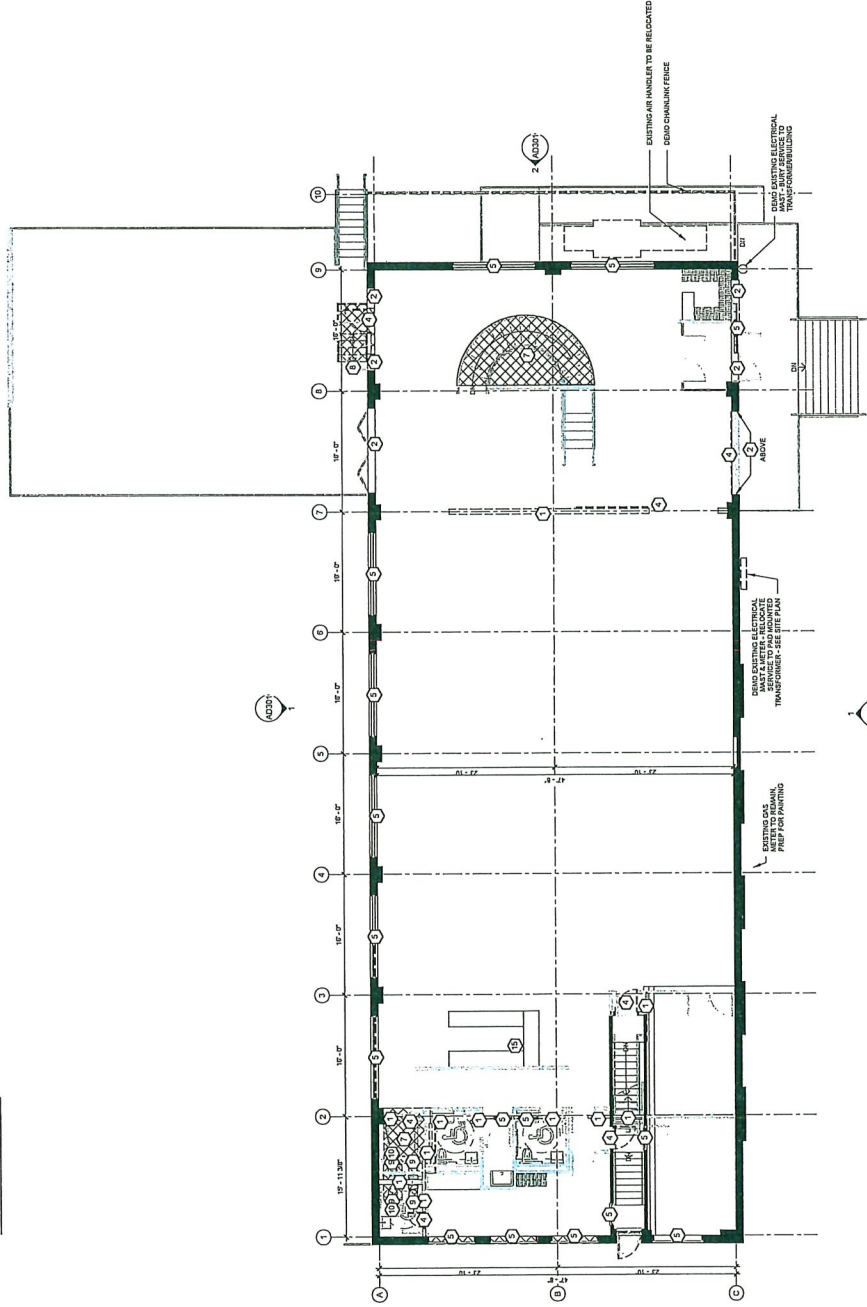
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**LEVEL 1 DEMOLITION
 PLAN**

AD201

PERMIT SET 03 SEPTEMBER 2019



DEMOLITION KEY



DEMOLITION KEYNOTES

- 1 DEMO WALL
- 2 DEMO WALL FOR NEW OPENING
- 3 DEMO WALL FOR NEW WINDOW
- 4 DEMO DOOR
- 5 DEMO WINDOW
- 6 DEMO ROOF FOR OPENING
- 7 DEMO FLOOR
- 8 DEMO STAIR
- 9 DEMO PLUMBING FUTURE
- 10 DEMO CASEWORK
- 11 DEMO OVERHEAD CEILING
- 12 DEMO FLOOR FOR NEW LIFT PIT
- 13 RELOCATE STRUCTURE FOR MEZZANINE
- 14 DEMO FLOOR FOR NEW FOOTING
- 15 DEMO FLOOR FOR DRAIN
- 16 DEMO SUMP PUMP
- 17 DEMO RETAINING WALL
- 18 DEMO COPING
- 19 DEMO ROOF MEMBRANE - PREPARE FOR RECOVERING
- 20 DEMO RETAINING WALL

DEMOLITION GENERAL NOTES

1. REVIEW PROPOSED NEW CONSTRUCTION DETAILS FOR PRECISE DEMO REQUIREMENTS.
2. CONFIRM STRUCTURAL FRAMING AND SHORING REQUIREMENTS PRIOR TO ANY DEMOLITION.
3. PROTECT EXISTING FINISHES THROUGHOUT CONSTRUCTION. CONTRACTOR TO PROVIDE WEATHER PROTECTION AS NECESSARY FOR ALL AREAS AFFECTED BY CONSTRUCTION AND DEMOLITION UNTIL NEW FINISHES IS COMPLETE.
4. PROTECT EXISTING STRUCTURE UNTIL NEW SUPPORTS ARE IN PLACE.
5. PROVIDE CUTTING AND PATCHING AS WELL AS SHORING AND BRACING REQUIRED TO ACCOMPLISH THE WORK.
6. SALVAGE VIA DONATIONS OR DISPOSE OF ALL DEMOLISHED MATERIALS AS NECESSARY.
7. VERIFY EXISTING CONDITIONS AFTER DEMOLITION. REVIEW WITH ARCHITECT ALL CONCEALED FINISHING CONDITIONS.

1 LEVEL 1 DEMO
 AD201 - 1/8" = 1'-0"

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 LICENSE NO.: 44768

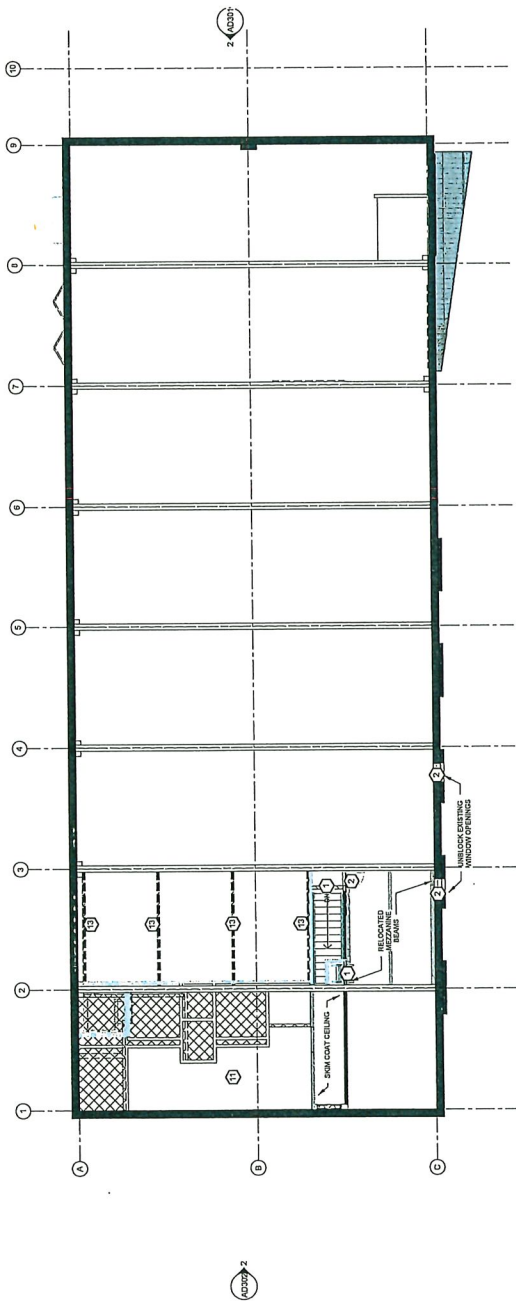
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**MEZZANINE LEVEL
 DEMOLITION PLAN**

AD202

PERMIT SET 03 SEPTEMBER 2019



1 MEZZANINE LEVEL DEMO
 ASSD: 1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. REVIEW PROPOSED NEW CONSTRUCTION DETAILS FOR PRECISE DEMO SCOPE AND QUANTITY.
2. CONFIRM STRUCTURAL FRAMING AND JOISTING RECEIVING CAPACITY FOR ANY RELOCATION.
3. PROVIDE TEMPORARY BRACING TO PREVENT LATERAL MOVEMENT OR DEFLECTION TO NECESSARY FOR ALL AREAS AFFECTED BY CONSTRUCTION AND DEMOLITION UNTIL NEW STRUCTURE IS COMPLETE.
4. PROVIDE TEMPORARY BRACING IN ALL DEMOLITION AREAS TO PREVENT LATERAL MOVEMENT OR DEFLECTION TO NECESSARY FOR ALL AREAS AFFECTED BY CONSTRUCTION AND DEMOLITION UNTIL NEW STRUCTURE IS COMPLETE.
5. PROVIDE CUTTING AND PATCHING AS WELL AS SCHEDING AND BRACING REQUIRED TO ACCOMPLISH THE WORK.
6. ALLOW FOR JOINTS AND SPALLS ON CASING OF ALL DEMOLISHED MATERIALS AS NECESSARY.
7. VERIFY EXISTING CONDITIONS AFTER DEMOLITION; REVIEW WITH ARCHITECT ALL CONCEALED FRAMING CONDITIONS.

DEMOLITION KEYNOTES

- 1 DEMO WALL
- 2 DEMO WALL FOR NEW OPENING
- 3 DEMO WALL FOR NEW WINDOW
- 4 DEMO DOOR
- 5 DEMO WINDOW
- 6 DEMO ROOF FOR OPENING
- 7 DEMO FLOOR
- 8 DEMO STAIR
- 9 DEMO PLUMBING FUTURE REWORKING
- 10 DEMO CASEWORK
- 11 DEMO OVERHEAD CEILING
- 12 DEMO FLOOR FOR NEW LIFT FIT
- 13 RELOCATE STRUCTURE FOR MEZZANINE
- 14 DEMO FLOOR FOR NEW FOOTING
- 15 DEMO FLOOR FOR DRAIN
- 16 DEMO SUMP PUMP
- 17 DEMO RETAINING WALL

DEMOLITION KEY



160 WABASHA

Project No: 2018.02
 160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107

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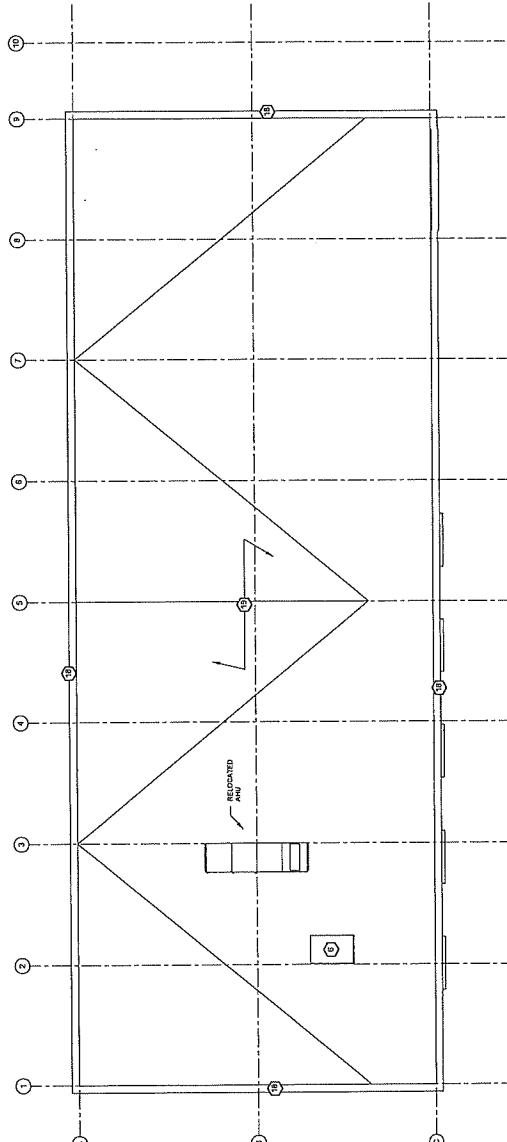
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**ROOF DEMOLITION
 PLAN**

AD203

PERMIT SET 03 SEPTEMBER 2019



1 ROOF DEMO
 A0220 1/8" = 1'-0"

- DEMOLITION KEY**
- TO BE REMOVED
 - EXISTING CONDITION
 - NOT IN SCOPE
- DEMOLITION GENERAL NOTES**
1. VERIFY PROPOSED NEW CONSTRUCTION DETAILS FOR PRECISE SHOP REQUIREMENTS.
 2. CONDUCT STRUCTURAL FRAMEWORK AND WORKING REQUIREMENTS PRIOR TO ANY DEMOLITION.
 3. PROTECT EXISTING DETAILS THROUGHOUT CONSTRUCTION AND DEMOLITION UNTIL NEW ENCLOSURE IS COMPLETE.
 4. PROVIDE APPROVED BRACING FOR ALL EXISTING WALLS TO BE DEMOLISHED AS WELL AS ALL EXISTING INTERNAL MOVEMENT OR DEFLECTION TO BE MAINTAINED.
 5. PROVIDE CUTTING AND PATCHING AS WELL AS SHORING AND BRACING REQUIRED TO ACCOMPLISH THE WORK.
 6. SALVAGE AND DISPOSE OF ALL DEMOLISHED MATERIALS AS NECESSARY.
 7. VERIFY EXISTING CONDITIONS AFTER DEMOLITION. REVIEW WITH ARCHITECT ALL CONCEALED FRAMING CONDITIONS.
- DEMOLITION KEYNOTES**
- 1 DEMO WALL
 - 2 DEMO WALL FOR NEW OPENING
 - 3 DEMO WALL FOR NEW WINDOW
 - 4 DEMO DOOR
 - 5 DEMO WINDOW
 - 6 DEMO ROOF FOR OPENING
 - 7 DEMO FLOOR
 - 8 DEMO STAIR
 - 9 DEMO PLUMBING PICTURE
 - 10 DEMO CASEWORK
 - 11 DEMO OVERHEAD CEILING
 - 12 DEMO FLOOR FOR NEW LIFT PIT
 - 13 RELOCATE STRUCTURE FOR MEZZANINE
 - 14 DEMO FLOOR FOR NEW FOOTING
 - 15 DEMO FLOOR FOR BRUN
 - 16 DEMO SUMP PUMP
 - 17 DEMO RETAINING WALL
 - 18 DEMO COPINGS
 - 19 DEMO ROOF MEZANINE - PREPARE FOR REFORMING
 - 20 DEMO RETAINING WALL

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I hereby certify that this plan, specification, or
drawings were prepared by me or under my
direct supervision and that I am a duly
licensed professional engineer under the laws of the
State of Minnesota.

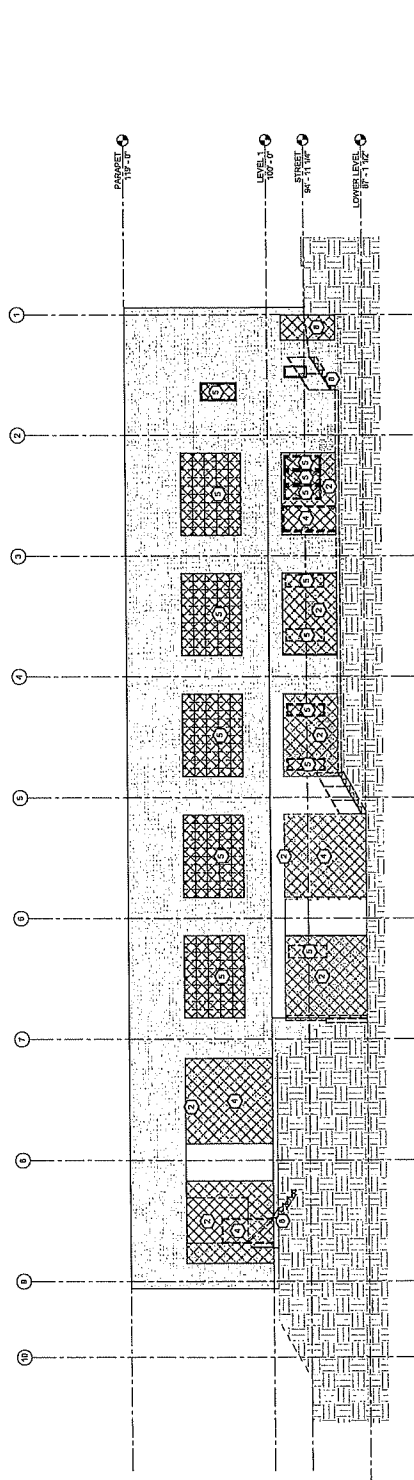
PRINT NAME: Christian Dean, AIA
SIGNATURE: *[Signature]*
LICENSE NO.: 4782

Issue / Revision Schedule
NO. DESCRIPTION DATE

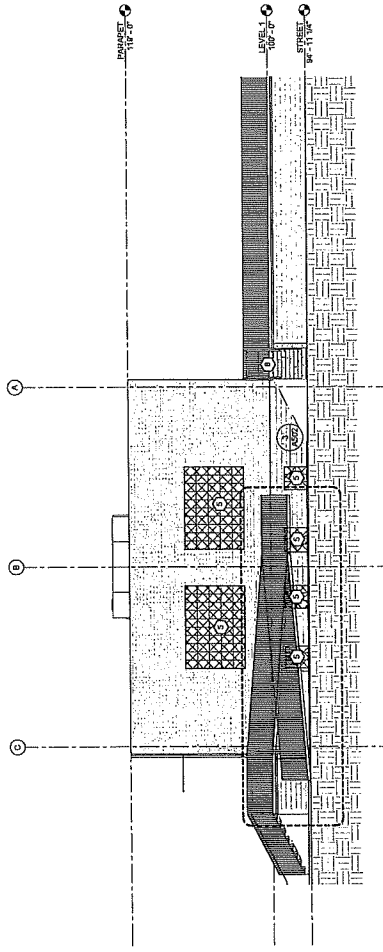
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**DEMOLITION
ELEVATIONS**
AD301

PERMIT SET 03 SEPTEMBER 2019



1 NORTH DEMO ELEVATION
AD301 18" x 12"



2 EAST DEMO ELEVATION
AD301 18" x 12"

DEMOLITION GENERAL NOTES

1. REVIEW PROPOSED NEW CONSTRUCTION DETAILS FOR PERMIT DEMO REQUIREMENTS.
2. CONFIRM STRUCTURAL FRAMEWORK AND SHEAR REQUIREMENTS PRIOR TO ANY DEMOLITION.
3. DEMOLITION SHALL BE CONDUCTED IN ACCORDANCE WITH THE MINNESOTA PERMITS ACT AS NECESSARY FOR ALL AREAS AFFECTED BY CONSTRUCTION AND DEMOLITION LAWS. NEW ENCLOSURES COMPLETE.
4. PROVIDE TEMPORARY BRACING IN ALL DEMOLITION AREAS TO PREVENT LATERAL MOVEMENT OR DEFLECTION TO PROTECT ADJACENT STRUCTURES. ALL WALLS TO BE DEMOLISHED SHALL BE PROPERLY BRACED TO ACCOMPLISH THE WORK.
5. PROVIDE TEMPORARY BRACING FOR EXPOSED ROOF STRUCTURE AS NECESSARY.
6. VERIFY ALL DEMOLITION WORK IS COMPLETED AND ALL DEMOLISHED MATERIALS ARE REMOVED FROM THE WORK.
7. VERIFY ALL DEMOLITION WORK IS COMPLETED AND ALL DEMOLISHED MATERIALS ARE REMOVED FROM THE WORK.

DEMOLITION KEYNOTES

- 1 DEMO WALL
- 2 DEMO WALL FOR NEW OPENING
- 3 DEMO WALL FOR NEW WINDOW
- 4 DEMO DOOR
- 5 DEMO WINDOW
- 6 DEMO ROOF FOR OPENING
- 7 DEMO FLOOR
- 8 DEMO STAIR
- 9 DEMO PLUMBING FIXTURE
- 10 DEMO CASEWORK
- 11 DEMO OVERHEAD CEILING
- 12 DEMO FLOOR FOR NEW LIFT FIT
- 13 RELOCATE STRUCTURE FOR MEZZANINE
- 14 DEMO FLOOR FOR NEW FOOTING
- 15 DEMO FLOOR FOR DRAIN
- 16 DEMO SUMP PUMP
- 17 DEMO RETAINING WALL
- 18 DEMO COPING
- 19 DEMO ROOF MEMBRANE - PREPARE FOR RECOVERING
- 20 DEMO RETAINING WALL

160 WABASHA

160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107
 Project No: 2018.02

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I hereby certify that this architectural or engineering report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

PRINT NAME: Christian Dean, AIA
 SIGNATURE: *[Signature]*
 LICENSE NO.: 44789

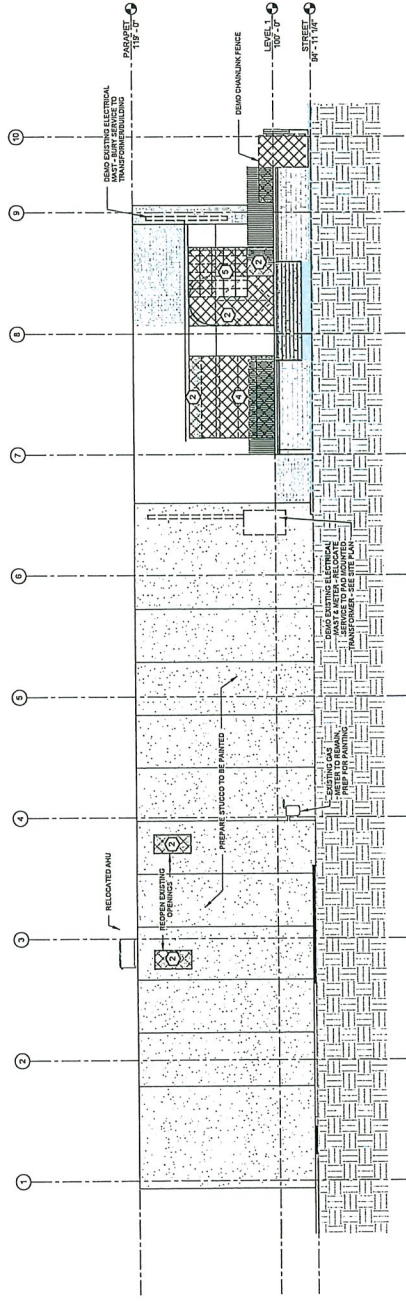
Issue / Revision Schedule
 NO. DESCRIPTION DATE

218 SOUTHPT@CHRISTIANDEANARCHITECTURE.LLC

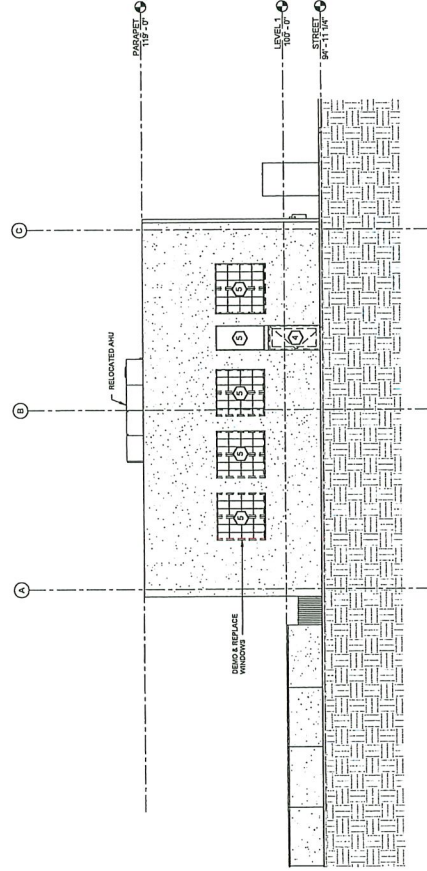
**DEMOLITION
 ELEVATIONS**

AD302

PERMIT SET 03 SEPTEMBER 2019



1 SOUTH DEMO ELEVATION
 AS302 1/8" = 1'-0"



2 WEST DEMO ELEVATION
 AS302 1/8" = 1'-0"

DEMOLITION GENERAL NOTES

1. REVIEW PROPOSED NEW CONSTRUCTION DETAILS FOR PRECISE DEMO REQUIREMENTS.
2. CONFIRM STRUCTURAL FRAMING AND SHORING REQUIREMENTS PRIOR TO ANY DEMOLITION.
3. PROTECT EXISTING FINISHES THROUGHOUT CONSTRUCTION. CONTRACTOR TO PROVIDE WEATHER PROTECTION AS NECESSARY FOR ALL AREAS AFFECTED BY CONSTRUCTION AND DEMOLITION UNTIL NEW ENCLOSURE IS COMPLETE.
4. PROTECT EXISTING STRUCTURE UNTIL NEW SUPPORTS ARE IN PLACE. LATERAL MOVEMENT OR DEFORMATION TO EXISTING STRUCTURE WILL BEYOND SUPPORTS USE IN PLACE.
5. PROVIDE CUTTING AND PATCHING AS WELL AS SHORING AND BRACING REQUIRED TO ACCOMPLISH THE WORK.
6. SALVAGE VIA DOWNLINES OR DISPOSE OF ALL DEMOLISHED MATERIALS AS NECESSARY.
7. VERIFY EXISTING CONDITIONS AFTER DEMOLITION REVIEW WITH ARCHITECT ALL CONCEALED FRAMING CONDITIONS.


DEMOLITION KEYNOTES

- 1 DEMO WALL
- 2 DEMO WALL FOR NEW OPENING
- 3 DEMO WALL FOR NEW WINDOW
- 4 DEMO DOOR
- 5 DEMO WINDOW
- 6 DEMO ROOF FOR OPENING
- 7 DEMO FLOOR
- 8 DEMO STAIR
- 9 DEMO PLUMBING FEATURE
- 10 DEMO CHASEWORK
- 11 DEMO OVERHEAD CEILING
- 12 DEMO FLOOR FOR NEW LEFT PIT
- 13 RELOCATE STRUCTURE FOR MEZZANINE
- 14 DEMO FLOOR FOR NEW FOOTING
- 15 DEMO FLOOR FOR DRAIN
- 16 DEMO SLUMP PUMP
- 17 DEMO RETAINING WALL
- 18 DEMO COPING
- 19 DEMO ROOF MEMBRANE - PREPARE FOR REROOFING
- 20 DEMO RETAINING WALL

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 Contact

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I hereby certify that the plan, specifications, or
 direct supervision and final seal as a duly
 licensed professional engineer under the laws of the
 State of Minnesota.
 PRINT NAME: Christian Dean, AIA
 SIGNATURE: 
 LICENSE NO.: 44789

Issue / Revision Schedule
 NO. DESCRIPTION DATE

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**ARCHITECTURAL
 PROJECT NOTES**
A000
 PERMIT SET 03 SEPTEMBER 2019

NO.	DESCRIPTION	NOTE	FINISH	PRELIMINARY	DATE
1	GENERAL FINISHES	FOR ALL INTERIORS: SEE FINISH SCHEDULE FOR MATERIALS AND FINISHES. ALL FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
2	WALLS	ALL WALLS SHALL BE CONCRETE OR GYPSUM BOARD FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
3	CEILING	ALL CEILING SHALL BE GYPSUM BOARD FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
4	FLOOR	ALL FLOOR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
5	DOOR	ALL DOOR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
6	WINDOW	ALL WINDOW SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
7	STAIR	ALL STAIR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
8	ELEVATOR	ALL ELEVATOR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		

NO.	DESCRIPTION	NOTE	FINISH	PRELIMINARY	DATE
9	SECTION 1 - INTERIOR PARTITION	ALL PARTITION SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
10	SECTION 2 - INTERIOR WALL	ALL WALL SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
11	SECTION 3 - INTERIOR CEILING	ALL CEILING SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
12	SECTION 4 - INTERIOR FLOOR	ALL FLOOR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
13	SECTION 5 - INTERIOR DOOR	ALL DOOR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
14	SECTION 6 - INTERIOR WINDOW	ALL WINDOW SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
15	SECTION 7 - INTERIOR STAIR	ALL STAIR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		
16	SECTION 8 - INTERIOR ELEVATOR	ALL ELEVATOR SHALL BE FINISHES AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE. FINISHES SHALL BE APPLIED TO THE SURFACE AS SHOWN ON THE FINISH SCHEDULE.	FINISH SCHEDULE		

160 WABASHA
160 WABASHA STREET SOUTH
SAINT PAUL, MN 55107
Project No: 2018.02

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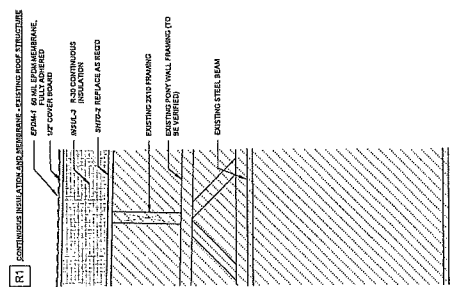
I hereby certify that this plan specification, or report was prepared by me or under my direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.
PRINT NAME: Christian Dean, AA
SIGNATURE: *[Signature]*
LICENSE NO.: 46789

Issue / Revision Schedule
NO. DESCRIPTION DATE

2018.0210101 CHRISTIAN DEAN ARCHITECTURE, LLC
ASSEMBLIES AND FINISH KEYS

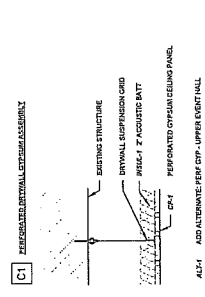
A001

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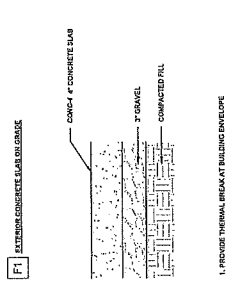
ASSEMBLIES - ROOF
1/12" = 1'-0"

NOTES:
1. SEE STRUCTURAL FOR FRAMING INFORMATION
2. SEE CEILING PLAN FOR CEILING FINISH



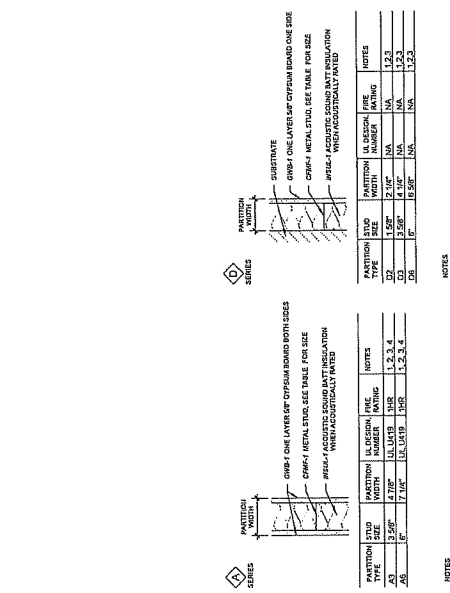
ASSEMBLIES - CEILING
1/12" = 1'-0"

NOTES:
1. SEE REF FOR LOCATION
2. SEE CEILING PLAN FOR CEILING FINISH



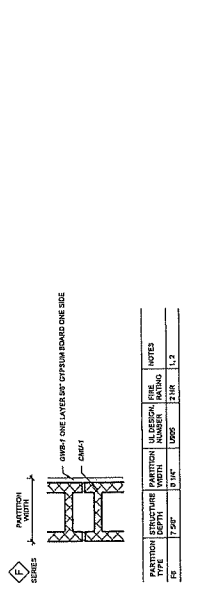
ASSEMBLIES - FLOOR
1/12" = 1'-0"

NOTES:
1. 1/2\"/>



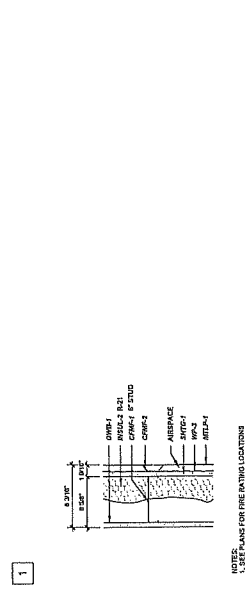
ASSEMBLIES - PARTITIONS - COMMERCIAL (MASONRY)
1/12" = 1'-0"

NOTES:
1. SEE PLAN FOR PARTITION LOCATIONS
2. WALLS AT PARTITION TO BE BUILT WITH 1/2\"/>



ASSEMBLIES - PARTITIONS - COMMERCIAL (METAL STUDS)
1/12" = 1'-0"

NOTES:
1. SEE PLAN FOR PARTITION LOCATIONS
2. SEE PARTITION ELEVATIONS FOR WALL FINISH



ASSEMBLIES - EXTERIOR WALL
1/12" = 1'-0"

NOTES:
1. SEE PLAN FOR PARTITION LOCATIONS
2. WALL AT PARTITION TO BE BUILT WITH 1/2\"/>

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I hereby certify that this specification, or any part thereof, was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota under the laws of the State of Minnesota.

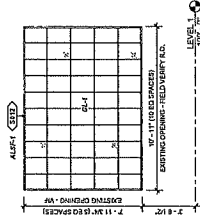
PRINT NAME: Charles Dean, AIA
 SIGNATURE: [Signature]
 LICENSE NO.: 4788

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 NO. DESCRIPTION DATE

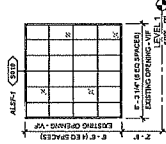
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**ALUMINUM
 STOREFRONT**

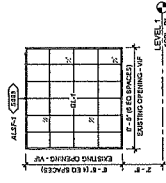
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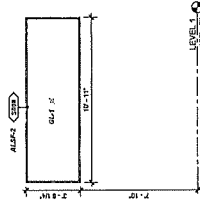
ALSF-1 @ S012
 1/4" = 1'-0"



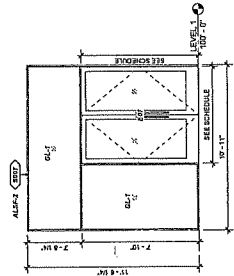
ALSF-1 @ S010
 1/4" = 1'-0"



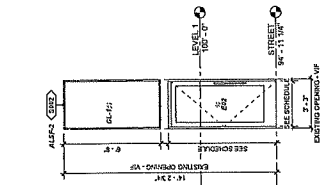
ALSF-1 @ S009
 1/4" = 1'-0"



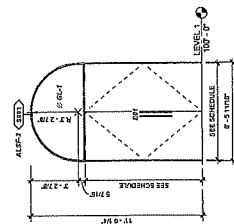
ALSF-2 @ S008
 1/4" = 1'-0"



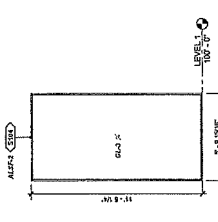
ALSF-2 @ S007
 1/4" = 1'-0"



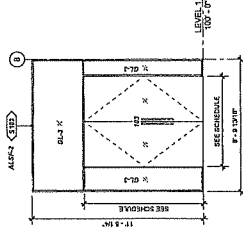
ALSF-2 @ S002
 1/4" = 1'-0"



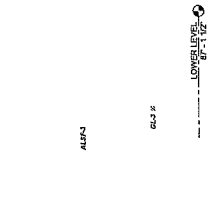
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 1/4" = 1'-0"



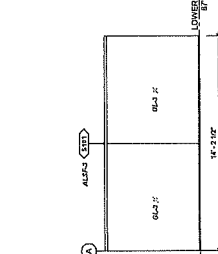
ALSF-2 @ S104
 1/4" = 1'-0"



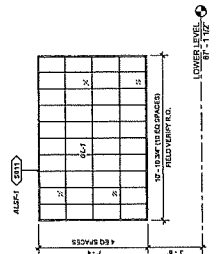
ALSF-2 @ S103
 1/4" = 1'-0"



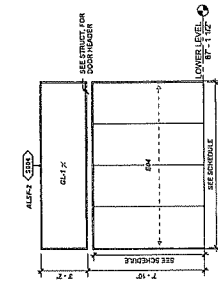
ALSF-3 @ S102
 1/4" = 1'-0"



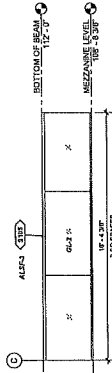
ALSF-3 @ S101
 1/4" = 1'-0"



ALSF-1 @ S011
 1/4" = 1'-0"



ALSF-3 @ S004
 1/4" = 1'-0"



ALSF-3 @ S105
 1/4" = 1'-0"

- ALUMINUM STOREFRONT TYPES**
- ALSF-1 STOREFRONT SYSTEMS AT INTERIOR AND EXTERIOR
 3/4\"/>
 - ALSF-2 ALUMINUM STOREFRONT SYSTEMS AT INTERIOR AND EXTERIOR
 NO APPLIED FINISHES
 3/4\"/>
 - ALSF-3 INTERIOR GLAZING
 1/2\"/>

- GLAZING TYPES**
- GL-1 INSULATED GLAZING
 1/2\"/>
 - GL-2 COLORED GLAZING
 - GL-3 INTERIOR GLAZING

DOOR SCHEDULE - EXTERIOR

MARK	QTY	PRODUCT	FINISH	GLASS	HORIZONTAL	VERTICAL	HEIGHT	WIDTH	FINISH	HORIZONTAL	VERTICAL	COMMENTS	FRAME		REVISIONS	REVISION	DATE	BY	CHECKED	APPROVED				
													TYPE	FINISH										
001	1	ALUMINUM	ANODIZED	1/2"	1/2"	1/2"	7'-11 3/8"	11'-8 1/4"	ALSF-1	ALSF-1	ALSF-1	SEE SCHEDULE	ALSF-1	ALSF-1										

WINDOW SCHEDULE

MARK	QTY	PRODUCT	FINISH	GLASS	HORIZONTAL	VERTICAL	HEIGHT	WIDTH	FINISH	HORIZONTAL	VERTICAL	COMMENTS	FRAME		REVISIONS	REVISION	DATE	BY	CHECKED	APPROVED				
													TYPE	FINISH										
001	1	ALUMINUM	ANODIZED	1/2"	1/2"	1/2"	7'-11 3/8"	11'-8 1/4"	ALSF-1	ALSF-1	ALSF-1	SEE SCHEDULE	ALSF-1	ALSF-1										

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I hereby certify that the preparation, or
 direct supervision and final approval,
 of this drawing was done by me or by
 another person under the direct supervision
 and under the name of this
 State of Minnesota.

PRINT NAME: Christian Dean, AIA
 SIGNATURE: [Signature]
 LICENSE NO.: 41176

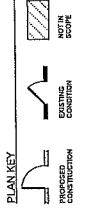
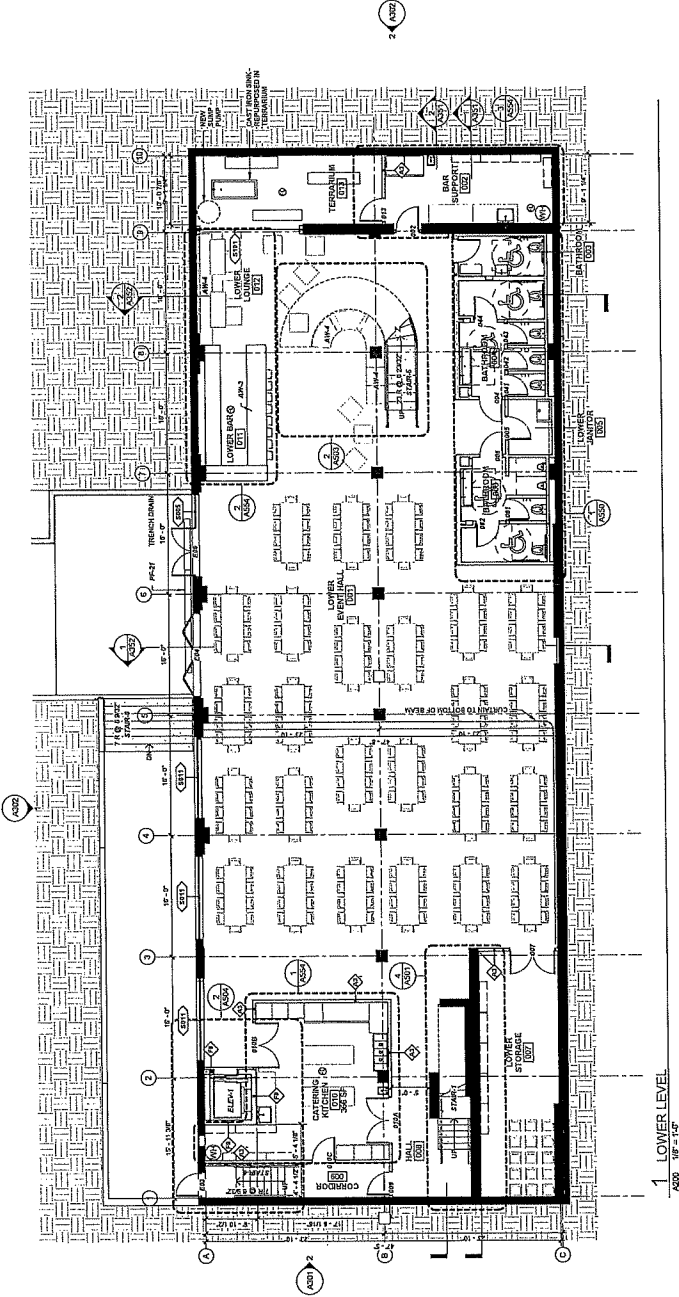
Issue / Revision Schedule
 NO. DESCRIPTION DATE

318 OPTICIST CRYSTAL ARCHITECTURE, LLC

**LOWER LEVEL FLOOR
 PLAN**

A200

PERMIT SET 03 SEPTEMBER 2019



- PLAN GENERAL NOTES**
- LEVEL 1 FINISHED FLOOR ELEVATION 107'-0" - GEOMETRIC QUANTITY MARKET ELEVATION T11
 - FIELD VERIFY ALL DIMENSIONS
 - ORIS TO CENTERLINE OF EXISTING COLUMNS/BEAMS & INTERIOR FACE OF EXTERIOR MASONRY WALLS AT LEVEL 1
 - EXISTING WALLS INCLUDING TYPICALY FINISH FROM STRUCTURAL FACE OF EXTERIOR WALLS TO CENTERLINE OF INTERIOR
 - REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ALL FRAMING REQUIREMENTS, SEES AND CONNECTIONS. COORDINATE WITH ARCHITECTURE LAYOUT AND REVIEW DISCREPANCIES WITH ARCHITECT
 - PLAN CUT AT 4' ABOVE FLOOR LEVEL

160 WABASHA

Project No. 2018.02
 160 WABASHA STREET SOUTH
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I hereby certify that this specification, or reports prepared by me or under my supervision, were prepared by me or under my direct supervision and that I am a Licensed Architect under the laws of the State of Minnesota.

PRINT NAME: Christian Dean, AIA

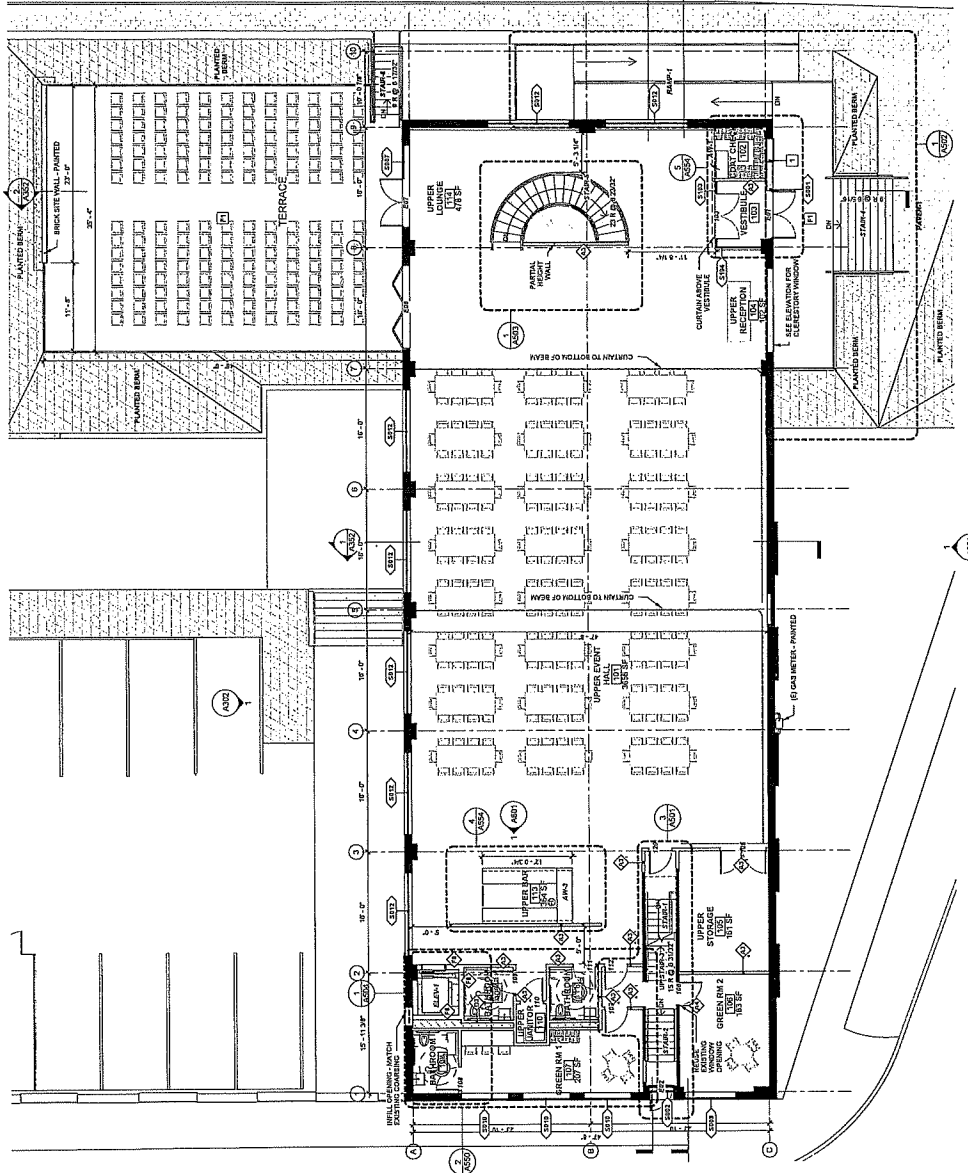
SIGNATURE: *[Signature]*

LICENSE NO.: 4176

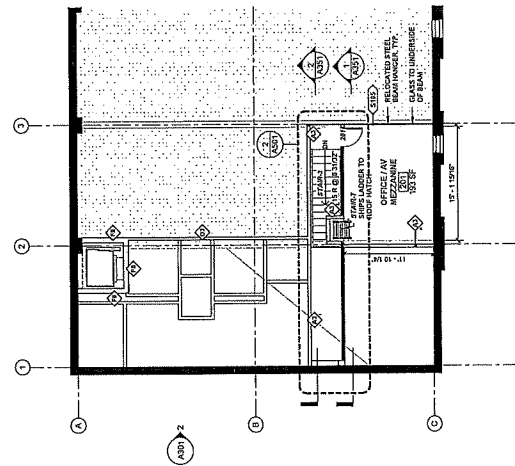
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 NO. DESCRIPTION DATE

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LEVEL 1 FLOOR PLAN
A201



1 LEVEL 1
 A201 1/8" = 1'-0"



2 MEZZANINE LEVEL
 A201 1/8" = 1'-0"

PLAN KEY



PLAN GENERAL NOTES

- LEVEL 1 FINISHED FLOOR ELEVATION 106'-0" - GENERIC SURVEY MARKER ELEVATION 111.
- FIELD VERIFY ALL DIMENSIONS.
- CROSS TO CENTERLINE OF EXISTING COLUMNS/BEAMS & INTERIOR FACE OF EXTERIOR MASONRY WALLS AT LEVEL 1.
- INTERIOR DIMENSIONS TYPICALLY TAKEN FROM STRUCTURAL FACE OF EXTERIOR WALLS TO CENTERLINE OF INTERIOR MASONRY WALLS.
- REFER TO EXISTING DRAWINGS AND SPECIFICATIONS FOR ALL FINISHES, MATERIALS, SIZES AND CONFIGURATIONS. COORDINATE WITH ARCHITECTURE LAYOUT AND REVIEW DISCREPANCIES WITH ARCHITECT.
- PLAN CUT AT 4' ABOVE FINISH LEVEL.

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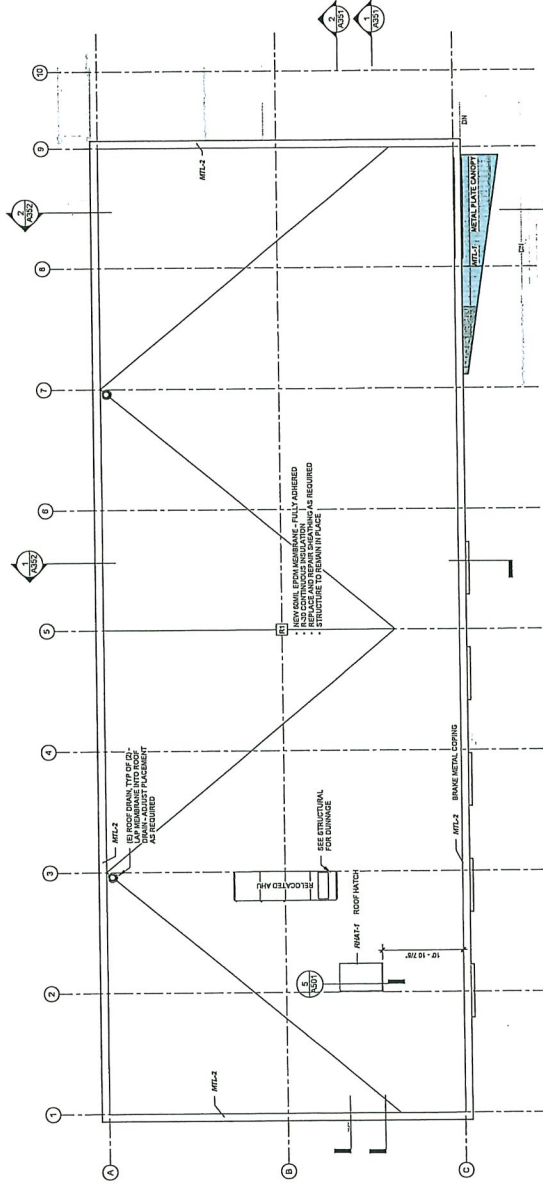
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I hereby affirm that the specification, or direct supervision and that I am a duly licensed professional engineer in the State of Minnesota.

PRINT NAME: Christian Dean, AIA
SIGNATURE: *[Signature]*
LICENSE NO.: 4478

Issue / Revision Schedule
 NO. DESCRIPTION DATE



1 ROOF PLAN
 ASD 1/8" = 1'-0"

PLAN KEY



- PLAN GENERAL NOTES**
1. LEVEL 1 FINISHED FLOOR ELEVATION 10'-0" GEODETIC SURVEY MARKER ELEVATION 111.1
 2. FIELD VERIFY ALL DIMENSIONS
 3. CHECK TO CENTERLINE OF EXISTING COLUMNS AND INTERIOR FACE OF EXTERIOR MASONRY WALLS AT LEVEL 1
 4. INTERIOR DIMENSIONS TYPICALLY TAKEN FROM STRUCTURAL FACE OF EXTERIOR WALLS TO CENTERLINE OF INTERIOR
 5. REFERENCE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ALL FRAMING REQUIREMENTS, SIZES AND CONFIGURATIONS. COORDINATE WITH ARCHITECTURE LAYOUT AND REVIEW DISCREPANCIES WITH ARCHITECT
 6. PLAN CITY AT 2'-0" ABOVE FLOOR LEVEL

**ROOF PLAN
 A203**

PERMIT SET 03 SEPTEMBER 2019

160 WABASHA

Project No: 2018.02
 160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107

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SIGNATURE: *Christine Dean*
 License No.: 4478

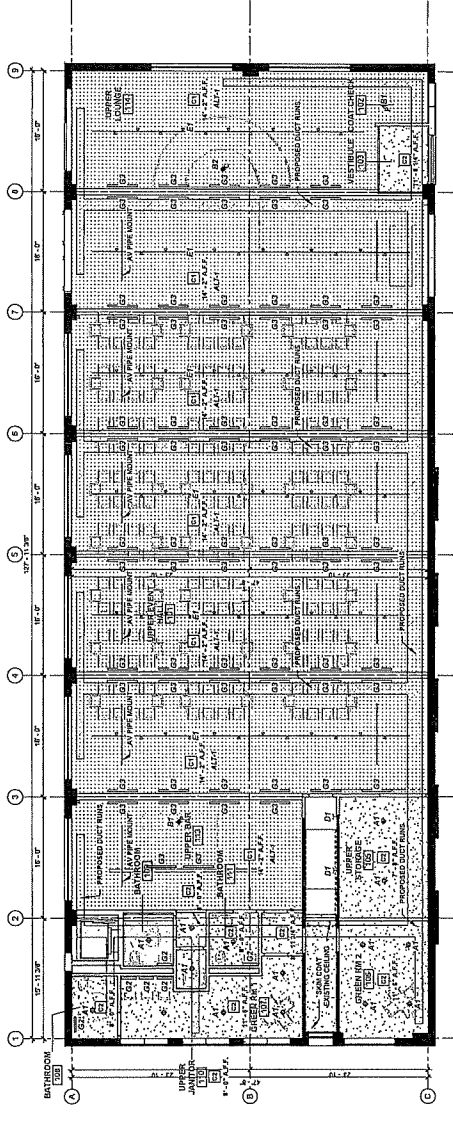
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 NO. DESCRIPTION DATE

301 CONVENT CENTER WABASHA@CDARCH.COM

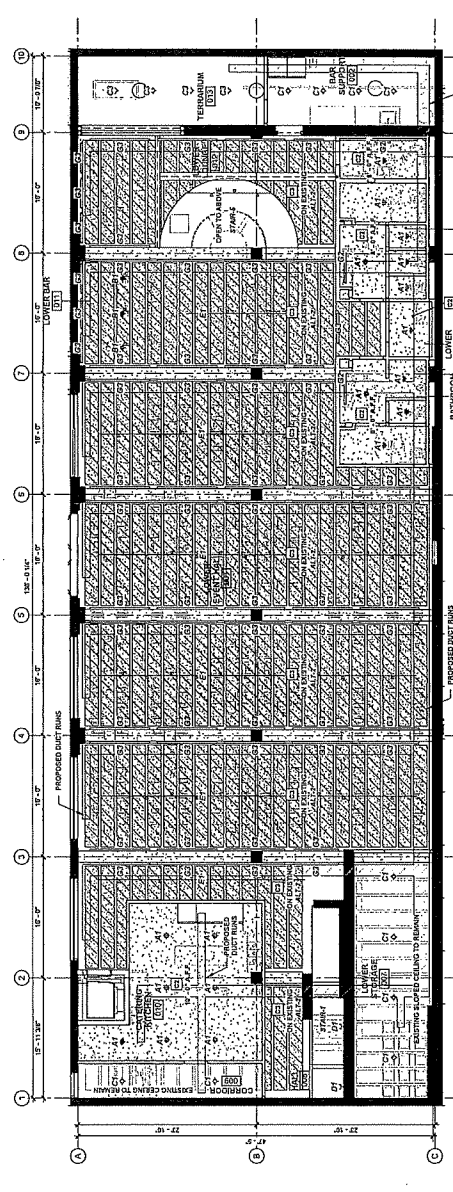
REFLECTED CEILING
 PLANS

A251

DESCRIPT SET NO. 00000000000000000000



1 LEVEL 1 REFLECTED CEILING PLAN
 A251 18" = 1'-0"



2 LOWER REFLECTED CEILING PLAN
 A251 18" = 1'-0"

REFLECTED CEILING GENERAL NOTES

POWER KEY

- 1. XXXX SWITCH - SINGLE POLE
- 2. XXXX SWITCH - DIMMER
- 3. XXXX SWITCH - 3-WAY
- 4. XXXX SWITCH - COMBINATION SWITCH

SWITCHING KEY

- 1. XXXX SWITCH - SINGLE POLE
- 2. XXXX SWITCH - DIMMER
- 3. XXXX SWITCH - 3-WAY
- 4. XXXX SWITCH - COMBINATION SWITCH

POWER KEY

- 1. OUTLET - DUPLEX
- 2. OUTLET - 3-POLE
- 3. OUTLET - GROUND FAULT INTERRUPTED
- 4. OUTLET - WATER PROTECTED
- 5. OUTLET - SPECIAL PURPOSE / DESIGNATED
- 6. OUTLET - FLOOR MOUNTED

LIGHTING AND FIXTURE KEY

- A SERIES - RECESSED DOWNLIGHT FIXTURE
- B SERIES - PENDANT FIXTURE
- C SERIES - CEILING MOUNT FIXTURE
- D SERIES - WALL MOUNT FIXTURE
- E SERIES - TRACK LIGHTING
- F SERIES - DIRECTIONAL FIXTURE

POWER KEY

- G SERIES - LED STRIP FIXTURE
- H SERIES - CEILING FAN
- I SERIES - FAN BOX FOR FUTURE CEILING FAN

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Notwithstanding to whom these specifications or contract documents are issued, the architect shall be responsible for the coordination of all trades and trades shall be responsible for the coordination of their trades with the architect.

PRINT NAME: Christian Dean, AIA
 SIGNATURE: [Signature]
 LICENSE NO.: 41769

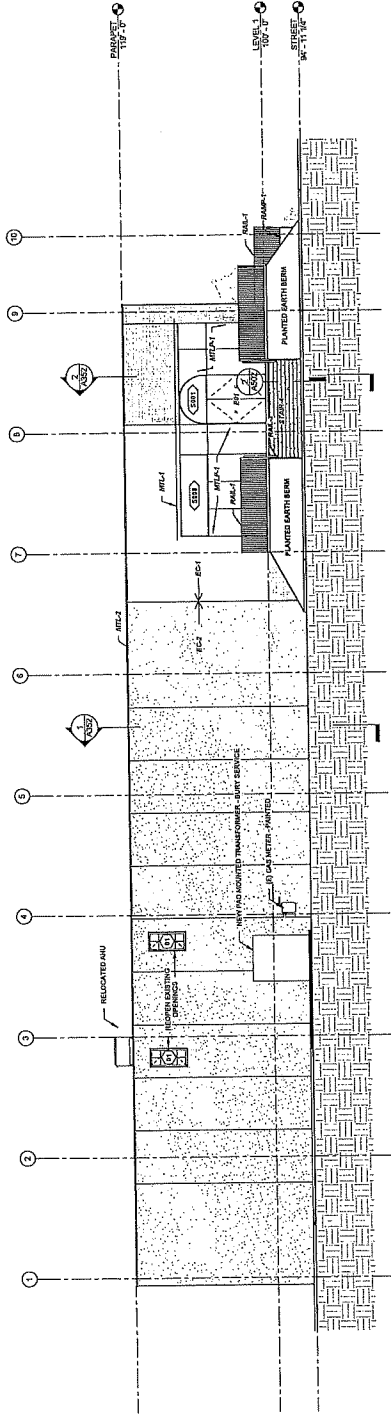
Issue / Revision Schedule
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2018 SEPTEMBER FOR PERMITS ARCHITECTURE, LLC

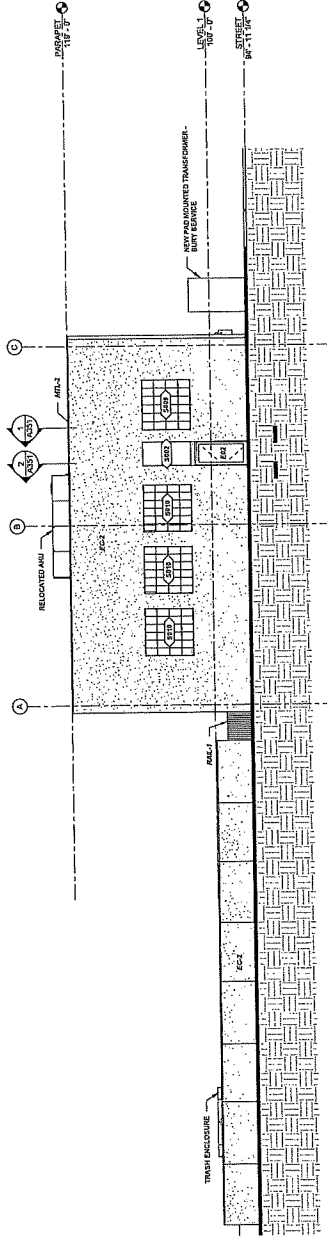
**BUILDING
 ELEVATIONS**

A301

PERMIT SET 03 SEPTEMBER 2019



1 SOUTH ELEVATION
 A301 10'-0" x 14'



2 WEST ELEVATION
 A301 10'-0" x 14'

160 WABASHA

160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107
 Project No: 2018.02

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I hereby certify that this specification, or report was prepared by me or under my direct supervision and that I am a Licensed Architect under the laws of the State of Minnesota.

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 LICENSE NO.: 4978

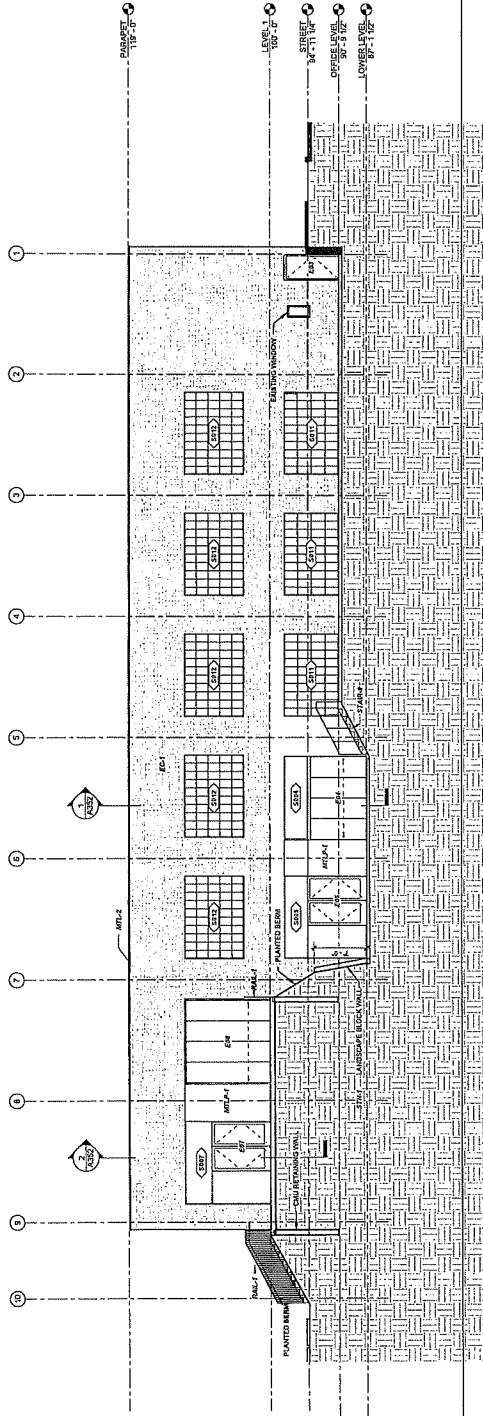
Issue / Revision Schedule
 NO. DESCRIPTION DATE

MINNESOTA PROFESSIONAL ARCHITECTURE, LLC

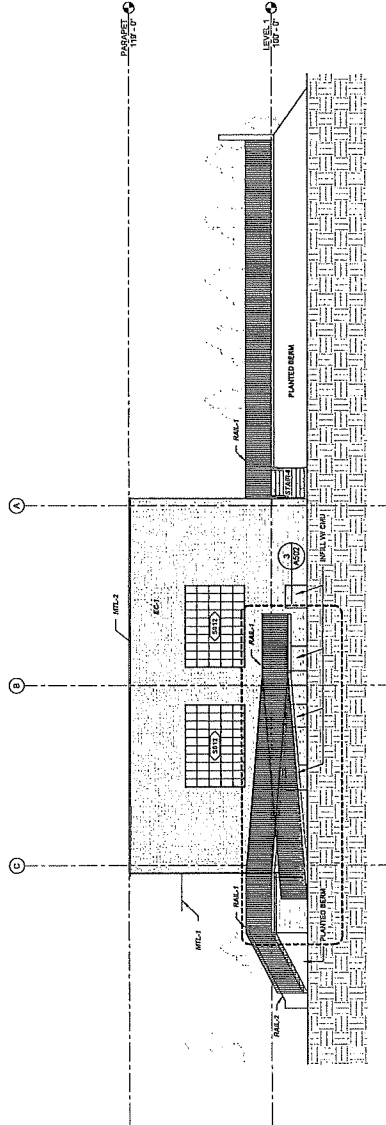
**BUILDING
 ELEVATIONS**

A302

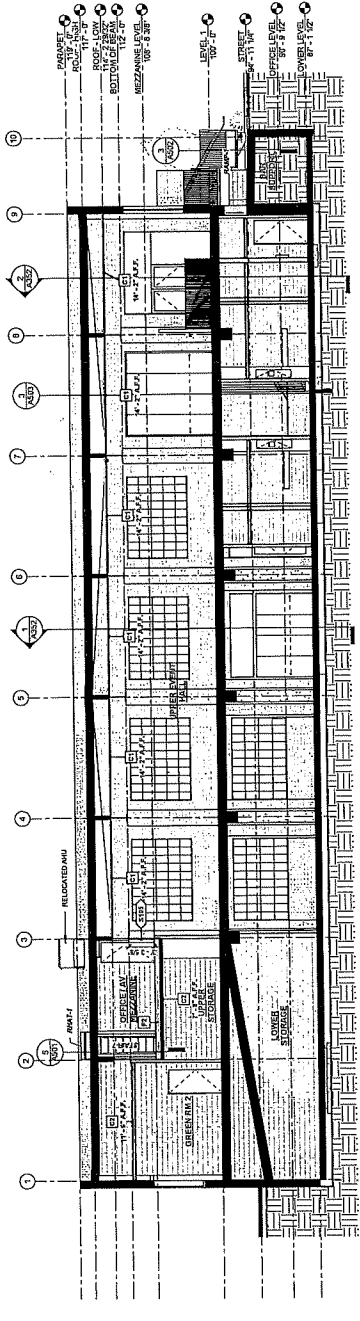
PERMIT SET AS SUBMITTED 01/14



1 NORTH ELEVATION
 A302 1/8" = 1'-0"



2 EAST ELEVATION
 A302 1/8" = 1'-0"



1 BUILDING SECTION - LOUNGE / GREEN ROOM / AV LOFT
 1/8" = 1'-0"

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 direct representation and that I am a duly
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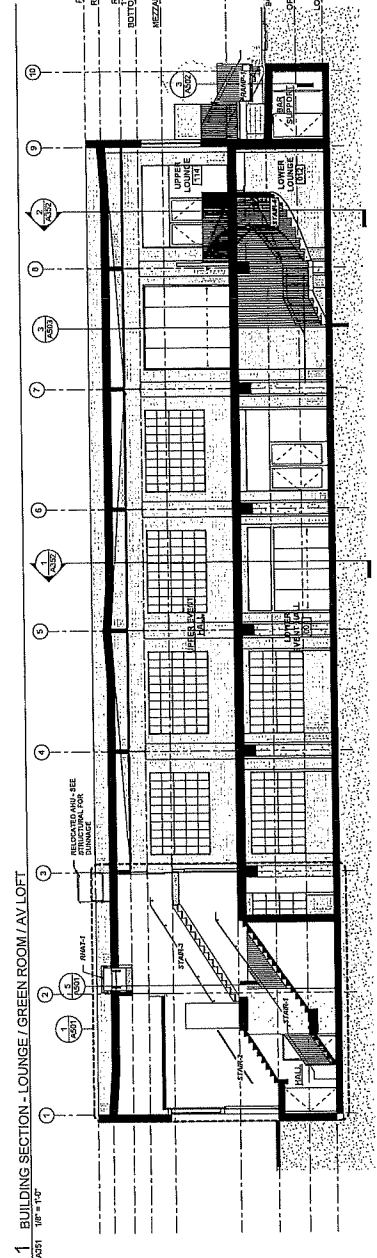
PRINT NAME: Christian Dean, AIA
 SIGNATURE: *[Signature]*
 LICENSE NO.: 447168

Issue / Revision Schedule
 NO. DESCRIPTION DATE

209 SOUTH BRYANT CHRISTIAN DEAN ARCHITECTURE, LLC

**BUILDING SECTIONS
 A351**

PERMIT SET 03 SEPTEMBER 2019



2 BUILDING SECTION - EAST WEST LOOKING NORTH
 1/8" = 1'-0"

160 WABASHA

160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107
 Project No: 2018.02

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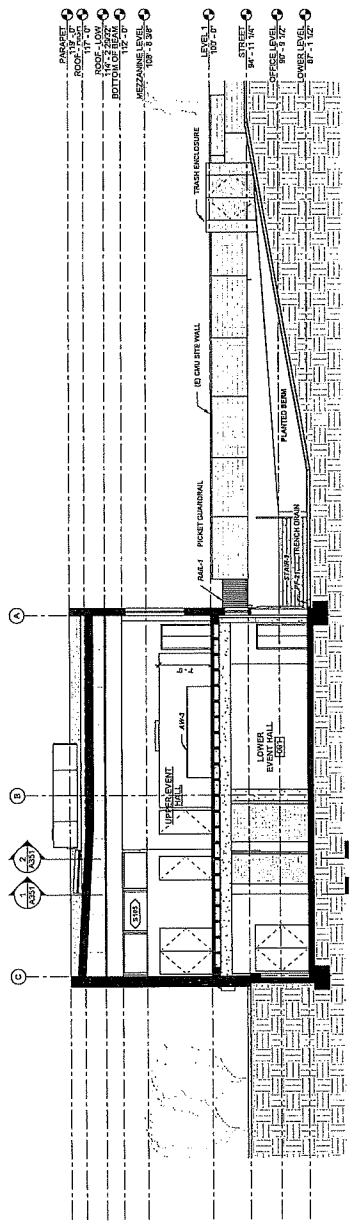
PRINT NAME: Christian Dean, MA
 SIGNATURE: 
 LICENSE NO: 44768

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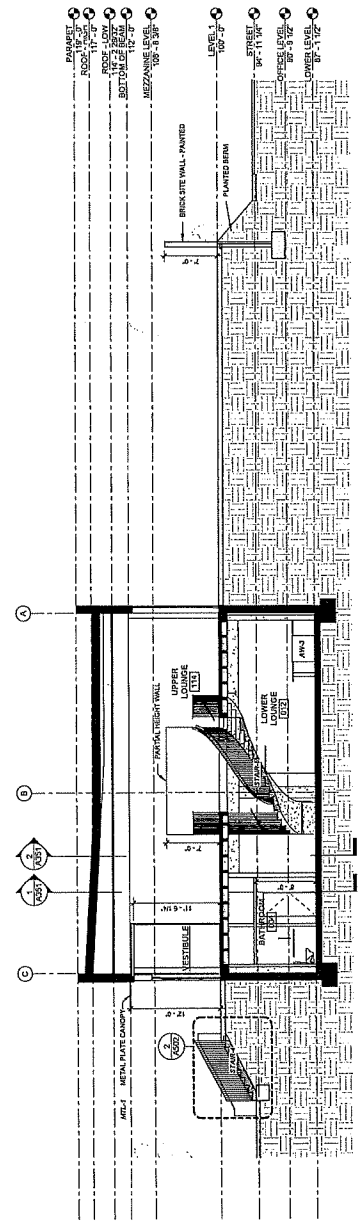
2018 CONTRACTOR: 160 WABASHA STREET SOUTH, LLC

BUILDING SECTIONS
A352

PERMIT SET 09 SEPTEMBER 2018



1 BUILDING SECTION - SOUTH NORTH LOOKING WEST
 ASS: 18" = 1'-0"




2 BUILDING SECTION - SOUTH NORTH LOOKING WEST
 ASS: 18" = 1'-0"

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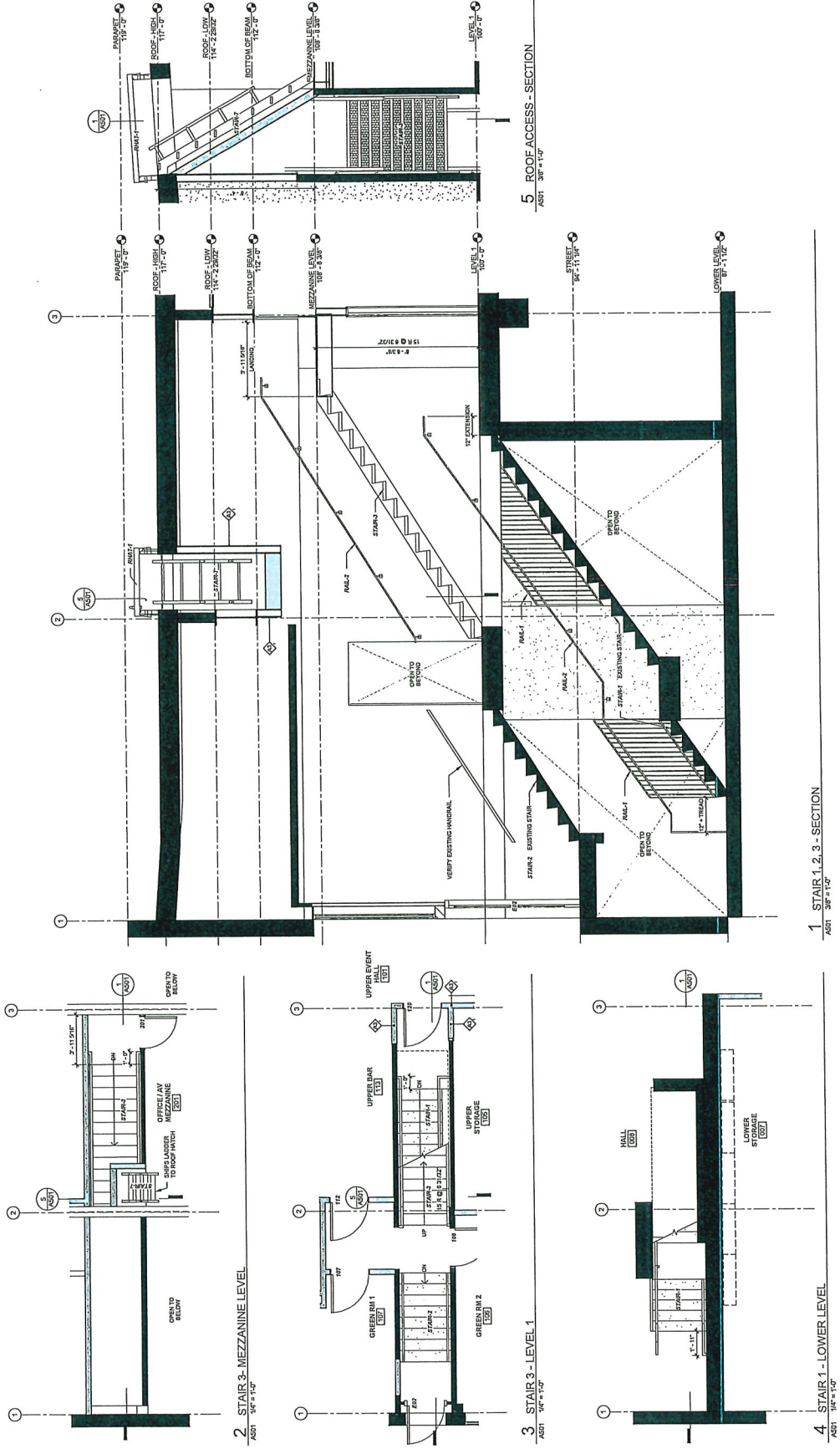
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 PRINT NAME: Christian Dean, AIA
 SIGNATURE: 
 LICENSE NO.: 44789

Issue / Revision Schedule
 NO. DESCRIPTION DATE

2018 COPYRIGHT CHRISTIAN DEAN ARCHITECTURE, LLC
VERTICAL CIRCULATION - STAIR-3 & STAIR-7
A501

PERMIT SET 03 SEPTEMBER 2019



160 WABASHA

Project No: 2018.02
 SAINT PAUL, MN 55107

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 approval, of these drawings is in my
 direct supervision and that I am a duly
 Licensed Architect under the laws of the
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 SIGNATURE: *[Signature]*
 LICENSE NO.: 10785

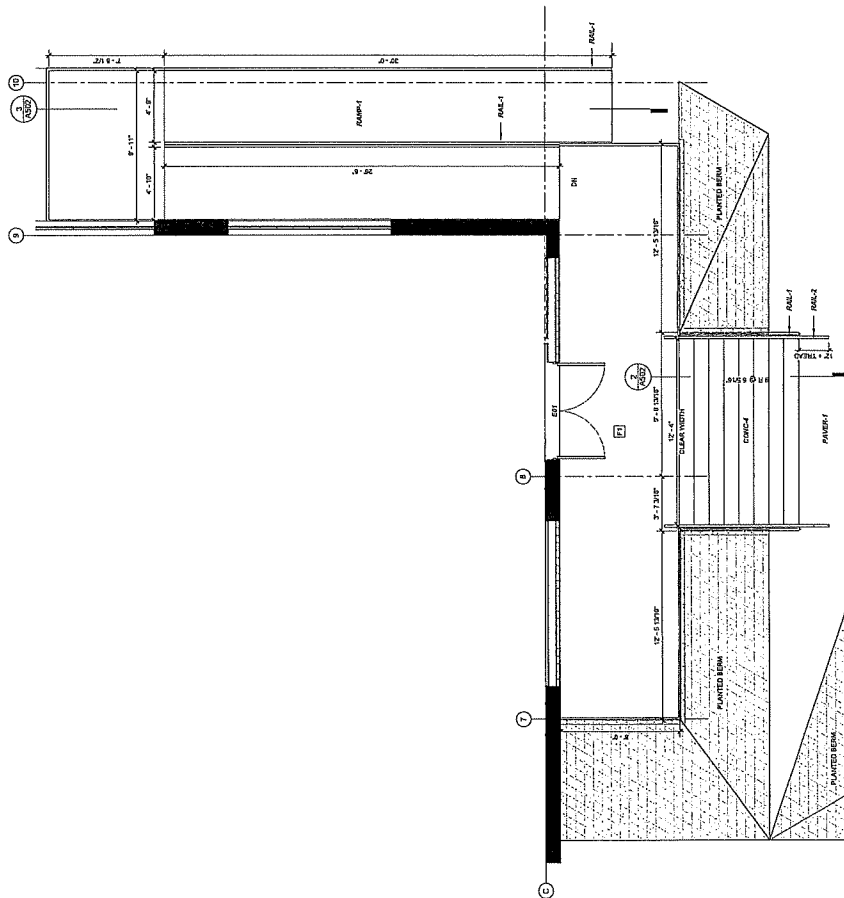
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310 CONVICTION OBSERVATION ARCHITECTURAL, LLC

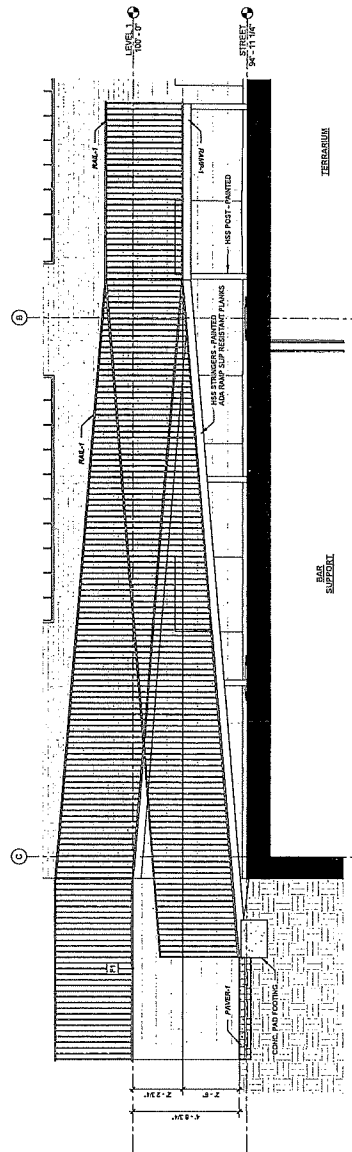
**VERTICAL
 CIRCULATION -
 STAIR-4 & RAMP-1**

A502

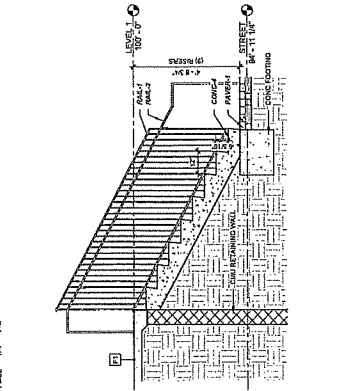
DEDUCT SET 03 SEPTEMBER 2018



1 STAIR-4 PLAN
 ASS2 1/8" = 1'-0"



3 RAMP-1 - SECTION
 ASS2 3/8" = 1'-0"



2 STAIR-4 - SECTION
 ASS2 3/8" = 1'-0"

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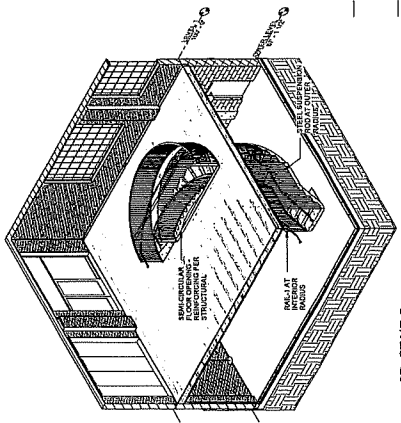
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SIGNATURE: *[Signature]*
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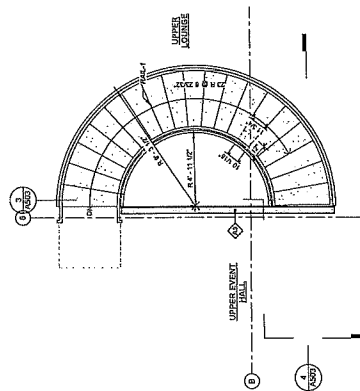
2018 DEPARTMENT OF TRANSPORTATION ARCHITECTURE, LLC
**VERTICAL
 CIRCULATION -
 STAIR-5**

A503

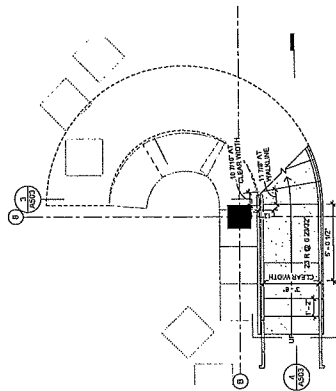
PERMIT SET 03 SEPTEMBER 2019



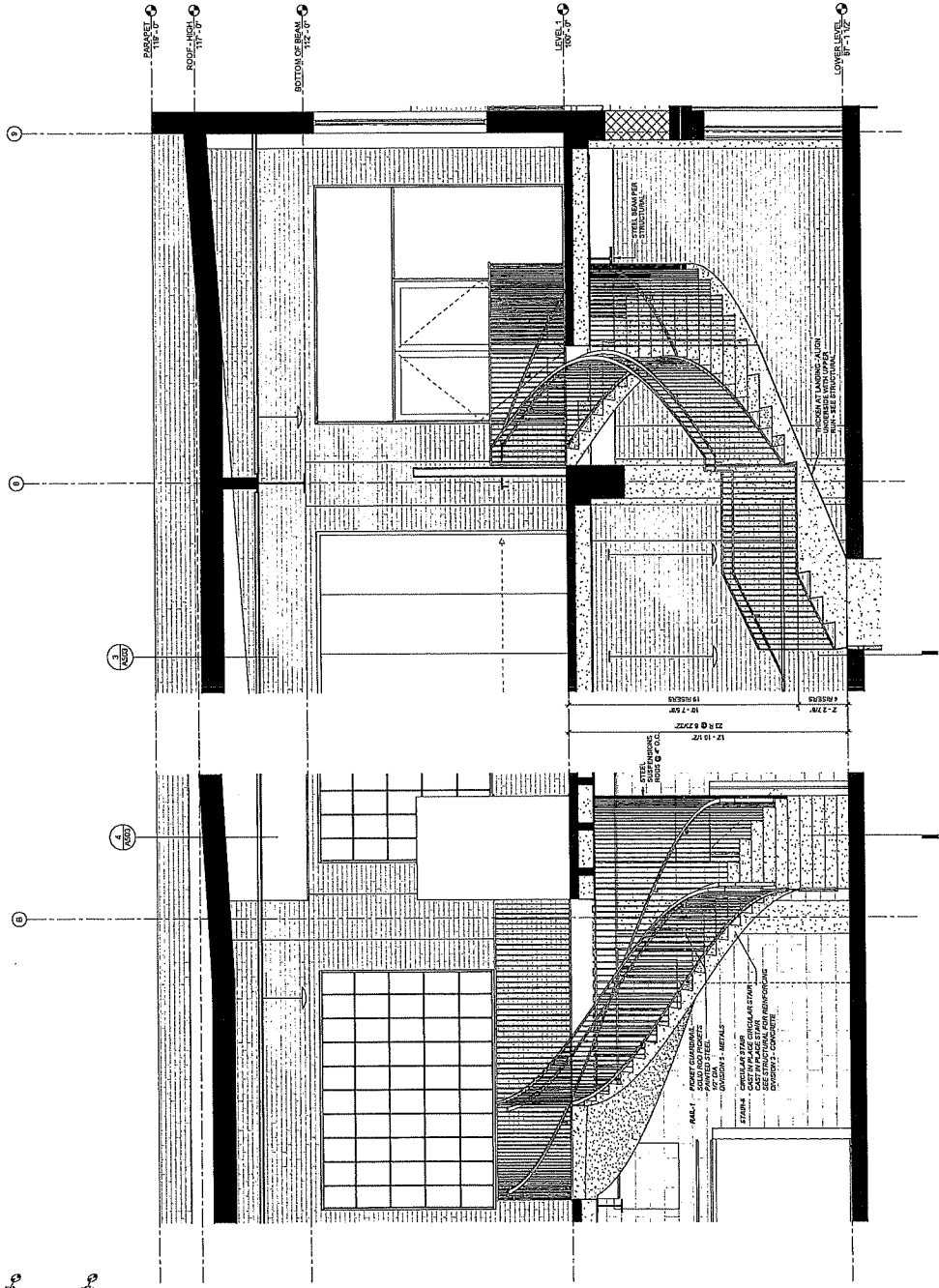
3D- STAIR 5



1 STAIR-5 - LEVEL 1
 A503 1/4" = 1'-0"



2 STAIR-5 - LOWER LEVEL
 A503 1/4" = 1'-0"



4 STAIR-5 - SECTION 2
 A503 3/8" = 1'-0"

3 STAIR-5 - SECTION 1
 A503 3/8" = 1'-0"

160 WABASHA
 Project No: 2018.02
 160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107

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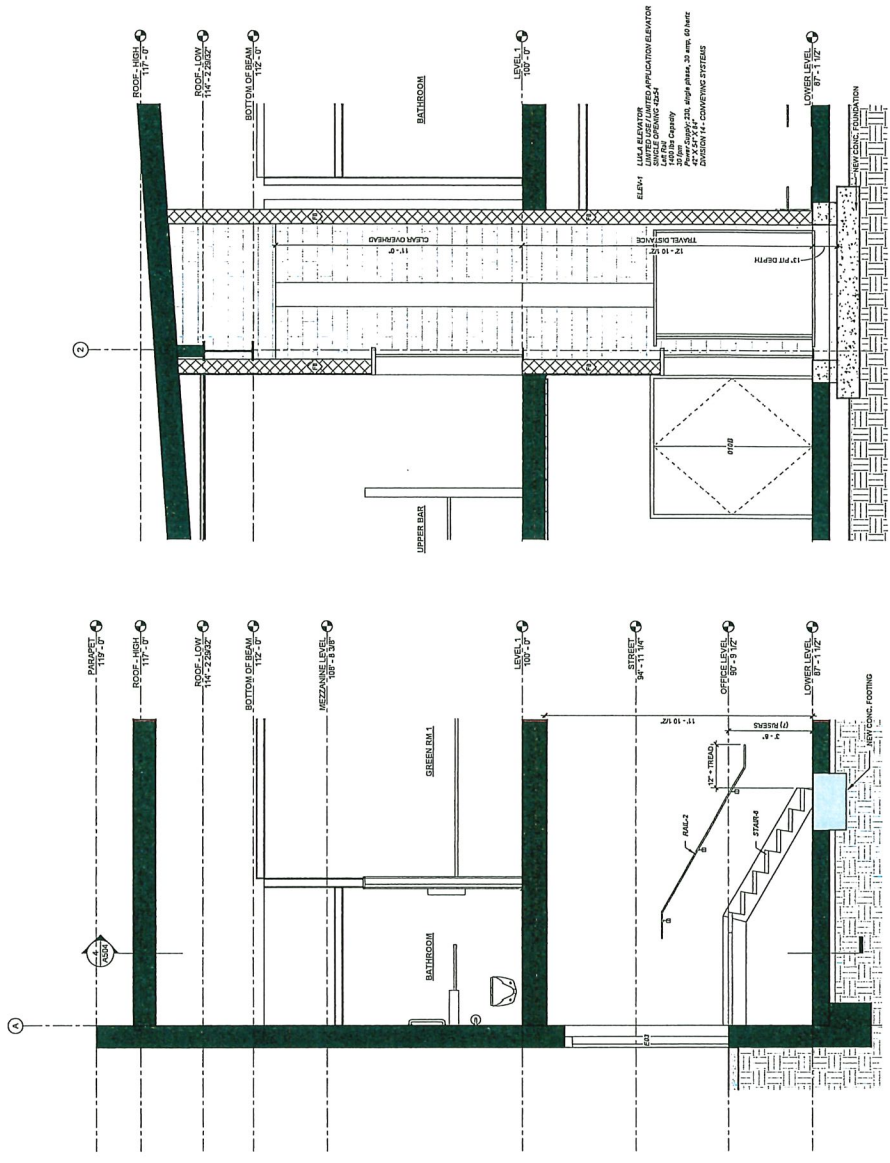
PRINT NAME: Christian Dean, AIA
 SIGNATURE: 
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2018 CHRISTIAN DEAN ARCHITECTURE, LLC
**VERTICAL
 CIRCULATION - ELEV-1
 & STAIR-6**

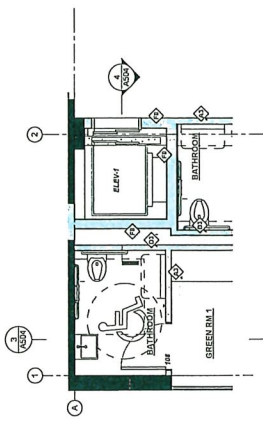
A504

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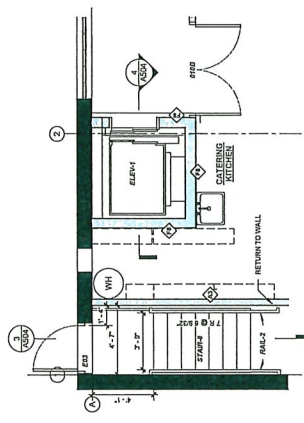


4 ELEV-1 - SECTION
 ASBK 3/8" = 1'-0"

3 STAIR-6 - SECTION
 ASBK 3/8" = 1'-0"



1 ELEV-1 - LEVEL 1
 ASBK 1/8" = 1'-0"



2 ELEV-1 - LOWER LEVEL
 ASBK 1/8" = 1'-0"

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PRINT NAME: Christian Dean, AIA
 SIGNATURE: [Signature]
 LICENSE NO.: 47878

Issue / Revision Schedule
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318 SOUTH CHRISTIAN DEAN ARCHITECTURE, LLC

**SPECIAL AREAS -
 RESTROOMS**

A550

PERMIT SET 03 SEPTEMBER 2019

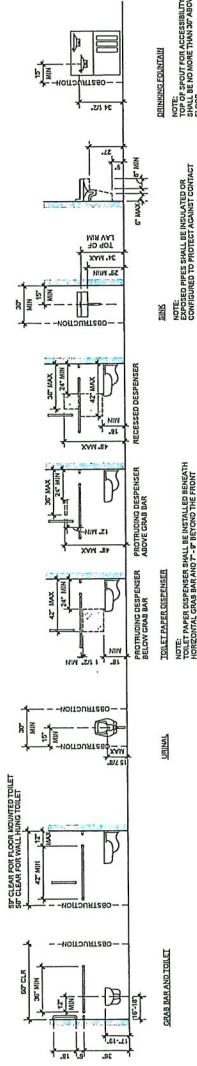
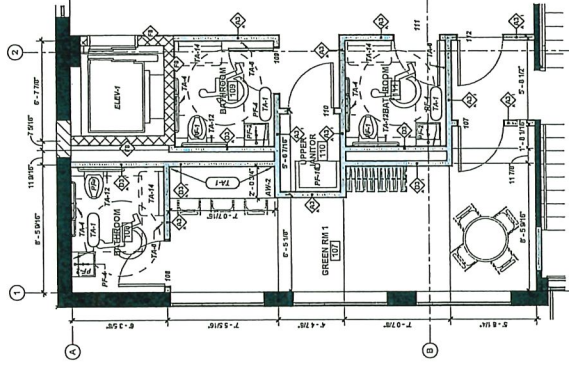
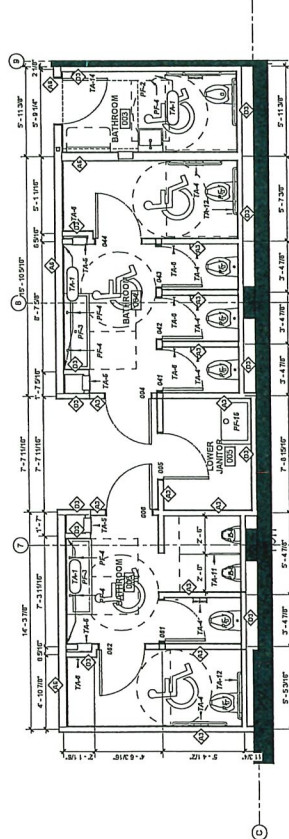


FIGURE MOUNTING HEIGHTS
 1/8" = 1'-0"

REQUIRED PLUMBING FIXTURES									
OCCUPANCY	OCCUPANT LOAD	WATER FIXTURES		WATER FIXTURES		WATER FIXTURES		WATER FIXTURES	
		MALE	FEMALE	MALE	FEMALE	MALE	FEMALE	MALE	FEMALE
212 LEVEL	229	2/27	2/27	0/0	0/0	0/0	0/0	0/0	0/0
213 LEVEL	296	3/31	3/31	1/31	1/31	0/0	0/0	0/0	0/0
MEZZANINE LEVEL	444	0/0	0/0	0/0	0/0	1/22	1/22	0/0	0/0
TOTAL	755	5/57	5/57	2/15	2/15	0/0	0/0	0/0	0/0



2 LEVEL 1 - BATHROOMS
 1/8" = 1'-0"



1 LOWER - BATHROOMS
 1/8" = 1'-0"

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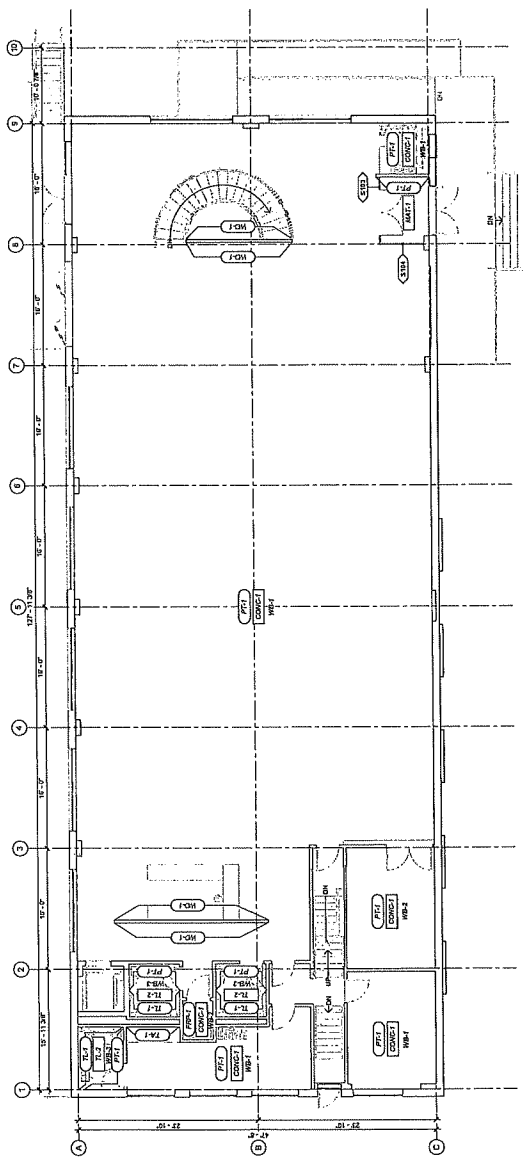
I hereby certify that I am a duly licensed Professional Engineer in the State of Minnesota.
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 LICENSE NO.: 44769

Issue / Revision Schedule
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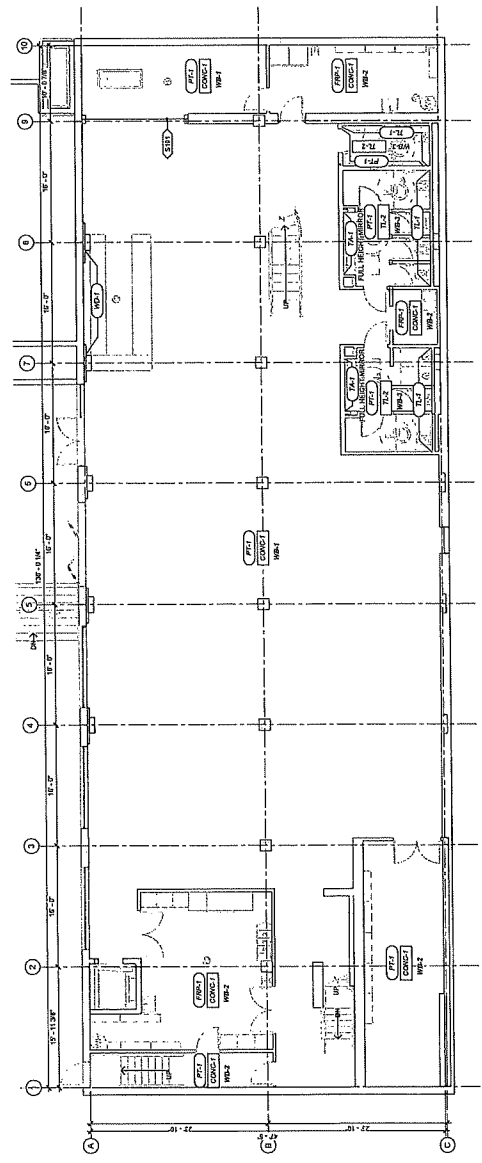
218 SOUTHFRONT CHRISTIAN DEAN ARCHITECTURE, LLC

**FINISH PLANS
 A801**

PERMIT SET 03 SEPTEMBER 2019



1 LEVEL 1 FINISH PLAN
 A801, 1/8" = 1'-0"



2 LOWER FINISH PLAN
 A801, 1/8" = 1'-0"

FINISH PLAN KEY

- WALL
- FLOOR
- BASE

FINISH NOTES

1. SEE ARCHITECTURAL GENERAL PROJECT NOTES FOR KEY TO FINISH CODES.
2. COORDINATE EXTENT OF FLOOR AND WALL FINISHES WITH MILLWORK DRAWINGS.
3. SEE SHEETS A801 FOR TOILET ROOM ELEVATIONS SHOWING WALL TILE PATTERNS & PAINT LOCATIONS ABOVE.
4. ALL GYM CEILINGS TO BE PAINTED P11 U/LAL.
5. NO WALL BASE AT EXISTING MASONRY WALLS.
6. ALL EXISTING WALLS TO BE P11 U/LAL.

PLAN GENERAL NOTES

1. LEVEL 1 FINISHED FLOOR ELEVATION 100'-4" - EXCEPTS SURVEY MARKER ELEVATION 114.1
2. VERIFY ALL DIMENSIONS
3. CHECK TO DETERMINE IF EXISTING COLUMN/SWAPS & INTERIOR FACE OF EXISTING MASONRY WALLS AT LEVEL 1
4. CHECK TO DETERMINE IF EXISTING TYPICAL PAINT FROM STRUCTURAL FACE OF EXISTING WALLS TO DETERMINE IF INTERIOR OR EXTERIOR
5. REFER TO ARCHITECTURAL GENERAL PROJECT NOTES AND SPECIFICATIONS FOR ALL FINISH REQUIREMENTS, SEE SHEETS A801 FOR TOILET ROOM ELEVATIONS SHOWING WALL TILE PATTERNS & PAINT LOCATIONS ABOVE.
6. FINISH AT 4'-0" ABOVE GROUND LEVEL.

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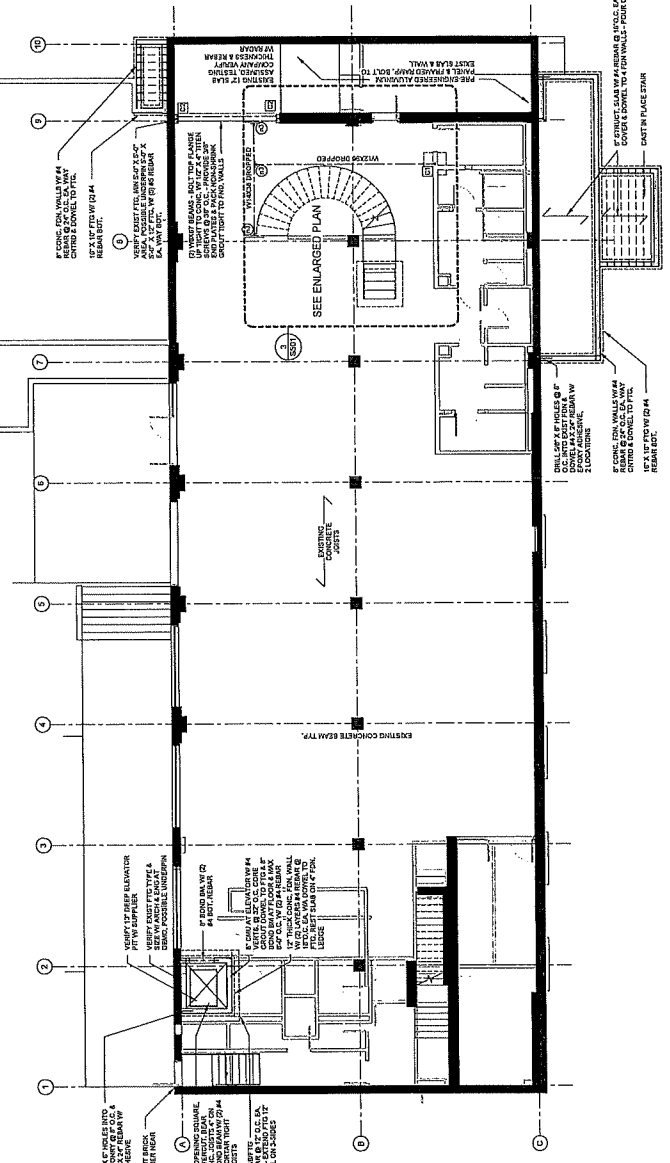
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.
 PRINT NAME: Christian Dean, AIA
 SIGNATURE: [Signature]
 LICENSE NO.: 46788

Issue / Revision Schedule
 NO. DESCRIPTION
 DATE

218 COPYRIGHT CHRISTIAN DEAN ARCHITECTURE, LLC
**MAIN LEVEL FLOOR
 FRAMING /
 FOUNDATION PLAN**
S201

PERMIT SET 03 SEPTEMBER 2019

CONCRETE FLOOR FINISHES
 SHALL BE AS SHOWN ON SHEET S201.
 ALL FINISHES SHALL BE IN ACCORDANCE
 WITH THE 2015 IBC AND ALL APPLICABLE
 CODES AND REGULATIONS.
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 WITH THE 2015 IBC AND ALL APPLICABLE
 CODES AND REGULATIONS.



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 Eric Bunke
 Date: 03/27/19 Reg. No. 46788

- STRUCTURAL LEGEND**
- ① COMPLETE FRAMING ONLY (DO NOT SCALE)
 - ② EXISTING FRAMING (DO NOT SCALE)
 - ③ EXISTING CONCRETE (DO NOT SCALE)
 - ④ EXISTING WALLS (DO NOT SCALE)
 - ⑤ EXISTING FLOOR FINISHES (DO NOT SCALE)
 - ⑥ EXISTING CEILING FINISHES (DO NOT SCALE)
 - ⑦ EXISTING ROOF FINISHES (DO NOT SCALE)
 - ⑧ EXISTING EXTERIOR FINISHES (DO NOT SCALE)
 - ⑨ EXISTING INTERIOR FINISHES (DO NOT SCALE)
 - ⑩ EXISTING MECHANICAL FINISHES (DO NOT SCALE)

1 FLOOR FRAMING / FOUNDATION PLAN
 S201 18"x14"

160 WABASHA

160 WABASHA STREET SOUTH
 SAINT PAUL, MN 55107
 Project No.: 2018.02

**CHRISTIAN DEAN
 ARCHITECTURE**

2509 Bryant Ave #204
 Minneapolis, MN 55408
 612.866.2814
 www.cdarch.com

Contact:
 christian@cdarch.com
 612.866.2814

OWNER
 JODY YENISHIN, LLC
 1000 Cabot
 Minneapolis, MN 55408
 Contact

STRUCTURAL

Bunkers & Associates, LLC
 Contact:
 b.unkers@bunkersassociates.com
 612.330.2503

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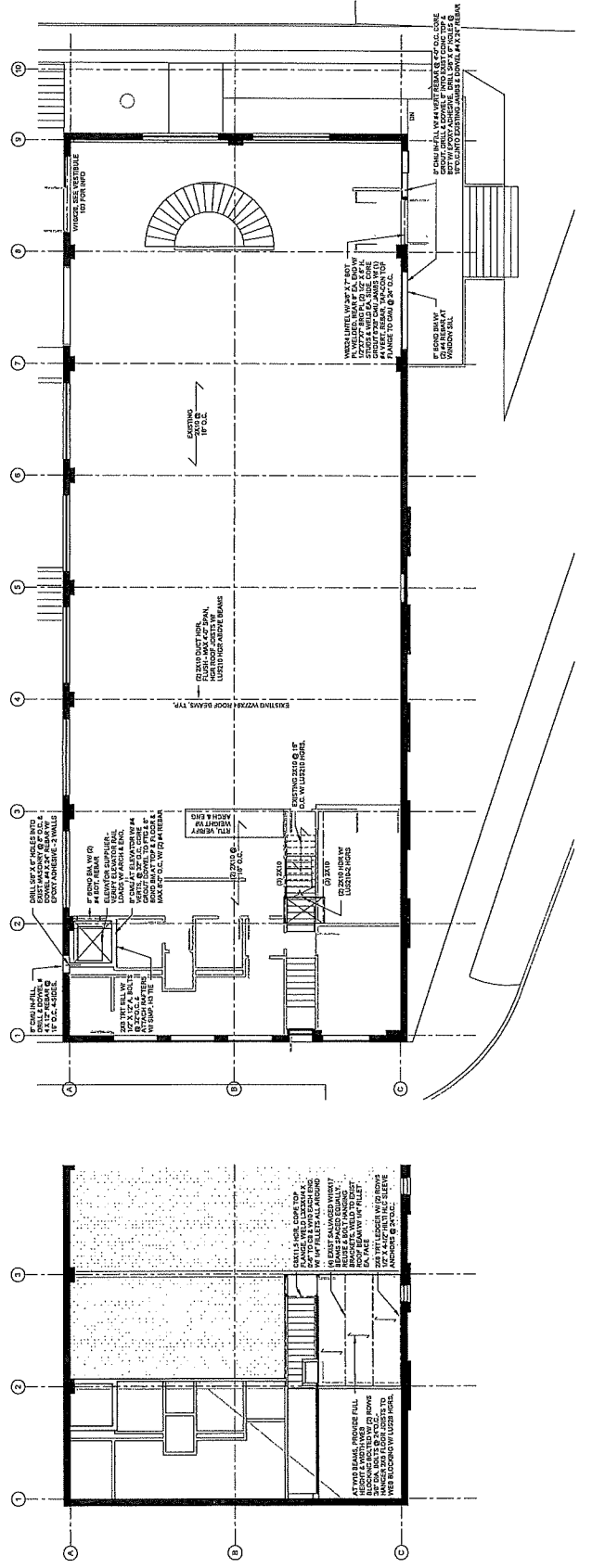
PRINT NAME: Christian Dean, AIA
 SIGNATURE: [Signature]
 LICENSE NO.: 0488

Issue / Revision Schedule
 NO. DESCRIPTION DATE

**ROOF FRAMING PLAN /
 MEZZANINE FLOOR
 FRAMING**

S202

PERMIT SET 09 SEPTEMBER 2018



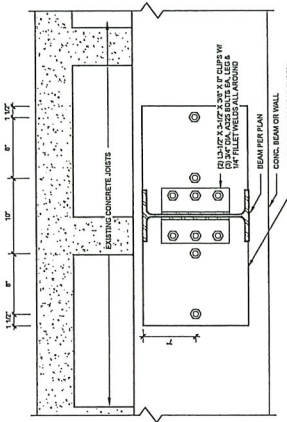
1 ROOF FRAMING PLAN
 S202 1/8" = 1'-0"

2 MEZZANINE LEVEL FRAMING
 S202 1/8" = 1'-0"

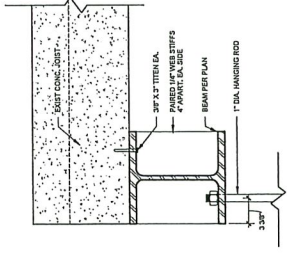
- STRUCTURAL LEGEND**
- ① 2x6 TOP PLANE ONLY, (2) 1x4x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 - ② 2x6 TOP PLANE ONLY, (2) 1x4x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 - ③ 2x6 TOP PLANE ONLY, (2) 1x4x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 - ④ 2x6 TOP PLANE ONLY, (2) 1x4x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8
 2x12x8 2x12x8 2x12x8 2x12x8 2x12x8

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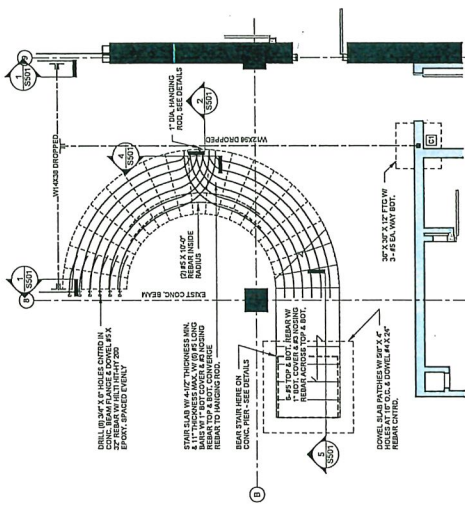
[Signature]
 Dan L. Bunker
 Dec. 13, 2018 Reg. No. 3259



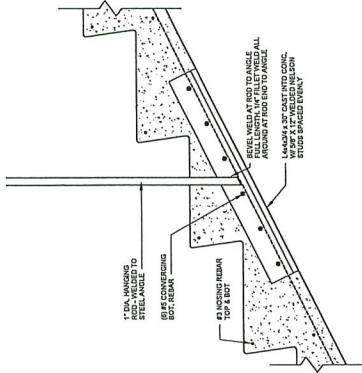
1 STRUCTURAL DETAIL 1
S501 1 1/2" = 1'-0"



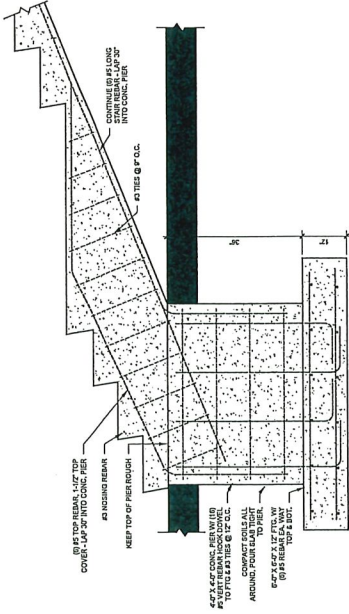
2 STRUCTURAL DETAIL 2
S501 1 1/2" = 1'-0"



3 STAIR-5 PLAN
S501 1/4" = 1'-0"



4 STRUCTURAL DETAIL 3
S501 1 1/2" = 1'-0"



5 STRUCTURAL DETAIL 4
S501 3/4" = 1'-0"

CHRISTIAN DEAN ARCHITECTURE

2909 Bryant Ave #304
Minneapolis, MN 55408
www.cdnaarch.com

Contact:
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cdna@cdnaarch.com
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OWNER:
4901 MTHs, LLC
4023 East Lake Street
Minneapolis, MN 55405

Contact

STRUCTURAL

Bunkers & Associates, LLC
1300 Hennepin Avenue
Minneapolis, MN 55402
612.339.2833
www.bunkersandassociates.com

Contractor:
Eric Bunkers, P.E.
1300 Hennepin Avenue
Minneapolis, MN 55402
612.339.2833

PRINT NAME: Christian Dean, AIA
SIGNATURE: [Signature]
LICENSE NO.: 44788

Issue / Revision Schedule
NO. DESCRIPTION DATE

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.
Eric B. Bunkers
Date: 8-23-18 Rev. No: 2630

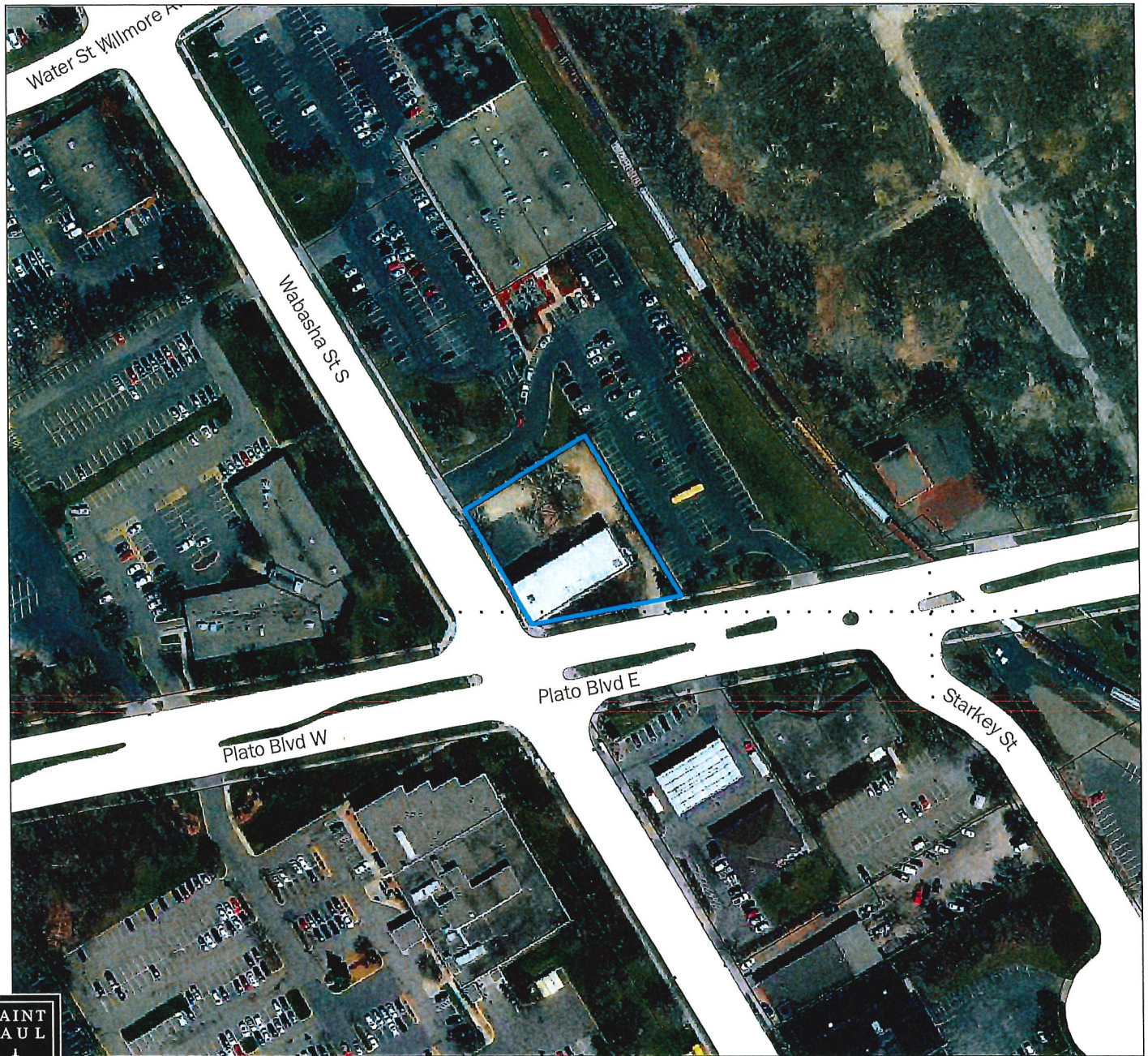
STRUCTURAL LEGEND

- ⊙ CORE TOP RANGE ONLY: 10' CLEAR SLAB, 2" X 12" OF CURB W/ 2" DIA. WALL BOLTS, 4" DIA. 6" SPACED REBAR, 1" DIA. 8" SPACED REBAR AT END TO ANGLE
- ⊕ PLATE: 3" X 12" X 1/4" W/ 2" DIA. WALL BOLTS
- ⊗ 4" TIEBARS
- ⊞ 4" TIEBARS
- ⊞ PLATE W/ 10" SP. 4" TIEBARS TO TIE

ENLARGED STAIR PLAN

S501

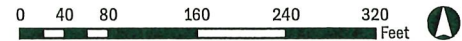
PERMIT SET 03 SEPTEMBER 2019



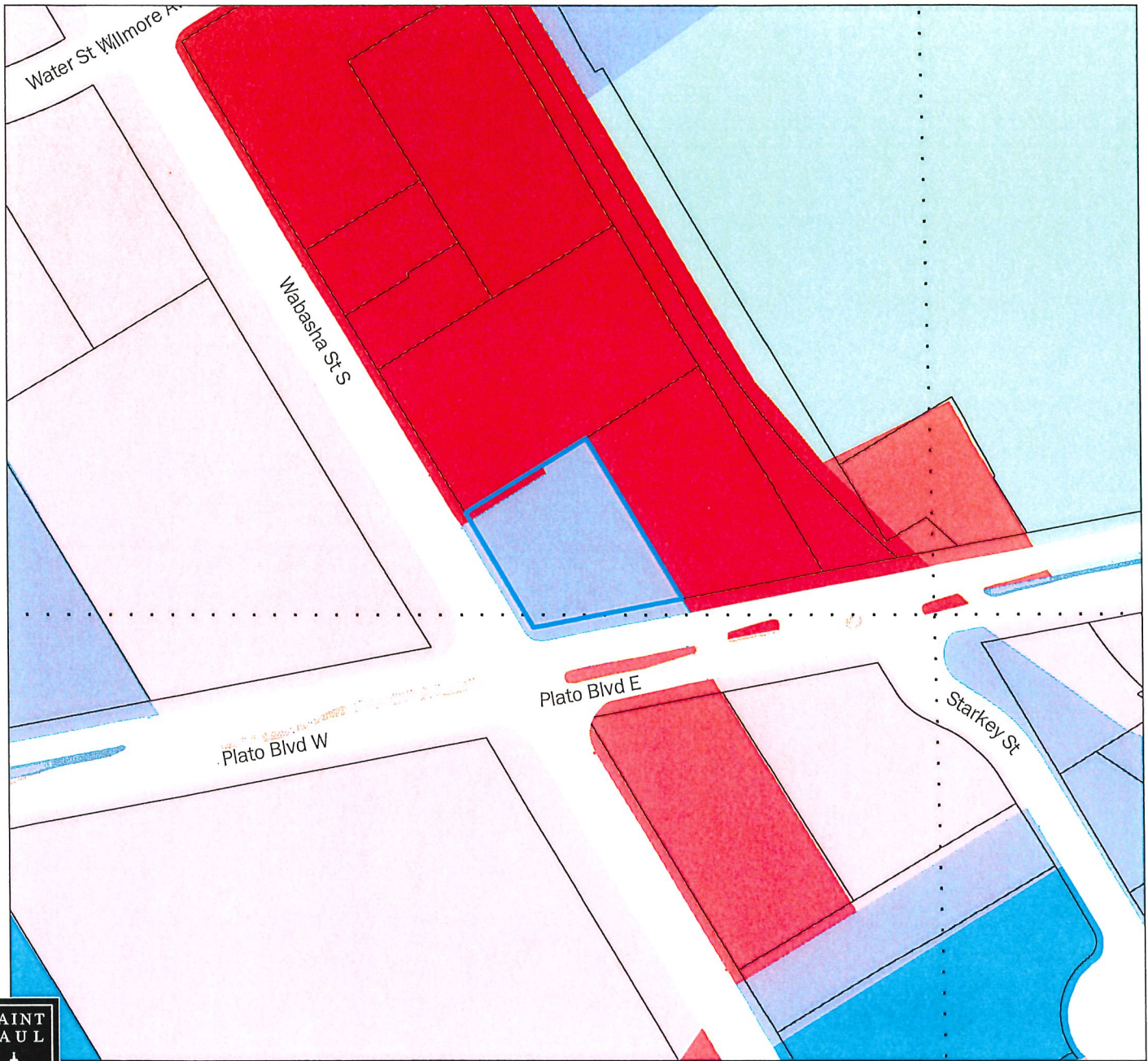
FILE #19-084455 Aerial
Application of Wabasha Partners LLC

Application Type: CUP w/Variance
Application Date: Sept. 12, 2019
Planning District: 3

Subject Parcel(s) Outlined in Blue



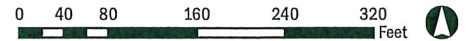
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FILE #19-084455 Existing Land Use

Application of Wabasha Partners LLC

Application Type: CUP w/Variance
 Application Date: Sept. 12, 2019
 Planning District: 3



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Subject Parcel(s) Outlined in Blue

- | | | | |
|---------------------------|--------------------------------|--------------------------------|--------------|
| Farmstead | Office | Extractive | Airport |
| Seasonal/Vacation | Retail and Other Commercial | Institutional | Agricultural |
| Single Family Detached | Mixed Use Residential | Park, Recreational or Preserve | Undeveloped |
| Manufactured Housing Park | Mixed Use Industrial | Golf Course | Water |
| Single Family Attached | Mixed Use Commercial and Other | Major Highway | |
| Multifamily | Industrial and Utility | Railway | |



FILE #19-084455 ZONING MAP

Application of Wabasha Partners LLC

Application Type: CUP w/Variance
 Application Date: Sept. 12, 2019
 Planning District: 3



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Subject Parcel(s) Outlined in Blue

RL One-Family Large Lot	RM3 Multiple-Family	BC Community Business (converted)	I3 Restricted Industrial
R1 One-Family	T1 Traditional Neighborhood	B2 Community Business	F1 River Residential
R2 One-Family	T2 Traditional Neighborhood	B3 General Business	F2 Residential Low
R3 One-Family	T3 Traditional Neighborhood	B4 Central Business	F3 Residential Mid
R4 One-Family	T3M T3 with Master Plan	B5 Central Business Service	F4 Residential High
RT1 Two-Family	T4 Traditional Neighborhood	IT Transitional Industrial	F5 Business
RT2 Townhouse	T4M T4 with Master Plan	ITM IT with Master Plan	F6 Gateway
RM1 Multiple-Family	OS Office-Service	I1 Light Industrial	VP Vehicular Parking
RM2 Multiple-Family	B1 Local Business	I2 General Industrial	PD Planned Development
			CA Capitol Area Jurisdiction