

**CITY OF SAINT PAUL
HERITAGE PRESERVATION COMMISSION STAFF REPORT**

FILE NAME: 201-209 Fourth Street East
HISTORIC NAME: Wann Building
DATE OF APPLICATION: April 1, 2020
APPLICANT: Mike Sowers, Commercial Construction Group
OWNER: Commercial Construction Group
PROJECT ARCHITECT: Dan Pollastrini, Pope Architects
DATE OF HPC MEETING: April 20, 2020
HPC SITE/DISTRICT: Historic Lowertown Heritage Preservation District (1984) - RA-SPC-4580
CATEGORY: Contributing
INVENTORY NUMBER: RA-SPC-5224
PERIOD OF SIGNIFICANCE: 1867-1929
NRHP: Lowertown Historic District (1983)
NPS PROJECT NO: 39564
CLASSIFICATION: Master Sign Plan
ZONING: B5 **WARD:**2 **PLANNING DISTRICT:** 17
STAFF INVESTIGATION AND REPORT: Christine Boulware
DATE: April 8, 2020

A. SITE DESCRIPTION

201 Fourth Street East is a three-story brick commercial building constructed c. 1879. 201 Fourth Street is part of a complex of buildings united by a brick façade (c. 1926) being the three-story the western portion of the group and a five-story the eastern portion. Each has brick piers between the bays and industrial sash windows. The rear and non-primary side elevations still display the original cream-colored brick work and segmental arched windows with limestone sills and metal shutter hinges. The alley to the north retains original masonry pavers and leads to what was once a service entrance to the building with an iron beam adorned with rosettes; this entrance has been filled in with brickwork. The building housed the Minnesota Knitting Mills for a number of years and later the Samco Sportswear Company. The original façade and front bay of the buildings were removed when Fourth Street was widened with the construction of the Union Depot. The current façade was designed by Clarence Johnston. The property is categorized as contributing to the character of the Lowertown Historic District.

B. PROPOSED CHANGES

From NPS Amendment #2, Item 5, pages 9-11: *The intent is to install signage in appropriate sign band areas. There are sign band areas above the storefronts at the south elevation (4th Street), but these brick sign bands are not present at the west elevation (Sibley Street). To avoid long, exposed electrical conduit lines for the lighting, individual openings for electrical are proposed for gooseneck lighting.*

West elevation (Sibley Street): There are five bays at the west elevation (Sibley Street). Signs are proposed in four bays at the brick area above the limestone belt course. The north bay of this elevation is the main entrance to the upper residential uses (310 Lofts) and will have peg-mounted letters that read "340 Sibley Lofts." The remaining four bays are associated with individual live/work residential units. Three of these bays will have railway mounted track signs in the sign bands recognized the live-work tenants. There will be 5 gooseneck lights installed at this elevation to light the signs. (See A3.0b) Signs are cut metal. Installation is proposed at the mortar joints and will not damage historic masonry.

South elevation (4th Street): There are three bays at the south elevation (4th Street). The brick sign band is located below the beltcourse at this elevation and signs are proposed at this location. There are two signs proposed for the west bay; one will indicate the ground floor tenant and one will indicate the basement tenant and will be located above the entrance at this bay which leads to the basement. These two signs will be on railway mounted tracks. The central bay will have one sign and the east bay will have one sign; these two signs will be peg-mounted letters. Each of these signs will have two, gooseneck lights; six lights in total at this elevation. Signs are cut metal. Installation is proposed at the mortar joints and will not damage historic masonry.

A projecting blade sign is proposed at the corner. The sign will be approximately 9" wide by 5' tall feet and will be 16 feet from the sidewalk. The sign will read "340 Sibley Lofts" and will be constructed in cut metal with gooseneck light. Installation is proposed at the mortar joints and will not damage historic masonry

The signage proposed in this Master Plan appears to be compatible with the character of the Historic Lowertown Heritage Preservation District and the Wann Building.

- Signage will generally follow historic precedent and be located at historic locations (see historic photographs in the attachments).
- Signage will not disfigure or conceal architectural details.
- Signage materials will be compatible with and compliment the materials of the Wann Building.
- Signage will typically be attached through mortar joints as much as possible without damaging the masonry at the facades.
- Projecting signage will not directly abut the masonry facades.

C. BACKGROUND

The Master Sign Plan was developed in response to the Saint Paul Heritage Preservation Commission's review of 201 Fourth Street East (file number #19-012) on April 8, 2019. The HPC approved File #19-012 with conditions, including condition 3, "Complete and detailed plans for both signage, materials, anchors, and illumination shall be submitted in a Master Sign Plan for review by the HPC. Documentation of historic signage shows blade and wall signs at the site, but the size of the proposed blade signs is not documented and should be scaled-down for submittal with the master sign plan application."

This Master Sign Plan addresses signage types, locations, sizes, materials, installation, and illumination.

The overall rehabilitation project is pursuing state and federal historic tax credits. See Amendment #2 in the package for additional background and details about the project.

During the period of significance for the Lowertown Heritage Preservation District, signage at the Wann Building included:

- Storefront, south and west facades: A sign band was located between the first and second building levels.
- Southwest building corner: A projecting sign was located above the first third of the southwest corner of the building.

D. STAFF COMMENTS

The proposed signage generally follows historic precedent as demonstrated in historic photographs taken before and after the 1926 renovations and within the period of significance for the heritage preservation district.

E. STANDARDS & GUIDELINES

Lowertown Heritage Preservation District Design Guidelines - Legislative Code Sec. 74-112

Standards & Guidelines	Meets Guideline?	Staff Comments
<i>SOI 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.</i>	Yes	The proposed sign plan retains the historic character of the building and will not result in the removal of historic materials and/or features of the property.
<i>SOI 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.</i>	Yes	The proposed master sign plan does not create a false sense of place or historic development. The sign placement shown in the plan is based on signage shown in historic photographs taken during the period of significance.
<i>Sec. 74-112.II.a. General Principle. All work should be of a character and quality that maintain the distinguishing features of the building</i>	Yes	The proposed sign plan retains the historic character of the building and will not result in the removal of

<i>and the environment. The removal of architectural features is not permitted.</i>		historic materials and/or features of the property.
<p>Sec. 74-112.II.b. General Principle. <i>Deteriorated architectural features such as cornices, chimneys and roof treatment, window and door openings, and exterior surface treatment should be repaired rather than replaced whenever possible. In the event of replacement, new materials should match the original in composition, design, color, texture and appearance. Duplication of the original design based on physical or pictorial evidence is preferable to using conjectural or "period" designs or using part of other buildings.</i></p>	Yes	<p>Historic signage is not extant. Historic sign hardware is extant at the southwest corner of the building. Proposed sign locations are generally based on historic, pictorial evidence. Signage materials like aluminum and vinyl do not duplicate the original materials composition, but do replicate historic signage design, color, and appearance.</p>
<p>Sec. 74-112.II.A.c. Masonry and walls. Repointing: <i>Repointing should only be done on those mortar joints where there is evidence of moisture problems or when sufficient mortar is missing to allow water to stand on the mortar joint. Using pneumatic hammers to move mortar can seriously damage the adjacent brick. Vertical joints should be hand chiseled. When repointing, it is important to use the same materials as the existing mortar. This includes matching the color, texture, coefficients of expansion and contraction, and ingredient ratio of the original mortar mix, creating a bond similar to the original. A professional mortar analysis can give this information. Repointing with Portland cement mortar may create a bond stronger than is appropriate for the building materials, possibly resulting in cracking or other damage. Old mortar should be duplicated in joint size,</i></p>	Yes	<p>Signage is proposed to be attached to the building through mortar joints as much as possible.</p> <p>If the installation and anchoring of signage requires any repointing or brick replacement, a scope-of-work and masonry/mortar specifications will need to be submitted to HPC staff for review and approval.</p>

<i>method of applications and joint profile.</i>		
Sec. 74-112.III. Signs and accessories. <i>Signs should be compatible with the character of the District, and blend with the character of the structures on or near which they are placed. Signs should not conceal architectural detail, clutter or detract from the intended facade; but rather complement the overall design of the building and the period in which it was built.</i>	Yes	The proposed master sign plan generally compliments the historic character of the building and district. The sign placement shown in the plan is based on signage shown in historic photographs taken during the period of significance. The proposed signage types, sizes, and locations will not conceal architectural detail, clutter or detract from the façades.
Sec. 74-112.III.D. Lighting. <i>Location of exterior lights should be appropriate to the structure. Signs should generally be lit from on the site. There should be no flashing, blinking, moving, or varying intensity lighting. Subdued lighting is preferred. Backlit fluorescent or exposed neon are generally inappropriate.</i>	Yes	The wall signs and blade sign are proposed to be illuminated by adjacent gooseneck lighting fixtures that have a dark finish. This proposal complies with the lighting guideline.

F. FINDINGS

1. On March 22, 1984, the Historic Lowertown Heritage Preservation District was established under Ordinance No. 17120, § 2. The Heritage Preservation Commission shall protect the architectural character of heritage preservation sites through review and approval or denial of applications for city permits for exterior work within designated heritage preservation sites §73.04.(4).
2. The property at 201-209 Fourth Street East is categorized as contributing to the character of the Historic Lowertown Heritage Preservation District.
3. **Sec. 74-112.II.a. General Principle.** The proposed sign plan retains the historic character of the building and will not result in the removal of historic materials and/or features of the property.
4. **Sec. 74-112.II.b. General Principle.** Historic signage is not extant. Historic sign hardware is extant at the southwest corner of the building. Proposed sign locations are generally based on historic, pictorial evidence. Signage materials like aluminum and vinyl do not duplicate the original materials composition, but do replicate historic signage design, color, and appearance.
5. **Sec. 74-112.II.A.c. Masonry and walls.** Signage is proposed to be attached to the building through mortar joints as much as possible. If the installation and anchoring of signage requires any repointing or brick replacement, a scope-of-work and

masonry/mortar specifications will need to be submitted to HPC staff for review and approval.

6. **Sec. 74-112.III. Signs and accessories.** The proposed master sign plan generally compliments the historic character of the building and district. The sign placement shown in the plan is based on signage shown in historic photographs taken during the period of significance.
7. **Sec. 74-112.III.D. Lighting.** The wall signs and blade sign are proposed to be illuminated by adjacent gooseneck lighting fixtures that have a dark finish. This proposal complies with the lighting guideline.
8. The proposed master sign plan for 201-209 Fourth Street East will not adversely affect the Program for Preservation and the architectural control of the Historic Lowertown Heritage Preservation District (Leg. Code §73.06 (e)) so long as the conditions are met.

G. STAFF RECOMMENDATIONS

Based on the findings, staff recommends approval of the master sign plan for the Wann Building at 201-209 Fourth Street East with the following conditions:

1. All exterior metals shall have a dark or painted finish.
2. Attachments to the building shall be through mortar joints as much as possible.
3. The signage in the storefront sign band shall not extend above nor below the sign band.
4. Individual tenant and building signs will need to be reviewed and approved by HPC staff.
5. The HPC stamped approved plans shall remain on site for the duration of the project. If an updated set of plans is submitted for City permits, HPC staff shall receive a full set for final review to determine compliance with the HPC decision and conditions.
6. Any revisions to approved plans shall be re-reviewed and approved by the HPC staff. If revisions are significant, new plans may need to be drafted and submitted for final review and approval.
7. Items not listed in project scope have not been reviewed. Any changes or additions require further review.
8. This approval is VOID if the approved plans are altered from the Heritage Preservation approved plans.
9. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with submitted plans at the responsibility of the applicant. Inaccuracies or differences should be reported to HPC staff prior to commencement.
10. Work shall be accomplished in accordance with all applicable zoning regulations and building codes, and/or Board of Zoning Appeals decisions. This authorization does not constitute or recommend a hardship for purposes of zoning review.
11. Further permits and approvals may be required. This approval signifies review and issuance based on Heritage Preservation regulations and guidelines. No other city, state, or federal review and approval should be assumed or implied by this approval.

H. SUGGESTION MOTION

I move to conditionally approve the master sign plan for 201-209 Fourth Street East as per the findings of fact, presented testimony, submitted documentation and information provided in the staff report with the eleven conditions.

MOTION CHANGE

If the HPC decides to change the motion, then findings 3-8 and condition 1-3 may need revision.

I. ATTACHMENTS

1. HPC Design Review Application
2. Master Sign Plans
3. NPS Amendment #2
4. Signage Spec Sheets



HERITAGE PRESERVATION APPLICATION

Department of Planning and Economic Development
Heritage Preservation Section
1400 City Hall Annex, 25 West Fourth Street
Saint Paul, MN 55102-1634
applyHPC@stpaul.gov or (651) 266-9078

APPLICANT

Name Commercial Investors Group - Mike Sowers Email mike@commercialinvestors group.com
(Staff will communicate via email unless otherwise noted)
Address 3340 Annapolis Lane
City Plymouth State MN Zip 55447 Daytime Phone (612) 598-0780
Name of Owner (if different) _____

PROPERTY INFO

Address/Location 201 4th Street East St. Paul, MN 55101
Property type:
☐ Single Family Residential Home or Duplex ☒ Commercial, Multi-Unit or Mixed Use
☐ Industrial ☐ Civic (School, Church, Institution)
☐ Other _____

PROPOSAL

☐ New Construction or Addition ☒ Sign
☐ Demolition ☐ Site Improvements
☐ Renovation, Repair or Alteration
☐ Other _____

SUPPORTING INFORMATION: Please complete the application with as much detail as possible. Attach additional sheets if necessary. See Saint Paul Legislative Code Chapter 74 for district guidelines.

This application for design review is for the "**Master Signage Plan**" for this previously submitted project. Attached is a list of the attached documents:

1. **Amendment #2 Description of Rehabilitation**, Created by Landscape Research LLC, Amy Lucas. This document was created for SHPO and NPS approval for amendment #2 revisions. Since this document also describes the proposed signage, and includes historic and present day photos of the exterior elevations, it is appropriate to include this document as part of the Master Signage Plan for HPC reference.
2. **Sheet A3.0a, Master sign plan - South Exterior Elevation** This drawing illustrates the proposed location and size of all the signage and signage lighting on the south elevation on Fourth Street.
3. **Sheet A3.0b, Master sign plan - West Exterior Elevation** This drawing illustrates the proposed location and size of all the signage and signage lighting on the west elevation on Sibley Street.
4. **Spec Sheet for 340 Sibley Lofts Signage- Lobby** This is the shop drawing of the signage to be located at the Apartment Lobby entrance on Sibley.
5. **Spec Sheet for 340 Sibley Lofts Signage - Blade Sign** This is the shop drawing of the blade sign to be located at the corner of building at Sibley and Fourth Street.
6. **Spec Sheet Example for Future Railway Mounted Signage** - This is an example of the future railway mounted signage for flex unit tenants, that have not been rented yet. This example illustrates how this future signage will be mounted to the exterior brick wall.

☒ Required documents are attached (See reverse side)

☐ If you are a religious institution you may have certain rights under RLUIPA. Please check this box if you identify as a religious institution.

* The City of Saint Paul makes reasonable accommodations for ADA.

Applicant's Signature _____

Date 3-28-20

Rev 7/12/19

REQUIRED DOCUMENTATION

For review, staff need documentation that clearly describes your project:

1. What is the proposal.
2. Where will the proposed work occur.
3. Can proposed work be viewed from the public right-of-way?
4. Is the project a change from what exists or a reconstruction of what did exist historically?

TYPES OF DOCUMENTATION (as applicable for your proposal-contact staff if you have a question)

- ✓ Complete statement and clear scope describing in detail the proposal (see reverse side).
- ✓ Photos of project area. Clearly labeled showing proposed work site, location (Street facing façade, north elevation, etc.) and surroundings.
- ✓ Plans (as applicable)
 - Demolition Plan. Information that clearly conveys what demolition is proposed as part of the proposal.
 - Site plan with scale and basic overall dimensions showing entire lot from street edge to alley. Include all existing/proposed driveways, curb cuts and structures. Show mechanical equipment locations. Highlight and label proposed work area clearly.
 - Elevation drawings with scale. Please label and include base elevation and include heights for all interior floor/ceiling levels, to top of roof deck, cornice, and top of appurtenances behind that façade. Show and label all materials, such as windows, doors, porches, lighting, roofs, siding, etc.
 - Details on exterior architectural elements, including balconies, lighting, railings, vents, awnings, etc. Provide enlarged elevation and information on all exterior architectural elements.
- ✓ Information on proposed new materials (if applicable).
 - Material, trim and finish information and/or samples.
 - Provide manufacturer cut sheets which include: specifications, material, design, dimensions, functionality and color.

PLEASE NOTE

- * *All submittals become the property of the City of Saint Paul and are open public records.*
- * *Submittals may be posted online or made available to any party that requests a copy.*
- * *It is the applicant's responsibility to accurately represent the existing conditions and the proposed conditions.*
- * *Review of applications takes time. It may be several days before staff responds to a submittal.*

The Heritage Preservation Commission (HPC) and Heritage Preservation staff review applications for exterior work on designated heritage preservation sites (except painting or plant materials).

Heritage Preservation staff are available to discuss prospective projects. It is advisable to get as much information as possible while the project is in early planning stages. The Heritage Preservation Commission offers Pre-Application or Concept Review for large or complicated projects.

The amount of time required for review of the application depends on the type of work, the complexity of the project, documentation received, and conformance with the applicable guidelines. Staff reviews and approves many applications while others need to be reviewed and approved by the Heritage Preservation Commission. Some applications can be reviewed by staff in a few days. If the application is to be reviewed by the HPC the process generally takes about 30 days once all documentation is received.

PROPOSED
MASTER SIGNAGE
PLAN - SOUTH
EXTERIOR
ELEVATION

Issues and Revisions:
ISSUED FOR REVIEW 3-16-20

Commission No. 15552-18142
Drawn by DTP
Checked by DTP

SHEET

A3.0a

TRUE SHEET SCALE:
0" 1/2" 1"

ALL WALL MOUNTED SIGNAGE:
SIGNAGE ILLUSTRATED IS TO BE 12" HIGH, 1/2" THICK LASER CUT METAL, INDIVIDUAL LETTERS. COLOR TO BE DURANODIC BRONZE. FONT TO BE FUTURA CONDENSED. SIGNAGE ANCHORING TO BE PEG MOUNTED OR TOP & BOTTOM RAILWAY MOUNTED TO EXISTING BRICK EXTERIOR WALL. SIGNAGE MOUNTING STYLE TO BE A COMBINATION OF BOTH, THROUGHOUT ELEVATIONS. SEE NOTES THAT IDENTIFY EACH MOUNTING STYLE LOCATION.

ALL ANCHORS TO BE LOCATED WITHIN EXISTING BRICK MORTAR JOINTS ONLY, SO BRICK IS NOT DAMAGED. MOUNTING INTO BRICK IS NOT ALLOWED FOR THIS HISTORIC BUILDING.

THIRD FLOOR LINE

NEW DOUBLE SIDED BLADE SIGNAGE AT 45 DEGREE ANGLE FROM CORNER OF BUILDING - SIMILAR TO HISTORIC BLADE SIGN THAT WAS ONCE AT THIS LOCATION. 9" x 5'-0" DOUBLE SIDED. (3.75 SF. EA SIDE) 2"x1" WELEDED ALUM FRAME, COVERED WITH 0.63 ALUMINUM PANELS, PAINTED MATTE FINISH DURANODIC COLOR WITH WHITE VINYL LETTERING. USE EXISTING HISTORIC ANCHOR LOCATIONS STILL PRESENT ON FACADE, FROM ORIGINAL BLADE SIGN.

GOOSE NECK LIGHTING FIXTURES BEYOND ALONG SIBLEY STREET

5'-0"

SECOND FLOOR LINE

16'-0"



1 PROPOSED SOUTH FRONT ELEVATION SIGNAGE (FOURTH STREET)
A3.0a 1/4"=1'-0"



POPE ARCHITECTS
1295 BANDANA BLVD N, SUITE 200
ST. PAUL, MN 55108-2735
(651) 642-9200 | FAX (651) 642-1101
www.popearch.com



4TH STREET
STATION HISTORIC
RENOVATION
201 4TH STREET EAST
ST. PAUL, MN 55101



1 PROPOSED WEST SIDE ELEVATION SIGNAGE (SIBLEY STREET)
A3.0b 1/4"=1'-0"

PROPOSED
MASTER SIGNAGE
PLAN - WEST
EXTERIOR
ELEVATION

Issues and Revisions:
ISSUED FOR REVIEW 3-16-20

Commission No. 15552-18142
Drawn by DTP
Checked by DTP

Background and Previous Reviews:

The NPS reviewed the Part 2 rehabilitation proposal on 6/3/19 with conditions.

Amendment #1 responded to the conditions of Part 2 review and proposed the following:

1. Storefront systems per NPS request
2. Redesign of stair at NW corner to be set back 5 feet from window per NPS request
3. Revised mechanical/plumbing plans at corridors per NPS request
4. Sample of replacement glass for SHPO review
5. Revised plans of units to avoid wall contact at windows per City of St. Paul and NPS request
6. Proposed new windows at alley
7. Proposed basement plans central and west bays
8. Proposed first floor plans central and west bays-to prepare for tenant leasing
9. Corridor lighting specs
10. Skylight changes at 3rd floor due to structural requirements
11. Replacement of non-historic stair to roof
12. Replacement of deteriorated siding on elevator penthouse

The NPS reviewed Amendment #1 on 2/4/2020 with the following conditions:

1. Bulkhead must be constructed in a manner compatible to a typical bulkhead for this era building. (storefront bulkhead)
2. Storefront entrances, proportions and placement must be compatible to the era and historic character of the building. Storefront bays that historically had entrances must retain an entrance.
3. Where non-historic openings in the masonry are to be in-filled it shall be with masonry materials to match.
4. Proposed replacement windows must match the size, configuration, operation, design and profiles of historic windows. Replacement windows must fill the entire historic window opening, even if it has been previously infilled. Final shop drawings at head, jamb, meeting rail and sill of proposed windows must be provided for review and approval. Clip-on screens shall not be used.
5. Mechanical ductwork must be concealed rather than being left exposed including, but not limited to, corridors. Soffits, or any drop ceilings, shall not drop below the head height of windows, unless they are set back a minimum of 5-feet from the interior of face of the exterior wall.

Previously submitted project phases:

Phase 1: (reviewed by NPS 6/3/19)

Abatement of lead/asbestos

Demolition of non-historic materials incl: dropped ceiling at first floor-west bay, basement walls, non-historic apartment fixtures/bathrooms

Phase 2: (reviewed by NPS 6/3/19)

Upgrade working studios into 23 residential units

New roof

Refinish wood floors at 2nd and 3rd floors

Replace non-historic corridor doors at 2nd and 3rd floors

Amendment #2

DESCRIPTION OF REHABILITATION

Wann Building, 201 E. Fourth Street; St. Paul, Minnesota—NPS Project #39564

Update kitchens and bathrooms in units on 2nd and 3rd floors

Replace freight elevator

New entrance lobby and stair from Sibley Street-required for egress

New Storefronts at Sibley Street and two storefronts on E. Fourth Street

Phase 3: (current proposed Amendment #2)

1st floor/basement interior commercial spaces

Signage

Amendment #2 proposes:

1. Final phase 3 items including: design of first floor commercial spaces (west and central bays), design for basement of west bay and exterior signage. The amendment provides further information on the NPS comments Amendment #1 of 2/4/20 regarding proposed storefronts, rear/alley windows and mechanical ducts.

Item 1

Architectural feature: Storefront system design

Approximate date of feature: 1926 exterior with later alterations ca. 1940s and 1980s

Describe existing feature and its condition: The brick building was built ca. 1879 (Fig. 1) and received a new façade in 1926 (Fig. 2). The current storefronts are not original and clear historic images of the 1926 storefronts have not been discovered. The 1879 facades clearly were removed as part of the 1926 renovation. The Part 2 NPS review letter (dated 6/3/19) requested: “storefront systems must fill the entire historic opening as indicated on floorplans, there should not be any visible infill that reduces the size of the glazing as represented on the elevation drawings.”

Amendment #1 provided further design details for the proposed new storefronts at the west and central bays (the east storefront bay to remain). The Amendment #1 NPS review letters (2/4/20) recommended: “Bulkhead must be constructed in a manner compatible to a typical bulkhead for this era building” and “storefront entrances, proportions and placement must be compatible to the era and historic character of the building. Storefront bays that historically had entrances must retain an entrance.”

Though the building was constructed ca. 1879, the entire exterior was replaced in 1926 with an industrial window, storefront, brick fenestration. The storefronts have been replaced multiple times since 1926 and historic images from 1926 are oblique. (See Fig. 2)



Fig. 1. Wann Building before 1926 façade. (MNHS)



Fig. 2. 4th Street elevation ca. 1926 with new exterior, taken from detail of larger photo. (MNHS)

Describe work and impact to existing feature: The use of the west and central storefronts has been changed and additional egress is required by the City of St. Paul. Historic plans of the building have not been discovered, but Sanborn map (1885) indicates there were storefronts along the west (Sibley Street) elevation.

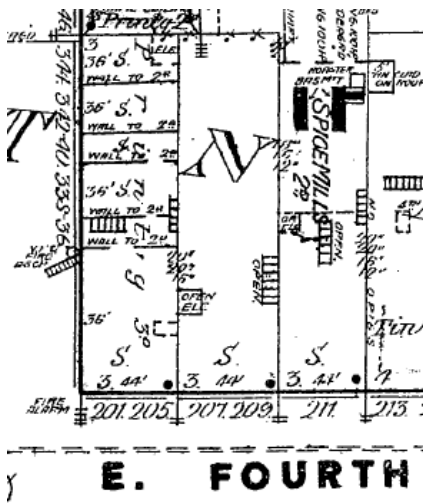


Fig. 3. Image at left from 1885 Sanborn Map indicates there were originally storefronts along the Sibley Street elevation

The proposed storefronts follow the NPS recommendation and are “compatible to the era and historic character of the building” and propose entrances where historical entrances may have been. The proposed storefronts attempt to maintain references to the ca. 1879 interior and the 1926 exterior.



Fig. 4. Sibley Street elevation (2019)

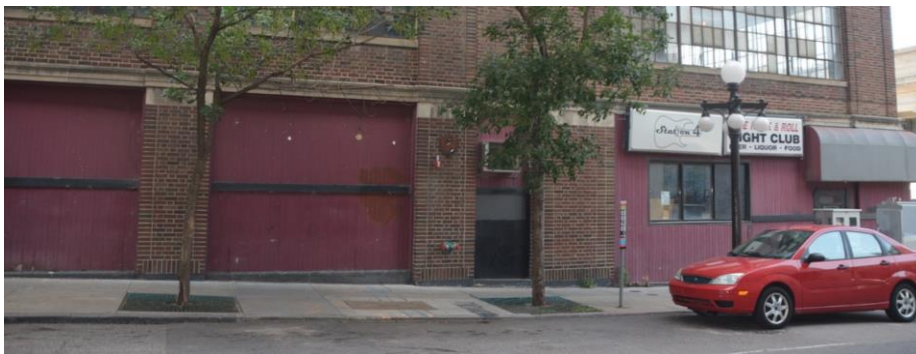


Fig. 5. Sibley Street elevation (2019)

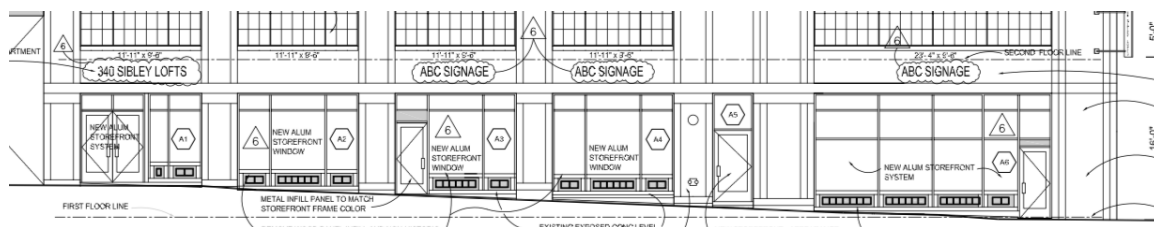


Fig. 6. Proposed Sibley Street Storefront elevation

Due to the slope of the street, the Sibley Street historic storefront opening is slightly different from the 4th Street elevation. At 4th Street, there is a brick sign band below the limestone beltcourse. The smaller (shorter) openings at Sibley Street do not have a brick band below the beltcourse. The west elevation (west bay of building) will be live/work apartment units accessed at Sibley Street. The corner unit will face 4th and Sibley Streets will be accessed on Sibley Street. As recommended, the bulkhead is similar to historic storefronts and speaks to the ca. 1879 interior as well as the 1926 exterior. (See mock up Fig. 10) Openings are where historic openings may have been and locations are historically appropriate.



Fig. 7. 4th Street elevation after removal of paneling (2019)



Fig. 8. 4th Street elevation before removal of paneling (August 2017)

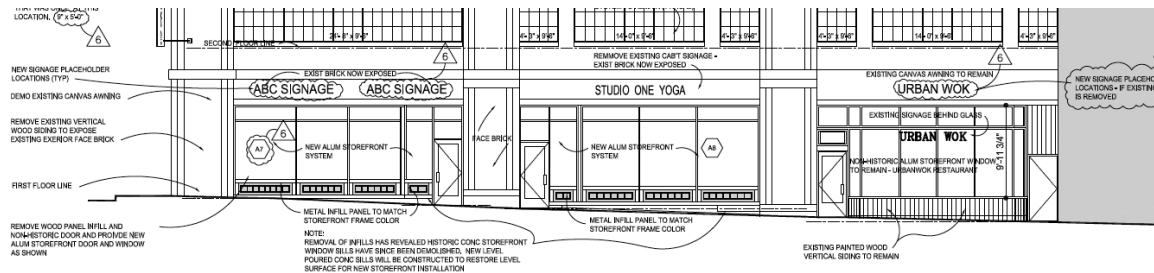
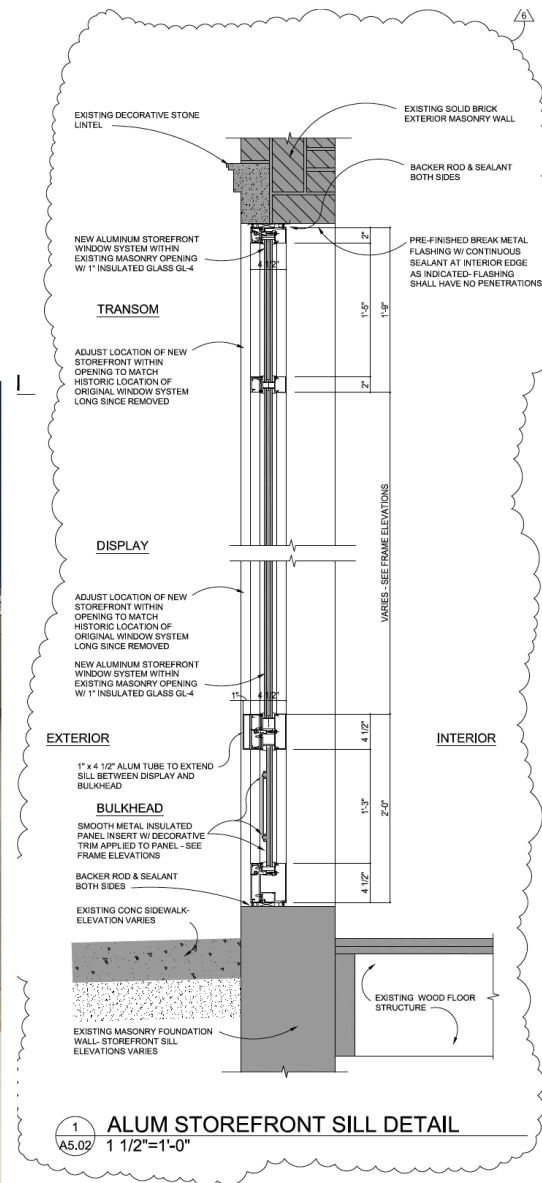


Fig. 9. Proposed elevation 4th Street

The 4th Street elevation will have two tenants. A live/work unit at the west bay (accessed on Sibley) and a yoga studio in the central bay. The east bay will retain the current tenant, Urban Wok. The opening at the west bay storefront will access the proposed basement bar; an interior egress stair (Stair E) is associated with this entrance. The central bay will have a yoga studio and one entrance. At this elevation, there is a brick sign band below the limestone beltcourse, which will be used for sign location. Storefronts at this elevation are similar to Sibley Street design.



Figs. 10 & 11. Proposed mock-up of storefront. Entire system will be aluminum. Proposed section detail.

Figs: 1-11

Plans: proposed elevations A3.02, storefront sections/details 1/A5.02, 2/A5.02

Item 2

Architectural feature: Interior First floor-west bay

Approximate date of feature: ca. 1879, with later alterations

Describe existing feature and its condition: This commercial bay (first floor-west bay) is an open space with a row of exposed steel columns. In the 1960s, the bay was occupied by a bar; at that time a lowered ceiling and a raised floor were installed in the bay. As part of Amendment #1 (reviewed by NPS on 2/4/20) the non-historic openings in the brick wall were filled with matching brick; the non-historic stair was removed; the corner entrance closet was removed; and a gypsum board ceiling will be installed to provide the required fire floor separation. It was noted that an additional amendment (see below) would be proposed with a first floor tenant secured.

Describe work and impact to existing feature: This Amendment #2 proposes to construct three live/work residential units at the west bay. These units will be accessed at Sibley Street (west elevation) and will have commercial storefronts. Historic Sanborn maps (1885) indicate there were individual storefronts at the Sibley Street (west elevation). (See Fig. 3) At the interior, the retail/office space will be located near the storefronts and the kitchen/bathrooms will be located at the rear of the space. Storefronts will remain open and visible at the interior. The ceiling will be gypsum board and all mechanicals will be concealed behind the gypsum board. The non-historic raised floor will be lowered as much as possible to meet the ADA requirements and exterior sidewalk levels; new floors will be wood.

Plans: proposed A2.21, reflected ceiling A9.1

Item 3

Architectural Feature: First floor-central bay

Approximate date of feature: ca. 1879, with later alterations

Describe existing feature and its condition:

The Amendment #1 (reviewed by NPS on 2/4/20) removed the plywood and asbestos floor tile and repairing wood floor; built rear egress Stair D; and installed a gypsum board ceiling to provide the required fire floor separation between the tenant space and the residential units. It was noted that an additional amendment (see below) would be proposed with a first floor tenant.

Describe work and impact to existing feature:

This Amendment #2 proposes a yoga establishment at the central bay with two studios and separated women's and men's locker/restrooms. The mechanical system will be installed as close as possible to the ceilings and a new gypsum board ceiling will be approximately 10" from floor joists. All mechanicals will be concealed behind the ceiling. This ceiling will provide fire separation between the commercial and upper residential uses. Studio One will be a heated studio which requires additional ceiling heat. The heated studio will have a lowered mechanical system and an ACT lay-in ceiling with 2' by 2' panels. The ACT ceiling in Studio One will be approximately 11' from floor. All mechanicals will be concealed behind the gypsum board ceiling and will be installed as close as possible to the upper floors; this will allow for future removal of the yoga studio without damaging mechanicals. The yoga studio wall will be 16' from the storefront glass; the retail space of the storefront will remain open and visible from the street. The plywood flooring was removed to investigate the flooring. Asbestos tiles attached to a

deteriorated wood floor were discovered. The plywood was retained as an abatement measure and new wood floors will be installed in this bay. Floors will be wood in the studio spaces; vinyl tile will be installed in the bathrooms.

Plans: proposed A2.21, section 5/A2.25, Studio 1 elevation 4/A2.25,

Item 4

Architectural Feature: Basement-West bay

Approximate date of feature: ca. 1879, with later alterations

Describe existing feature and its condition: The basement of the west bay is an unfinished area with exposed mechanical equipment and concrete floors.

Describe work and impact to existing feature: This Amendment #2 proposes a bar/lounge (The Rusty Mile) in the basement. The mechanical rooms will remain in place. The new stair E will provide required egress at the south end and will exit at 4th Street. Rear egress will connect to a stair in the central bay and exit at the alley (north elevation). Restrooms will be built near the electrical room. The ceiling will have exposed mechanical (HVAC duct and sprinkler). The concrete floor will be repaired where necessary. A sheetrock ceiling is required for fire separation between commercial and residential.

Plans: Proposed A2.20, Plan of Stair E 2/A5.03 and 3/A5.03, Section of Stair E 1/A5.03

Item 5

Architectural Feature: Exterior signage

Describe existing feature and its condition: Signage at this building is a mix of plastic panels and awnings. Historic signage does not exist at this building. Historic images reflect a range of signage types through the years. (See historic images-Figs. 12 & 13)

Informal SHPO comments on signage recommended the following: *“New hanging signs may be appropriate for historic commercial buildings, if they are of a scale and design compatible with the historic buildings. Please provide documentation that illustrates there were blade signs spanning multiple floors mounted to the building at the two locations indicated — within the period of significance. A smaller blade sign at the primary corner appears to be appropriate and there is historic precedent for this location...Surface mounted signage at the face of the building, on the upper floor pilasters, will not meet the Standards. A great place to locate new signage is in the historic signboard area of the storefronts. Signs should be of a size and style compatible with the historic building and should not cover or obscure significant architectural detailing or features.”*



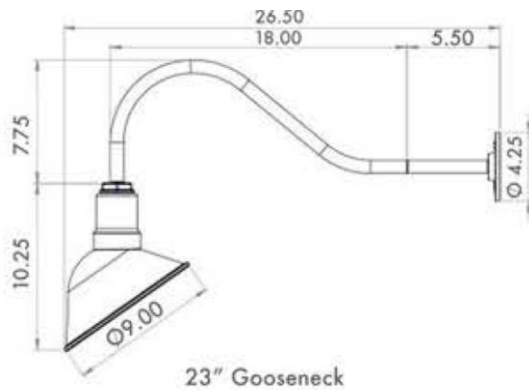
Figs. 12 & 13. Corner of Wann Building before the 1926 exterior face (at left) and Wann Building in ca. 1926 with multiple signs (above and below sign band) and on roof.

Describe work and impact to existing feature: The intent is to install signage in appropriate sign band areas. There are sign band areas above the storefronts at the south elevation (4th Street), but these brick sign bands are not present at the west elevation (Sibley Street). To avoid long, exposed electrical conduit lines for the lighting, individual openings for electrical are proposed for gooseneck lighting.

West elevation (Sibley Street): There are five bays at the west elevation (Sibley Street). Signs are proposed in four bays at the brick area above the limestone beltcourse. The north bay of this elevation is the main entrance to the upper residential uses (310 Lofts) and will have peg-mounted letters that read “340 Sibley Lofts.” The remaining four bays are associated with individual live/work residential units. Three of these bays will have railway mounted track signs in the sign bands recognized the live-work tenants. There will be 5 gooseneck lights installed at this elevation to light the signs. (See A3.0b) Signs are cut metal. Installation is proposed at the mortar joints and will not damage historic masonry.

South elevation (4th Street): There are three bays at the south elevation (4th Street). The brick sign band is located below the beltcourse at this elevation and signs are proposed at this location. There are two signs proposed for the west bay; one will indicate the ground floor tenant and one will indicate the basement tenant and will be located above the entrance at this bay which leads to the basement. These two signs will be on railway mounted tracks. The central bay will have one sign and the east bay will have one sign; these two signs will be peg-mounted letters. Each of these signs will have two, gooseneck lights; six lights in total at this elevation. Signs are cut metal. Installation is proposed at the mortar joints and will not damage historic masonry.

A projecting blade sign is proposed at the corner. The sign will be approximately 9" wide by 5' tall feet and will be 16 feet from the sidewalk. The sign will read "340 Sibley Lofts" and will be constructed in cut metal with gooseneck light. Installation is proposed at the mortar joints and will not damage historic masonry.



Figs: 14 & 15

Plans: Master Sign Plan-two pages- A3.0a, A3.0b

Item 6

Architectural feature: Interior mechanical ducts at floors 2 and 3-additional information

Describe existing feature and its condition: In general, the mechanicals will be concealed behind gypsum board at all corridors and first floor commercial spaces. Mechanicals will be consolidated, but visible at the interior of the residential units on 2nd and 3rd floors. The 2nd and 3rd floors continue to reflect the industrial past of the building.

There was some confusion with NPS statements in the past reviews relating to mechanicals. The original Part 2 (submitted 2/1/19) proposed *"The new HVAC duct system will be installed in the corridors as close as possible to the ceiling and a new sheetrock ceiling will be installed to hide the mechanical systems. The mechanical systems will remain exposed inside the residential units. Fan coil units will be in the ceiling of each bathroom in each unit. The systems will be placed at least 5 feet from windows or above windows; new systems will not be in front of glass."*

The NPS review of Part 2 (6/3/19) recommends: *"Ductwork and other new systems should be sensitively located on the apartment sides of the corridors. Avoid lowering ceilings and place as much as possible of the ductwork in service areas such as bathroom and kitchens. Ductwork must not intersect primary spaces or windows. Only essential services may be placed in new corridors and elevators. Drawings of new systems locations must be submitted for review and approval to the SHPO and NPS."*

Amendment #1 proposed: *"The majority of the mechanicals have been moved to the apartments and only cross corridors where necessary. The lines that cross corridors will remain exposed. Corridor ceilings are not lowered. Sprinkler lines, where existing, will remain exposed in corridors."* Side note to this item: the sprinkler lines have always been exposed in the corridors and were not moved. Sprinkler heads were replaced and lines remain exposed. The ceiling in the corridor was not lowered. The plumbing and HVAC lines cross the width of the corridors in a few places and the owner soffitted these crossings in the corridors. As proposed in the original Part 2 application, the mechanicals remained exposed inside the residential units.

NPS review of Amendment #1 (2/4/20) states: *"Mechanical ductwork must be concealed rather than being left exposed, including, but not limited to, corridors. Soffits, or any drop ceilings, shall not drop below the head height of windows, unless they are set back a minimum of 5-feet from the interior far of the exterior wall."* The NPS recommendation of concealing mechanicals in the units was not previously conditioned in earlier reviews and the units were completed by the receipt of this new condition. The ductwork is closely organized at kitchen/bathroom and the central HVAC duct runs the length of each unit and is exposed. The duct is more than 5' away from windows. The original Part 2 NPS review proposed placement of ductwork in the apartments which was closely followed. But sheetrock soffits around the mechanicals within the apartments was not mentioned in the NPS Part 2 review which was submitted on 2/1/19 and the units were completed when this additional condition was received on 2/4/20. The upper 2nd and 3rd floors have always been open warehouse space with exposed mechanicals. The current corridor configuration dates from the 1970s and was retained.

Item 7

Architectural Feature: New windows at north elevation (alley)

Approximate date of feature: openings ca. 1879; sash ca. 1980s

Describe existing feature and its condition: The current openings at the north elevation (alley) have been filled with smaller, non-historic sash. Amendment #1 proposed replacement sash at these openings and NPS letter (2/4/20) recommended "Proposed replacement windows must match the size, configuration, operation, design and profiles of historic windows. Replacement windows must fill the entire historic window opening, even if it has been previously infilled. Final shop drawings at head, jamb, meeting rail and sill of proposed windows must be provided for review and approval. Clip-on screens shall not be used."



16. West bay rear, 2nd & 3rd floors.

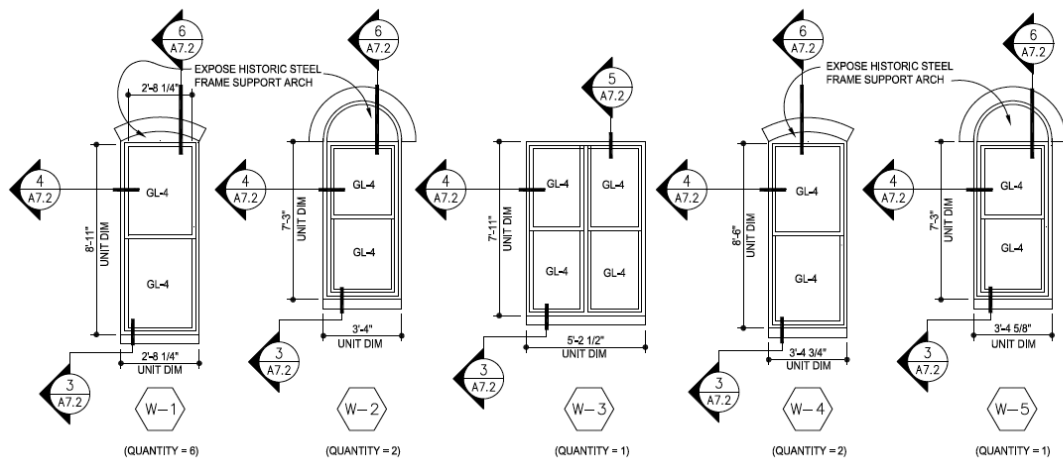
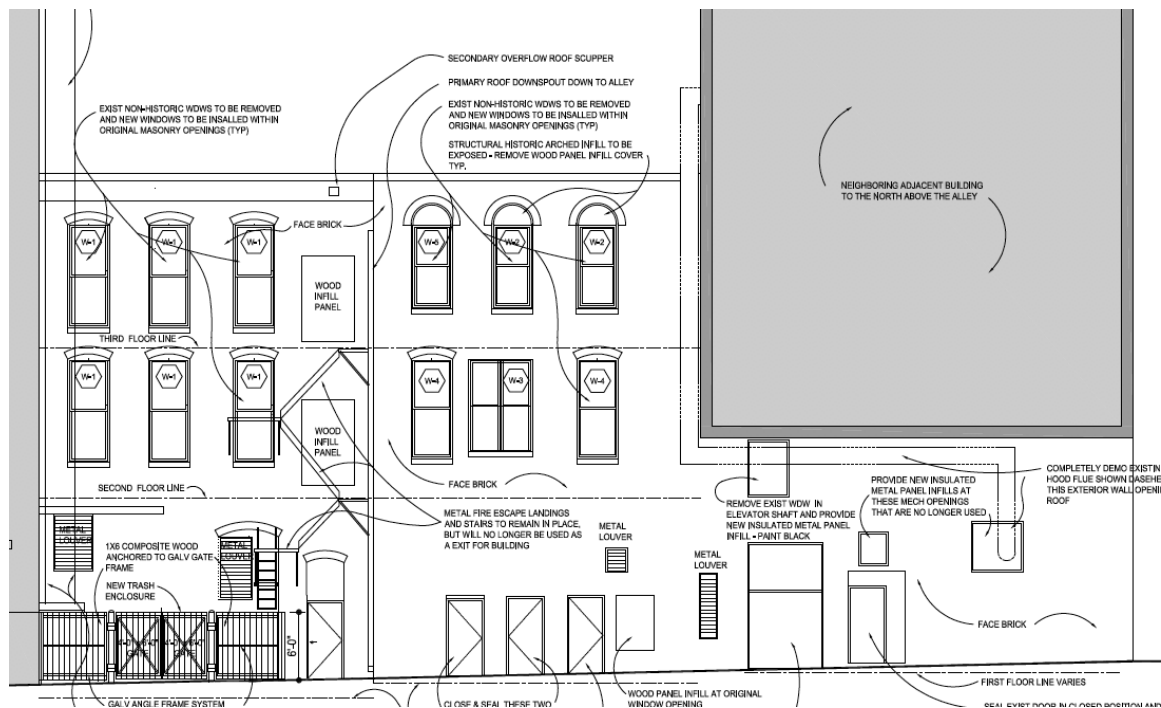


Figs. 17 & 18. Rear elevation. East bay at left and center bay at right; far west bay is covered by neighboring building.

Describe work and impact to existing feature:

This Amendment #2 provides more details on the proposed windows. The historic sash is missing and proposed windows are similar to windows of the era in size, configuration, operation, design and profiles. The three, arched windows at the third floor of the central bay have a different section. The wood panel in the arch appears to have been an original design and there was not a glass transom at this window. The brick wall is 1' thick and there are three 4" wide brick courses that make up the wall. The exterior 4" brick course is arched and a flat, steel lintel was added to support the other two 4" brick courses that fill in the width of the wall. At the interior, the opening is rectangular and the brick arch is not visible at the wall. In the case of these three windows, the wood panel (not original wood) will be replaced with an aluminum panel and the new window sash will be installed below. Elsewhere, the aluminum-clad replacement sash will fill the entire historic openings and clip-on screens will not be used at any of the new windows.

Amendment #2
 DESCRIPTION OF REHABILITATION
 Wann Building, 201 E. Fourth Street, St. Paul, Minnesota—NPS Project #39564



2 WOOD WINDOW FRAME ELEVATIONS
 A7.2 1/4"=1'-0"

Plans: proposed rear wall elevation3/a3.02, A7.2 window details and sections
 For arched/half round window head, see updated head detail on drawing sheet A7.2, detail 6.

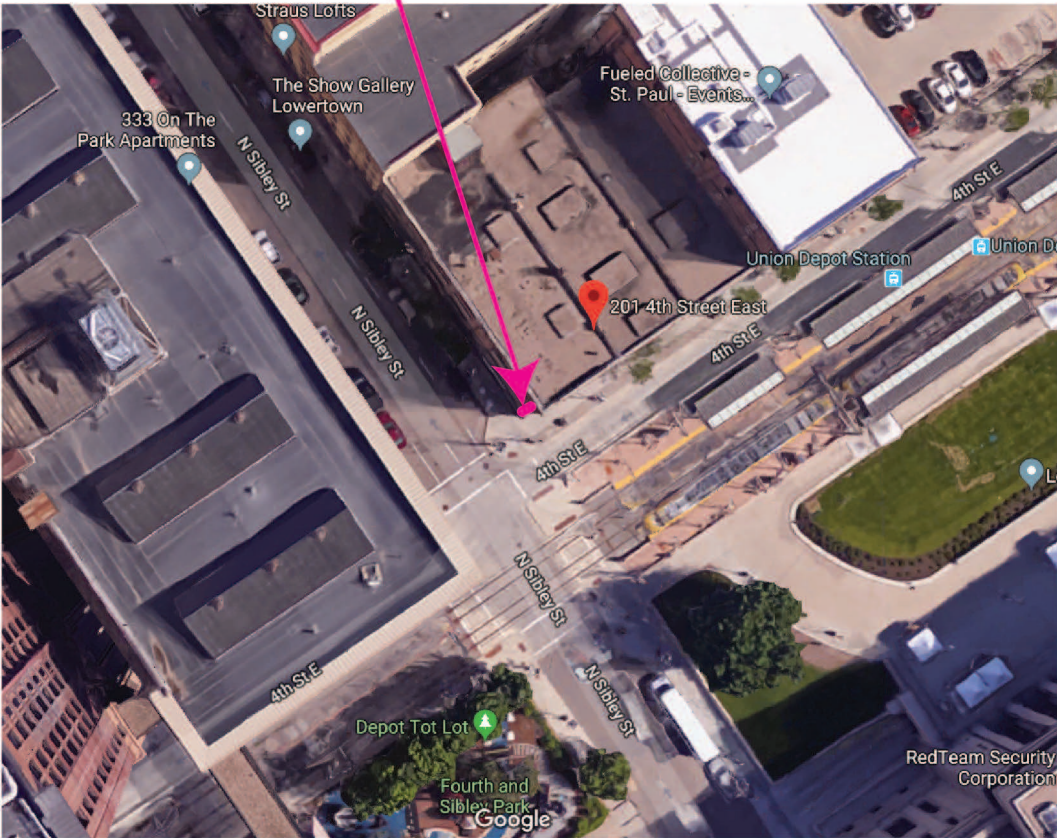
PROJECT TITLE:

4th Street Station Historic Renovation - Job ID# 392-82099

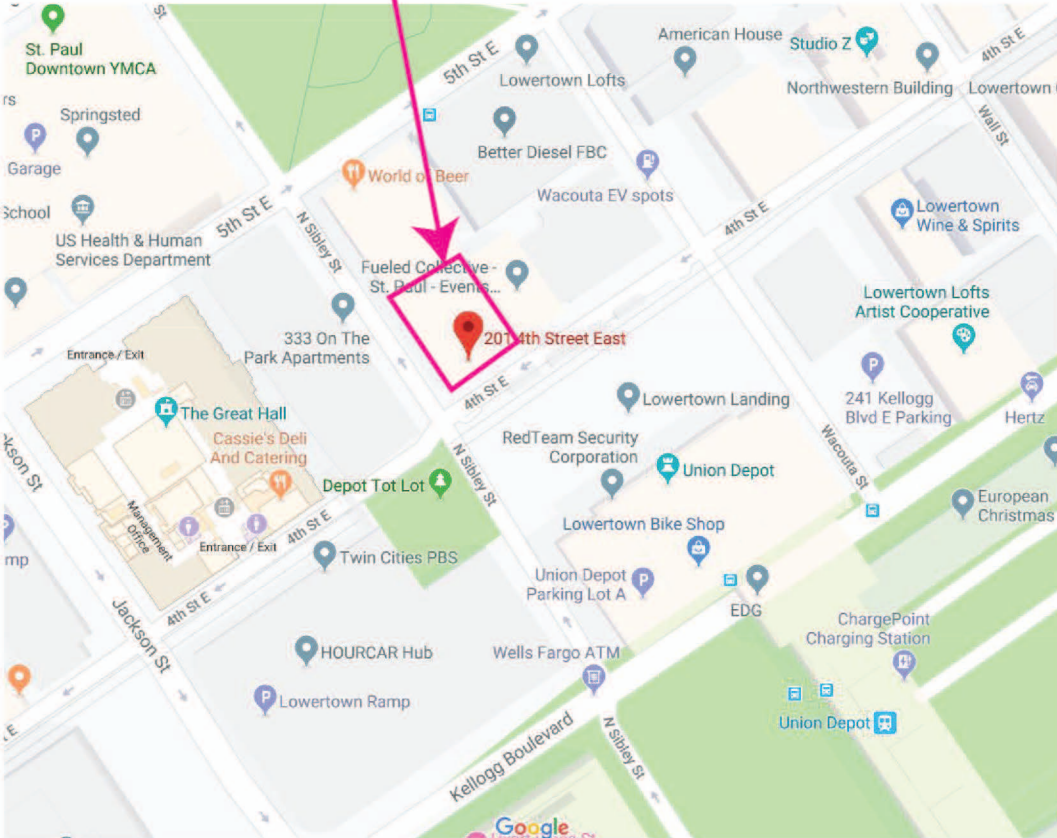


SIGNAGE DETAILS

Sign Location



Site Location



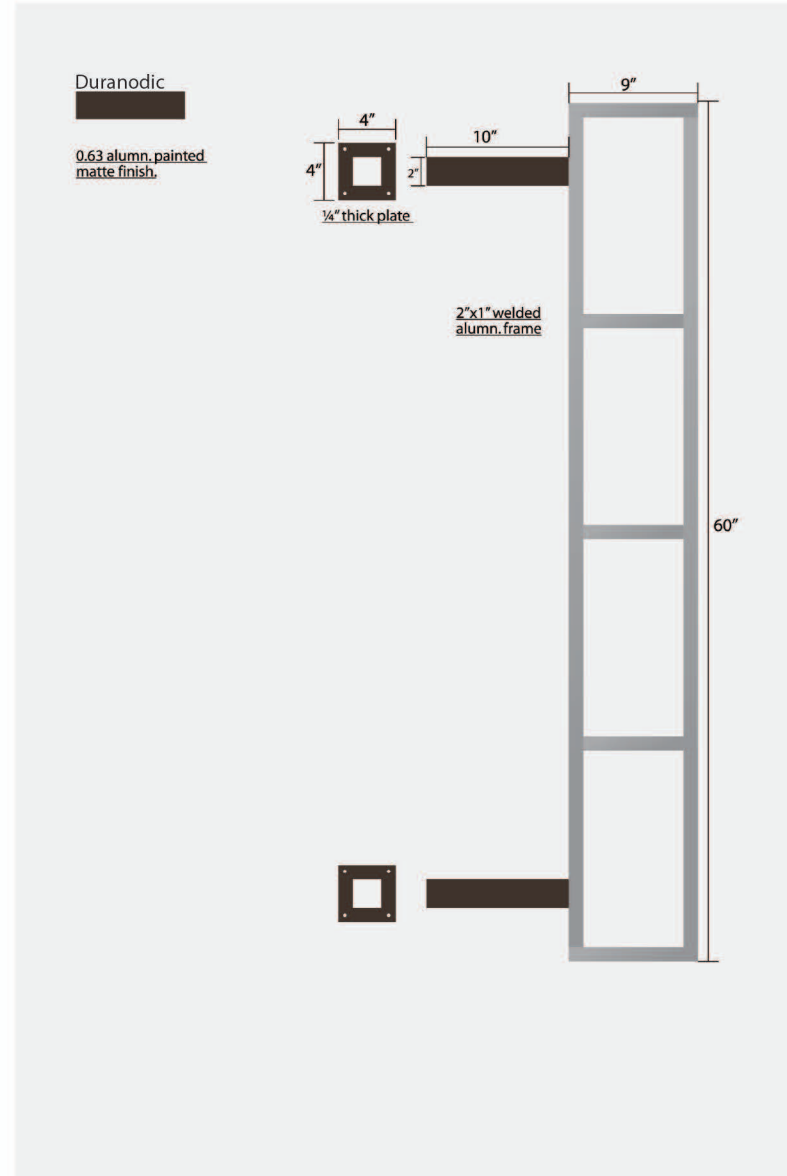
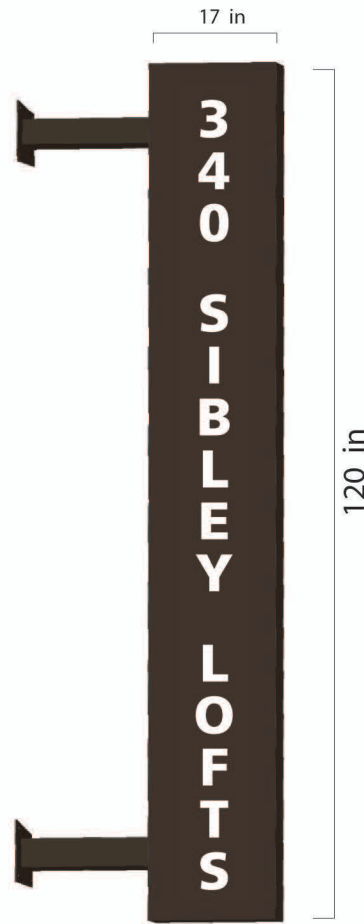
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SIGNED: _____ DATE: _____

PROPERTY ADDRESS:
201 4th Street East
St. Paul, MN 55101

FASTSIGNS
6098 Shingle Creek Pkwy
Brooklyn Center, MN 55430
p. 763.503.1503 d. 763.227.5211

SIGN 1



TOTAL LOGO/LETTERS AREA:

14.16 sq.ft.

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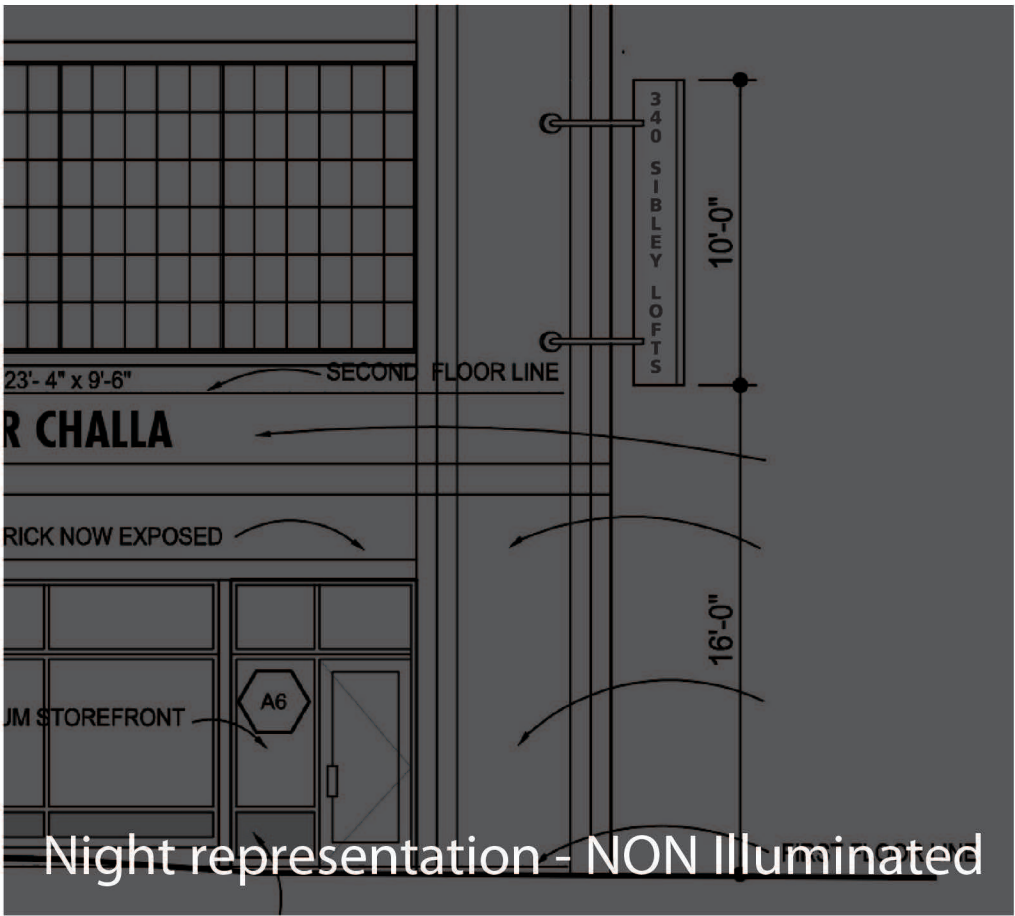
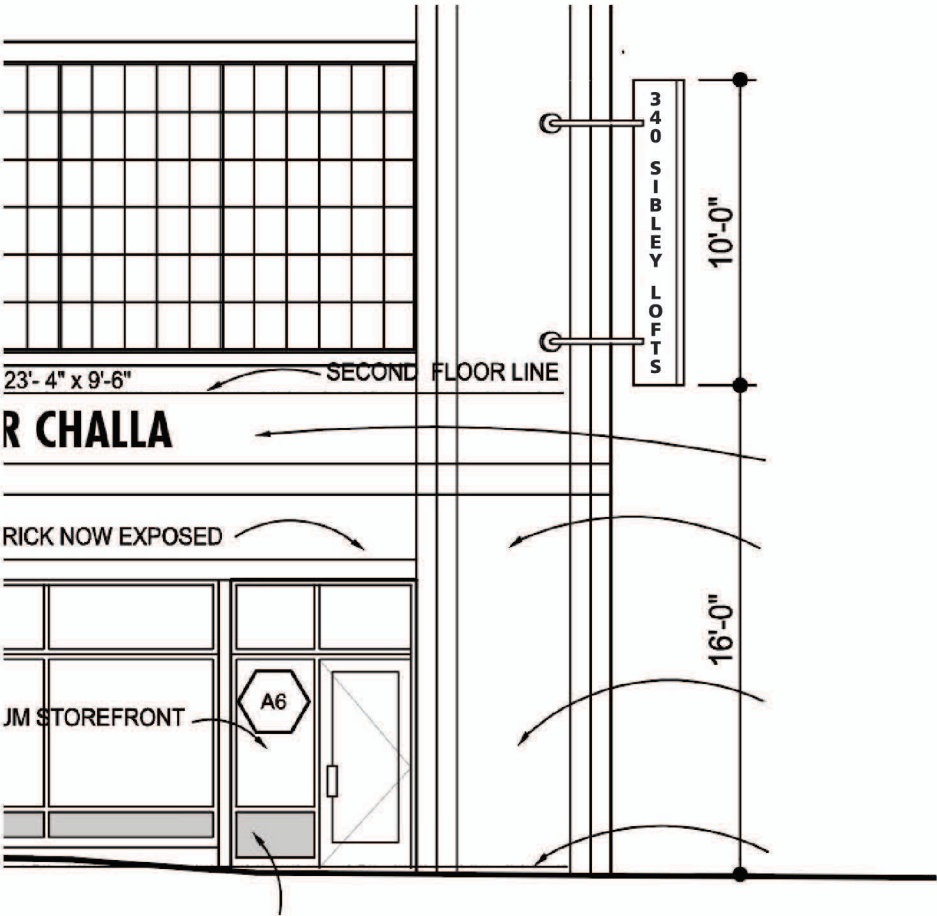
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RETURN APPROVAL VIA EMAIL joelene.calvert@FASTSIGNS.COM

SIGN 1

TOTAL AREA SQ.FT. AREA:

TOTAL LOGO/LETTERS AREA:
14.16 sq.ft.



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Rogers, MN 55374

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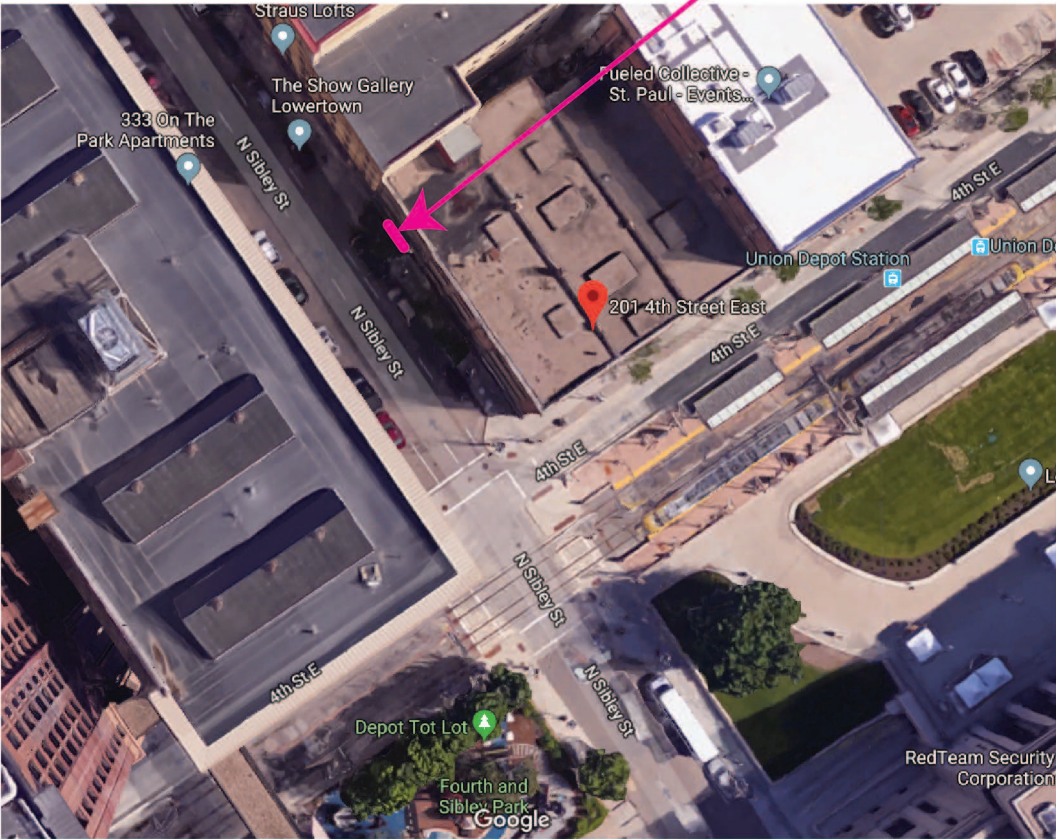
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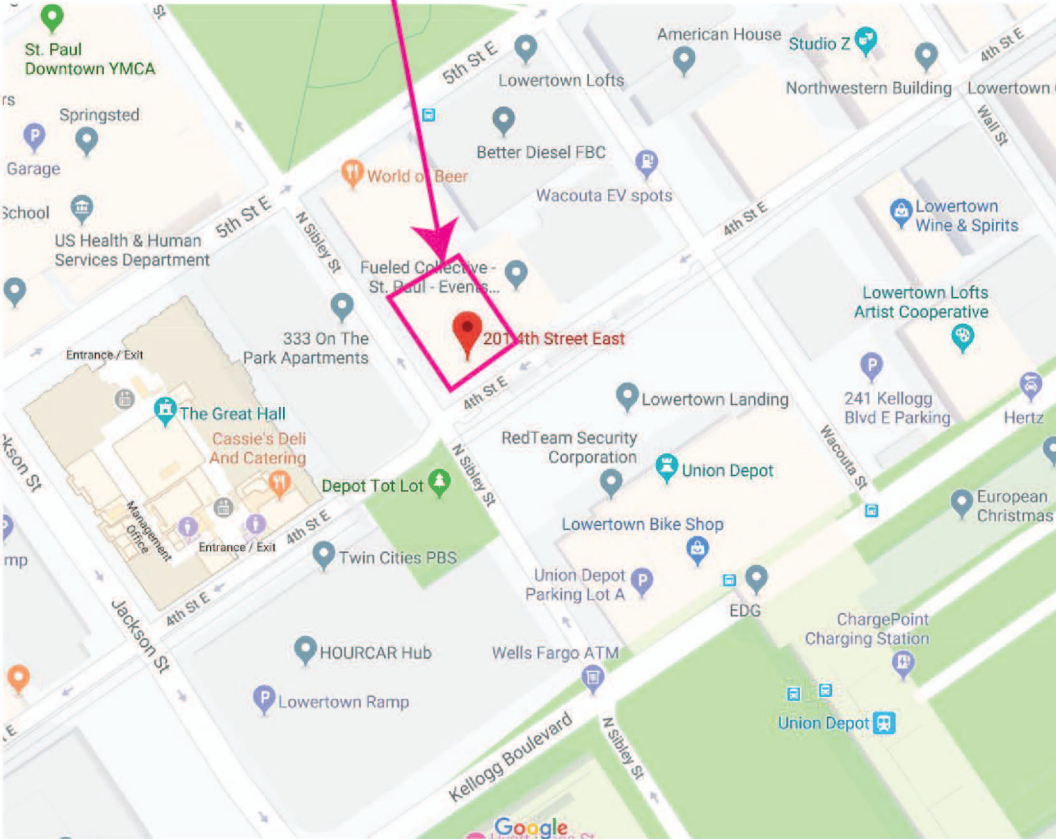


SIGNAGE DETAILS

Sign Location



Site Location



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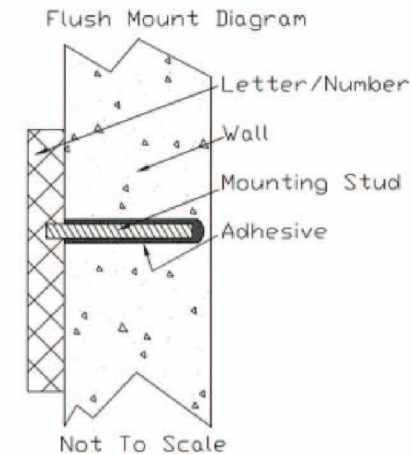
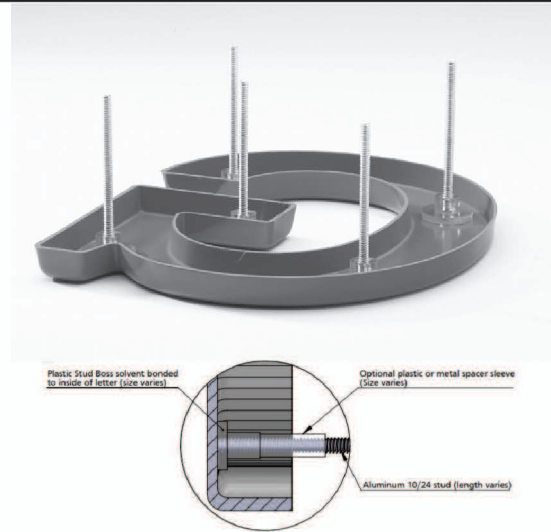
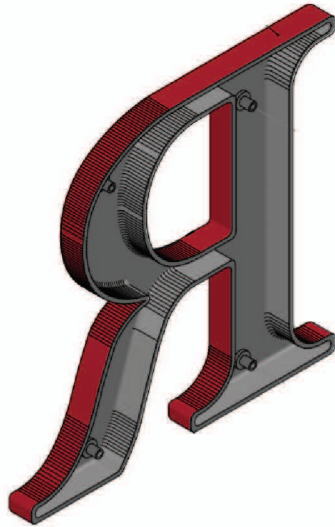
SIGN 1

12 in

340 SIBLEY LOFTS

101 in

TOTAL LOGO/LETTERS AREA:
8.42 sq.ft.



- ~~1" deep formed plastic~~ 1/2" thick laser cut metal
- Font: Futura Condensed
- Color: Duranodic Bronze
- Stud mounted into grout lines

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DATE: _____

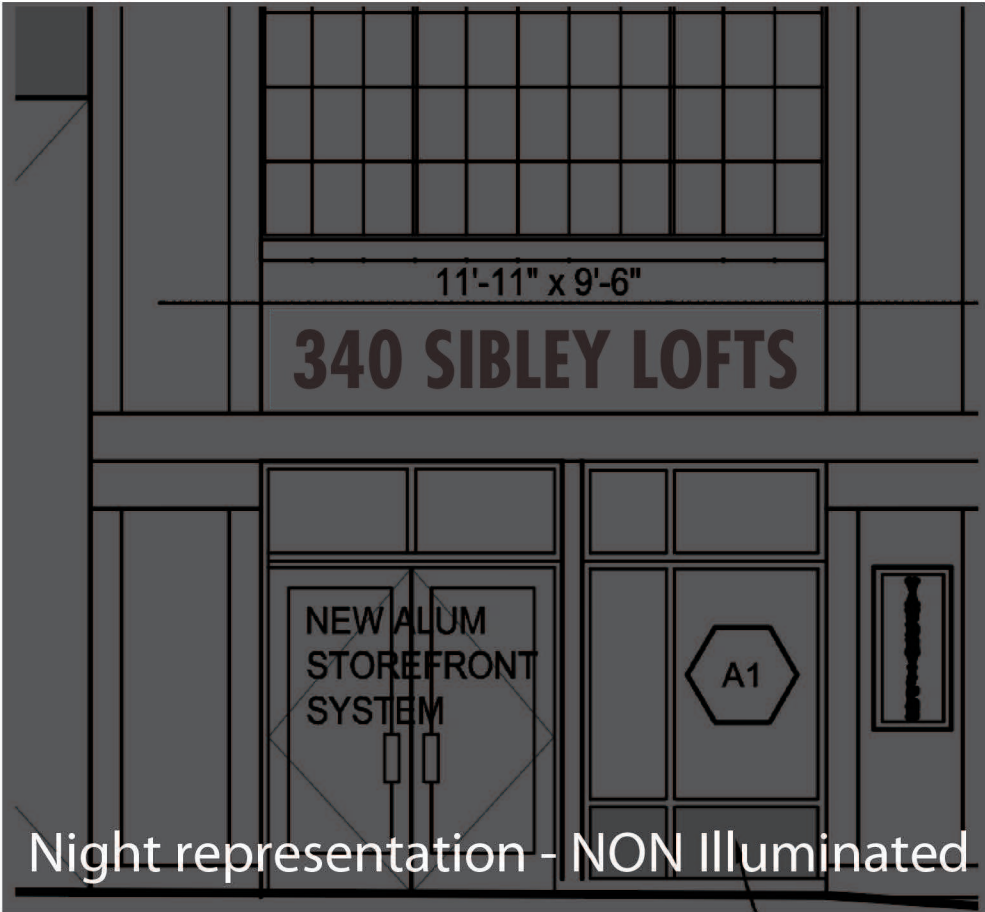
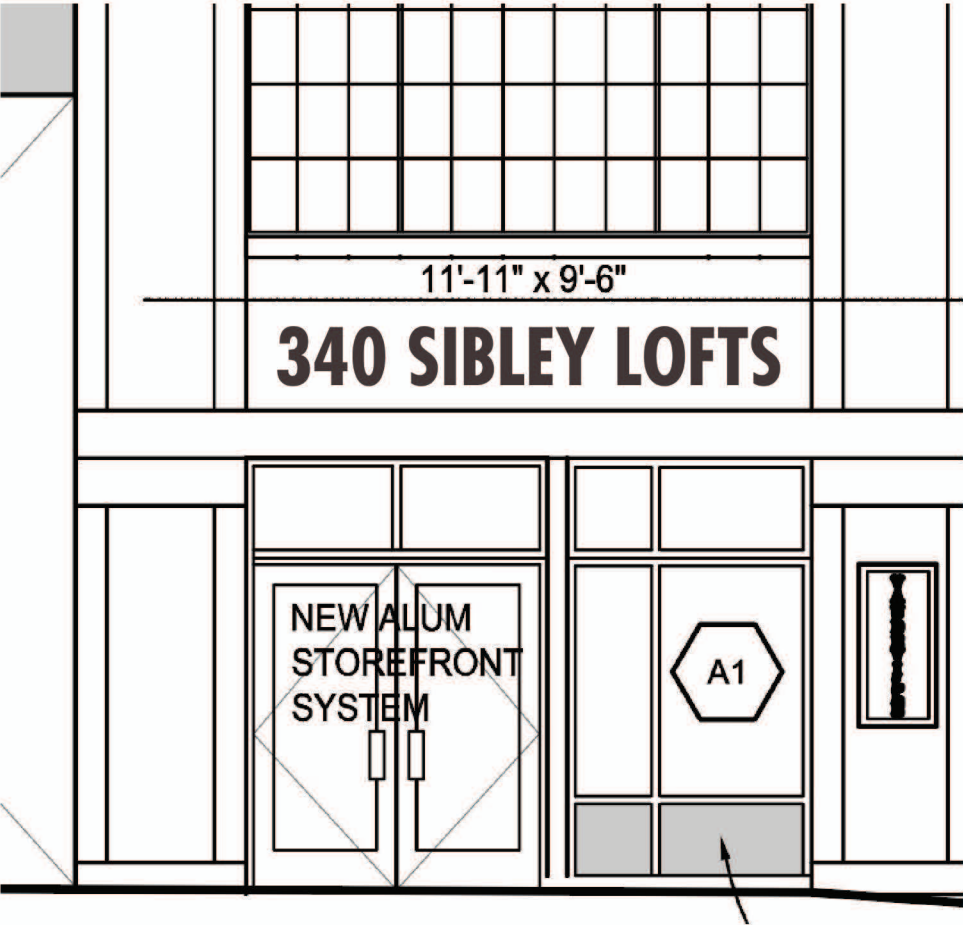
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SIGN 1

TOTAL AREA SQ.FT. AREA:

TOTAL LOGO/LETTERS AREA:
8.42 sq.ft.



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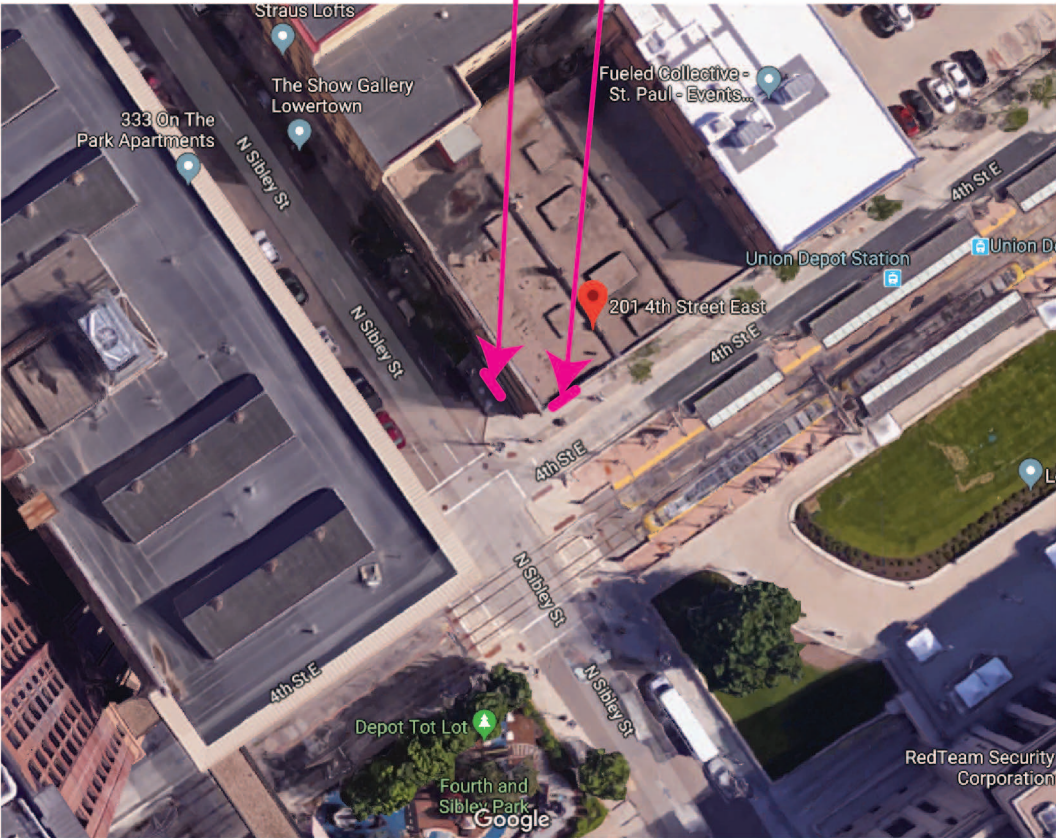
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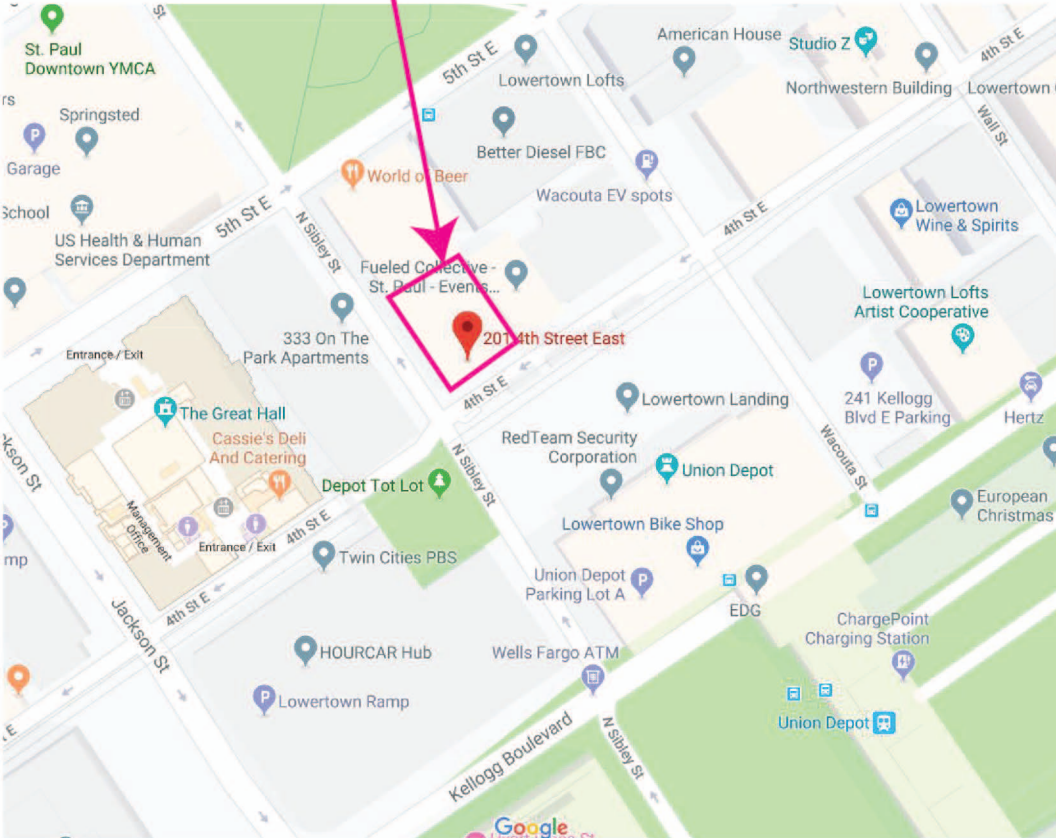
SIGNAGE DETAILS

Sign Locations

1 2



Site Location



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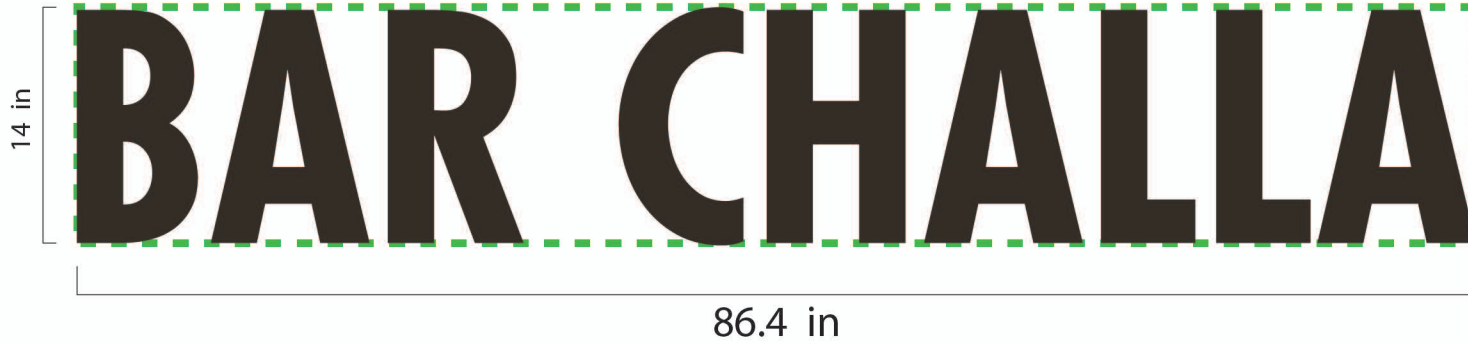
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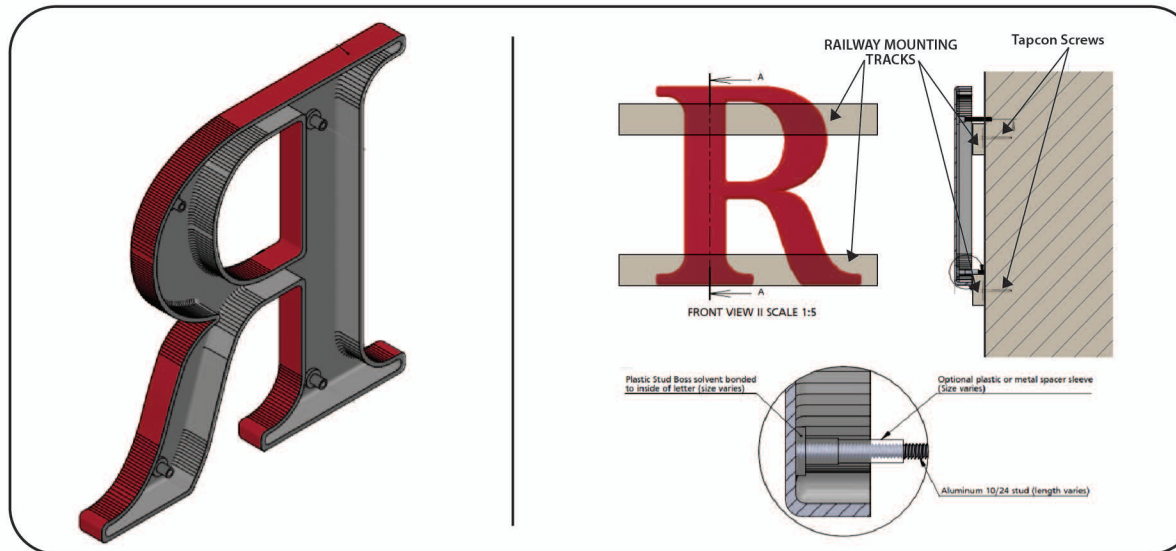
SIGN 1



TOTAL LOGO/LETTERS AREA:

8.4 sq.ft.

GENERIC EXAMPLE OF RAILWAY MOUNTED SIGNAGE



1/2" thick laser cut metal

- ~~1" deep formed plastic~~
- Color: Duranodic Bronze
- Mounted with railway tracks

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