

**CITY OF SAINT PAUL
HERITAGE PRESERVATION COMMISSION STAFF REPORT**

FILE NAME: 248 Seventh Street East – B & M Furniture Building

APPLICANT: Michael Johnson, MP Johnson Construction Inc

OWNER: MB Properties LLC

ARCHITECT: Marc Lindvig, AIA

DATE OF APPLICATION: January 31, 2017

DATE OF PUBLIC HEARING: February 9, 2017

HPC SITE/DISTRICT: Lowertown Heritage Preservation District

CATEGORY: Pivotal **WARD:** 2 **DISTRICT COUNCIL:** 17

INVENTORY NUMBERS: Lowertown Heritage Preservation District - RA-SPC-4580
B & M Furniture Building - RA-SPC-5369

0928CLASSIFICATION: Building Permit

BUILDING PERMIT #:

STAFF INVESTIGATION AND REPORT: Christine Boulware

DATE OF REPORT: February 7, 2017

A. SITE DESCRIPTION: More commonly known as the B & M Furniture building and then the Twin Cities Magic & Costume Shop, this commercial building with Italianate detailing was constructed circa 1885 and is categorized as pivotal to the Lowertown Heritage Preservation District. The three story buildings, originally constructed separately, were joined at some point. The inventory form states the building is, “A well preserved, ornate late nineteenth century commercial structure that is one of the most significant buildings in the E. 7th Street commercial portion of the Lowertown District.” The storefronts were altered but the buildings continued to retain a high degree of integrity in the masonry detailing, window frames and surviving cast iron on the storefront level.

B. PROPOSED CHANGES: The applicant is proposing to:

STOREFRONT

- Remove the middle, recessed entrance from the west storefront and fill it in to match the surrounding storefront – flush
- The entry tiles were not addressed in the application

WEST ELEVATION (Wacouta)

- Install a poured concrete retaining wall along the sidewalk from Seventh Street to the back of the building – it will gradually increase in height from grade to 2.5 ft. at the tall
- Pour a permeable concrete patio between the retaining wall and the stone, west elevation of the building
- Install a black, steel picket fence around the perimeter of the patio – 4'-0" tall
- Cut a new, 3 ft. by 8 ft. doorway into the limestone near the rear corner and install an aluminum and glass door to access the patio.

- Construct a new concrete stair and landing at the southwest corner of the patio – the railing will match the surrounding picket fence.

SOUTH ELEVATION (alley)

- Remove the boards in the historic window openings and install shutters to conceal the new, overhead coiling door for loading access.
- Fill in the recessed doorway with matching material
- Install a new door frame and hardware recessed 1-2 inches from the wall for access to the basement
- Install shutters at the remaining openings
- Install louvers into existing openings

C. BACKGROUND:

The buildings were rehabilitated for retail space on the first level and office on the upper two floors in 2006 by Domino Development and were awarded a 2007 St. Paul Heritage Preservation Awards for restoration/rehabilitation. The eastern building was rehabilitated into a restaurant with outdoor seating in 2016.

D. GUIDELINE CITATIONS:

The Secretary of the Interior's Standards for Rehabilitation:

1. *A property will be used as it was historically or be given a new use that requires minimal changes to its distinctive materials, features, spaces, and spatial relationships.*
2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*
3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize a property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

Historic Lowertown Heritage Preservation District
Sec. 74-112 Preservation Program

II. *Restoration and rehabilitation.*

General Principles for Restoration and Rehabilitation

- a. All work should be of a character and quality that maintain the distinguishing features of the building and the environment. The removal of architectural features is not permitted.
- b. Deteriorated architectural features such as cornices, chimneys and roof treatment, window and door openings, and exterior surface treatment should be repaired rather than replaced whenever possible. In the event of replacement, new materials should match the original in composition, design, color, texture and appearance. Duplication of the original design based on physical or pictorial evidence is preferable to using conjectural or "period" designs or using part of other buildings.
- c. Distinctive stylistic features or examples of skilled craftsmanship characteristic of structures of a period should be treated sensitively. Furthermore, if changes in use of a building are contemplated, they should be accomplished with minimum alteration to the structure and fabric.
- d. In general it is expected that buildings will be restored to their original appearance. However, alterations to buildings are sometimes worthy of preservation because they reflect a significant period of history of the buildings and the district. This significance should be respected and restoration to an "original" appearance may not always be desirable. All buildings should be recognized as products of their own time and not be altered to resemble buildings from another era.

B. *Windows and doors.*

- a. Openings: Existing window and door openings should be retained. New window and door openings should not be introduced into the principal visible elevations. Enlarging or reducing window or door openings to fit stock window sash or new stock door sizes should not be done. Infilling of window openings may be permissible on minor facades if standard sizes approximate the size and proportions of the opening. Generally, a minor facade will be considered as any facade not facing the street and not having the ornamentation and higher quality materials usually associated with street facades.
- b. Panes, Sashes and Hardware: It is desirable to retain original windows and doors, but they may need replacement for functional reasons. Replacement is clearly acceptable for functional reasons if new materials closely match original materials. Different materials may be acceptable on a case-by-case basis. Window panes should be two-way glass. No reflective glass is permitted. The stylistic period or periods a building represents should be respected. Shutters are generally inappropriate in the district. Missing or irreparable windows should be replaced with

new windows that match the original in material, size, general muntin and mullion proportion and configuration and reflective qualities of the glass. Replacement sash should not alter the setback relationship between window and wall. Heating and air conditioning units should not be installed in the window frames when the sash and frames may be damaged. Window installations should be considered only when all other viable heating and cooling systems would result in significant damage to historic materials. Window installations may be acceptable in minor facades.

- c. Storm Windows: Storm windows and doors should be compatible with the character of the
- e. Lintels, arches and sills: Lintels, sills, architraves, pediments, hoods and steps should be retained or repaired if possible. Existing colors and textures should be matched when repairing these elements.
- f. Storefronts: Existing storefronts should be retained and repaired including windows, sash, doors, transoms, signage, and decorative features where such features contribute to the architectural and historic character of the building. Where original or early storefronts no longer exist or are too deteriorated to save, the commercial character of the building should be retained through: 1) contemporary design which is compatible with the scale, design, materials, color and texture of the historic buildings; or 2) an accurate restoration of the storefront based on historical research and physical evidence. Storefronts or new design elements on the ground floor, such as arcades, should not be introduced which alter the architectural and historic character of the building and its relationship with the street or its setting or which cause the destruction of significant historic fabric. Materials which detract from the historic or architectural character of the building, such as mirrored glass, should not be used. Entrances through significant storefronts should not be altered.

E. *Grills, exhaust fans, Etc.* Grills, exhaust outlets for air conditioners, bath and kitchen exhaust fans should be incorporated into filler panels and kept out of principal facades, if possible. They may be painted the same color as the filler panel.

(Ord. No. 17120, § 2, 3-22-84)

E. FINDINGS:

1. On March 22, 1984, the Historic Lowertown Heritage Preservation District was established under Ordinance No. 17120, § 2. The Heritage Preservation Commission shall protect the architectural character of heritage preservation sites through review and approval or denial of applications for city permits for exterior work within designated heritage preservation sites §73.04.(4).
2. The building was constructed circa 1885 and is categorized as pivotal to the character of the Historic Lowertown Heritage Preservation District.
3. The **Period of Significance** for the Lowertown Heritage Preservation District is 1867-1929.
4. **Leg. Code § 74-112 II a.** All work should be of a character and quality that maintain the distinguishing features of the building and the environment. The removal of architectural features is not permitted.
 - a. Storefront & Tile - While the tile in the entryway appears to date to the period

of significance for the district, the surround storefront material is not historic and its removal and reconfiguration will not adversely impact the property, as the glazing and bulkhead proportions and configurations approved by the HPC in 2006 will be replicated.

- b. New opening - The limestone rubble wall on the west elevation is a primary façade, which was originally a party wall with a non-extant building to the west. The removal of a 3 ft. by 8 ft. section for the installation of a door near the southwest corner will not have an adverse impact on the property.
 - c. New Patio and Fence – The concrete retaining wall, patio, and fence on the west elevation will not result in the concealing or removal of architectural features or details. The patio should be installed in a way that will have as little impact as possible to the limestone wall. The metal picket fence is of a scale and character appropriate to the site and district.
5. **Storefronts §74-112.II.B.a** The openings on the alley elevation will be retained and will not be reduced or enlarged. Staff has not conducted a site visit to determine if any original windows or doors remain. If they do, they should be repaired and at minimum, kept in place for future repair.
 6. **Storefronts §74-112.II.B.f** The entrances on the primary elevations were last replaced in 2006 with review and approval by the HPC. The alteration of the storefront will removal of an early or original entry way, but will not result in the loss of historic material but will result in an alteration of the configuration. Historic photographs of the storefront were not found. The tile appears to date to the period of significance and should be retained in place or used to repair any broken or missing tiles in the two other tiled entries at the façade.
 7. **Vents Leg. Code § 74-112 II E** Vents are proposed on the rear elevation and in existing openings. This complies with the guideline. Specifications will need to be provided for final approval.
 8. The proposal to alter the storefront, construct a patio, install a new entry in the west elevation, and alter the historic openings at the alley elevation at 248 Seventh Street East will not adversely affect the Program for the Preservation and architectural control of the Historic Lowertown Heritage Preservation District (Leg. Code §73.06 (e)) so long as the conditions are met.

E. STAFF RECOMMENDATION:

Based on the findings, staff recommends approval of the building permit application with the following conditions:

1. HPC staff shall conduct a site visit to photo document the storefront and alley elevations. The opening on the alley elevation shall be photographed from both the interior and exterior.
2. The shutters on the alley elevation shall be recessed into the openings with the exception of the opening with the roll-up door – the shutter shall be set into the opening as far as it can be.
3. Specifications for the vents shall be submitted to HPC staff for final review and approval. The vents shall have a dark finish and be recess in the opening.

4. Signage and illumination will require a separate application, review and approval by either HPC staff and/or the HPC.
5. The work shall be painted within one year of permit issuance.
6. All final materials, colors and details shall be submitted to the HPC and/or staff for final review and approval.
7. Any revisions to the approved plans shall be reviewed and approved by the HPC and/or staff.
8. The HPC stamped approved plans shall remain on site for the duration of the project.

F. ATTACHMENTS:

- 1.HPC design review application
- 2.Supporting information submitted by applicant – plans & photos



Saint Paul Heritage Preservation Commission
 Department of Planning and Economic Development
 25 Fourth Street West, Suite 1400
 Saint Paul, MN 55102
 Phone: (651) 266-9078
 ApplyHPC@stpaul.gov

Project Address:
 248 7th Street East

Heritage Preservation Commission Design Review Application

PROCESS

This application must be completed in addition to required city permit applications for individually designated Heritage Preservation Sites and properties located within Heritage Preservation Districts.

Design review applications are reviewed and approved by either heritage preservation staff or the Heritage Preservation Commission (HPC) at a public hearing. HPC staff are authorized to approve work that complies with adopted design review guidelines and preservation programs, available at our website www.stpaul.gov/hpc, while the HPC reviews projects that are significant alterations, demolitions, additions, new construction or proposals that do not comply with HPC guidelines. The decision of whether a proposal may be reviewed and approved by HPC staff or must be reviewed by the HPC at a public hearing is made once a complete application is submitted.

The HPC public hearing schedule is viewable here:

<https://www.stpaul.gov/departments/planning-economic-development/heritage-preservation/heritage-preservation-commission>

A complete application consists of:

- 1) An application form
- 2) Required attachments that adequately describe the proposed work (see attached checklist)

An incomplete application will be put on hold and staff will contact you for additional information. If an application is incomplete for 30 days after it was received, it will be returned to the applicant.

Complete applications will be reviewed in the order they are received. **Applications are not entered in queue to be reviewed until staff has determined them to be complete.** Once reviewed, a Certificate of Approval will be issued along with any conditions for the proposed work. You will be notified by staff when the Certificate of Approval has been issued and a copy will be sent to the Department of Safety and Inspections (DSI) to complete the HPC process of obtaining the necessary permit(s).

1. CATEGORY

Please check the category that best describes the proposed work

- | | | |
|--|--|---|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning | <input type="checkbox"/> New Construction/Addition/
Alteration |
| <input type="checkbox"/> Moving | <input checked="" type="checkbox"/> Fence/Retaining Wall | <input type="checkbox"/> Pre-Application Review Only |
| <input type="checkbox"/> Demolition | <input checked="" type="checkbox"/> Other <u>Cut in new side door to patio</u> | |

2. PROJECT ADDRESS

Street and number: 248 7th Street East Zip Code: 55101

3. APPLICANT INFORMATION

Name of contact person: Michael P Johnson
Company: MP Johnson Construction Inc
Street and number: 50 South 6th Street, Suite 1413
City: Minneapolis State: MN Zip Code: 55402
Phone number: 612 369 1100 e-mail: mike@mpjohnson.com

4. PROPERTY OWNER(S) INFORMATION (If different from applicant)

Name: MB Properties LLC
Street and number: 50 South 6th Street, Suite 1413
City: Minneapolis State: MN Zip Code: 55402
Phone number: 612 369 1100 e-mail: mike@mpjohnson.com

5. PROJECT ARCHITECT (If applicable)

Contact person: Marc Lindvig
Company: Marc Lindvig, AIA
Street and number: 4818 Oakland Ave
City: Minneapolis State: MN Zip Code: 55417
Phone number: 612 968 2048 e-mail: molindvig@yahoo.com

6. PROJECT DESCRIPTION

Completely describe ALL exterior changes being proposed for the property. Include description of affected existing exterior features and changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.

See attached

Attach additional sheets if necessary



Description of work

Remove recessed entry 244 at storefront and fill in flush to match existing. Raise the grade on the Wacouta (West) side so it is level with the sidewalk on 7th by installing a concrete retaining wall along the sidewalk from the 7th St E to the alley (the wall would start at 0 elevation, i.e. the front sidewalk, and be about 2 ½ feet tall at the alley. We would then pour a permeable concrete patio with a small set of stairs for a second exit off the patio. This patio would be at the same elevation the original building's floor once was. This patio would have a Black steel picket fence railing poured into the top of the new patio. Also on the west side of the building cut in a new 3'0" x 8'0" second exit and access to the outdoor patio space. In the alley we propose to remove the temporary Ox board from the existing widows and build shutters to cover the overhead coiling door for the loading dock access, fill in the recessed doorway with matching materials and install 1 new HM door, frame and hardware (also painted black) recessed 1 to 2 Inches from the existing back wall, this new door will swing inward and only services the basement space. The remaining two boarded up openings will also match the shutter look and will be the same material. See attached details. This portion of the work will be permitted separately from the interior portion.

7. ATTACHMENTS & DESIGN REVIEW CHECKLIST

Please refer to the following checklist section(s) that relate to your proposed scope of work and check next to the items that are attached to your application. Attach all checked items listed to this application or attach in an email to ApplyHPC@stpaul.gov

Staff may contact you for additional information or materials.

If your project or work type is not included in this checklist, please contact the staff by calling 651-266-9078 or sending an e-mail to applyhpc@stpaul.gov for assistance on how to complete an application.

<i>Applicant Submitted</i>	<i>Staff Received</i>	<i>Date Received</i>	
			Restoration /Repair/Rehabilitation
<input type="checkbox"/>	<input type="checkbox"/>		Three (3) copies of scaled and dimensioned plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections).
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Photographs of all features and areas affected by proposed work.
<input type="checkbox"/>	<input type="checkbox"/>		If an existing architectural feature is being replaced, please provide detailed drawings of the existing feature.
<input type="checkbox"/>	<input type="checkbox"/>		Historic photographs (if any) that inform the restoration/rehabilitation/repair work.
			Sign/Awning:
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of location of proposed signage on structure/property.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of structure and all exterior sides affected by proposed work.
<input type="checkbox"/>	<input type="checkbox"/>		Three (3) copies of plans that note materials, dimensions, colors, and method of attachment.
<input type="checkbox"/>	<input type="checkbox"/>		Section drawing showing point of installation, method of installation, awning profile and projection.
<input type="checkbox"/>	<input type="checkbox"/>		Illumination plan.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs or elevation of the building showing location of proposed sign in relation to the building and, if applicable, other signage on the building.
			New Construction/Addition/Exterior Alteration:
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Three (3) copies of construction level plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections). Show how the addition(s) relates to the existing structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		Photographs of all features and areas affected by proposed work.
<input type="checkbox"/>	<input type="checkbox"/>		Site plan showing lot dimensions, location of any existing buildings, and proposed addition(s), elevation plans, section and detail drawings as necessary. All plans must be scaled and dimensioned.
<input type="checkbox"/>	<input type="checkbox"/>		Digital copies of the plans and photos submitted on CD or USB.



<u>Applicant Submitted</u>	<u>Staff Received</u>	<u>Date Received</u>	
			Fencing/Retaining Wall:
<input checked="" type="checkbox"/>	<input type="checkbox"/>		A site plan showing the location of the fence/wall in relation to property lines and any structures with measurements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>		An elevation drawing or photo of the proposed fence/wall.
			Roofing:
<input type="checkbox"/>	<input type="checkbox"/>		Sample or description of existing material(s).
<input type="checkbox"/>	<input type="checkbox"/>		Sample or specifications of proposed material(s).
<input type="checkbox"/>	<input type="checkbox"/>		Sample colors.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of all exterior sides affected by the proposed work.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of the building and roof showing existing conditions of roof, coping, flashing, affected masonry, parapet, siding, existing skylights, and/or dormers. Also include any other critical intersections where the roof meets the historic fabric, and sightline drawings when a change in slope or other potentially visible change is proposed.
			Heating, Ventilating, and Air Conditioning Equipment
<input type="checkbox"/>	<input type="checkbox"/>		Site plan showing location of condenser in relation to the building(s) and property lines.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of the proposed location of any condensers or venting.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs demonstrating that the proposed unit is not visible from the street.
<input type="checkbox"/>	<input type="checkbox"/>		A screening plan if a condenser is in the side yard.
<input type="checkbox"/>	<input type="checkbox"/>		Drawing or photograph demonstrating where and how conduit will be attached to the building.
			Window/Sash Replacement:
<input type="checkbox"/>	<input type="checkbox"/>		Statement describing in detail why windows need replacement as well as a description of weatherization efforts and copy of window repair estimates.
<input type="checkbox"/>	<input type="checkbox"/>		Existing window design and dimensions.
<input type="checkbox"/>	<input type="checkbox"/>		Proposed window design, dimensions, and manufacturer's specifications including shop drawings.
<input type="checkbox"/>	<input type="checkbox"/>		Existing type of exterior storm windows.
<input type="checkbox"/>	<input type="checkbox"/>		Proposed style of exterior storm windows.
<input type="checkbox"/>	<input type="checkbox"/>		Existing exterior window trim material.
<input type="checkbox"/>	<input type="checkbox"/>		Proposed exterior window trim material and style.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of all exterior sides where window replacement is being proposed.
<input type="checkbox"/>	<input type="checkbox"/>		Photographs of existing features/conditions which support window replacement proposal.

<i>Applicant Submitted</i>	<i>Staff Received</i>	<i>Date Received</i>	
			Other Items Requested by HPC Staff:
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		

Will any federal money be used in this project? YES NO

Are you applying for the Investment Tax Credits? YES NO

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant: *Michael P Johnson* Date: 12/8/16

Typed name of applicant: Michael P Johnson *Resubmitted 1/30/17*

Signature of owner: *Michael P Johnson* Date: 12/8/16

Typed name of owner: Michael P Johnson *Resubmitted 1/30/17*

Send completed application with the necessary attachments to ApplyHPC@stpaul.gov or to:

Saint Paul Heritage Preservation Commission
 Department of Planning and Economic Development
 25 Fourth Street West, Suite 1400
 Saint Paul, MN 55102

You may also click the button below to attach the completed application to an email that will go directly to ApplyHPC@stpaul.gov . **Please attach supporting documents to the email** as well.





New door to patio - Hollow metal door and frame painted black with full lite glass

BARREL THEORY BEER CO.

Marc Lindvig, AIA
4818 Oakland Avenue
Minneapolis, Minnesota
612.968.2048

ABBREVIATIONS

* FINISH SCHEDULE ABBREVIATIONS ARE SHOWN IN PARENTHESES

A.F.F.	ABOVE FINISHED FLOOR	LAM.	LAMINATE
ACOUS.	ACOUSTICAL	LAV.	LAVATORY
A.C.T. (ACT)	ACOUSTICAL CEILING TILE	L.F.	LINEAL FEET LONG LEG
A.W.C. (AWC)	ACOUSTICAL WALL COVERING	L.L.H.	HORIZONTAL LONG LEG
ADJ.	ADJUSTABLE	L.L.V.	VERTICAL
A/C	AIR CONDITIONING	LOC.	LOCATION, LOCATE
AD.	AUTOMATED EXTERNAL DEFIBRILLATOR	LB.	POUND, POUNDS (weight)
A.H.U.	AIR HANDLING UNIT	MFR.	MANUFACTURER
ALT.	ALTERNATE	MFG.	MANUFACTURING
ALUM.	ALUMINUM	MAS.	MASONRY
A.B.	ANCHOR BOLT	M.O.	MASONRY OPENING
ANOD.	ANODIZED	MATL.	MATERIAL
AP	ACCESS PANEL	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECT(URAL)	MEMB.	MEMBRANE
BM ⁺ BRG.	BEAM BEARING	MIL.	METAL
BRG.	BEARING	MEZZ.	MEZZANINE
BT	BUTYRINOUS	MIN.	MINIMUM
BLK.	BLOCK	MISC.	MISCELLANEOUS
BLKG.	BLOCKING	MTD.	MOUNTED
BD.	BOARD	MULL.	MULLION
B.W.	BOTH WAYS	NOM.	NOMINAL
BOTT.	BOTTOM	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
C.U.H.	CABINET UNIT HEATER	N.A.	NOT APPLICABLE
CAP.	CAPACITY	O.C.	ON CENTER
CL	CENTER LINE	OPNG.	OPENING
C	CARPET	OPP.	OPPOSITE
C.O.	CASED OPENING	O.D.	OUTSIDE DIAMETER
C.SMT.	CASEMENT	OH.	OVERHEAD
CLS.	CEILING	P	PAINT
CMT. BD. (CMTBD)	CEMENT BOARD	PR.	PAIR
CTR.	CENTER	PKNG.	PARKING
CT	CERAMIC TILE	PART.	PARTITION
CLR.	CLEAR	PATT.	PATTERN
COL.	COLUMN	PERIM.	PERIMETER
COLS.	COLUMNS	PL.	PLATE
CONC. (CONC)	CONCRETE	PLAS. (PLAS)	PLASTER
C.M.U. (CMU)	CONCRETE MASONRY UNIT	P.LAM. (PLAM)	PLASTIC LAMINATE
CONF.	CONFERENCE	PLYWD. (PWD)	PLYWOOD
CONST.	CONSTRUCTION	PVC.	POLYVINYL CHLORIDE
CONST. JT.	CONSTRUCTION JOINT	P.V.	POUNDS PER SQUARE FOOT
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE INCH
CONTR.	CONTRACTOR	P.S.I.	POUNDS PER SQUARE INCH
C.J.	CONTROL JOINT	P.R.V.	POWER ROOF VENTILATOR
COORD.	COORDINATION	P/C (PC)	PRECAST CONCRETE
C.G.	CORNER GUARD	PREF. (PREF)	PREFINISHED
COOR.	CORRIDOR	PROP.	PROPERTY
DEM.	DEMOLISH, DEMOLITION	P.L.	PROPERTY LINE
DET.	DETAIL	Q.T. (QT)	QUARRY TILE
DIAG.	DIAGONAL	REF.	RADIUS
DIA.	DIAMETER	REFG.	REFERENCE
DIMS.	DIMENSION	REFR.	REFRIGERATION
DISP.	DISPENSER	REFR.	REFRIGERATOR
DIV.	DIVISION	REINF.	REINFORCED
DR.	DOOR	REQD.	REQUIRED
DN.	DOWN	REV.	REVERSE(D), REVISED
DS.	DOWNSPOUT	R.H.	RIGHT HAND
DWG.	DRAWING	R.O.W.	RIGHT OF WAY
D.F.	DRINKING FOUNTAIN	R.D.	ROOF DRAIN
E.F.	EACH	RM.	ROOM
E.F.	EACH FACE	R.O.	ROUGH OPENING
E.W.	EACH WAY	R.S.N.	THERMOPLASTIC RESIN PANELS
ESMT.	EASEMENT	SAN.	SANITARY
E.W.C.	ELECTRIC WATER COOLER	SCHD.	SCHEDULE
ELEC.	ELECTRIC(AL)	SLNT.	SEALANT
EL.	ELEVATION	SECT.	SECTION
ELEV.	ELEVATOR	SHT.	SHEET
EMER.	EMERGENCY	SHWR.	SHOWER
ENCL.	ENCLOSURE	SIM.	SIMILAR
EQ.	EQUAL	S.C.	SOLID CORE
EQUIP.	EQUIPMENT	S.	SEALER
E.F.	EXHAUST FAN	SPEC.	SPECIFICATION(S)
EXST. (EXST)	EXISTING	SQ.	SQUARE
EXP.	EXPANSION	S.F.	SQUARE FEET
E.B.	EXPANSION BOLT	SP	SUMP PUMP
E.J.	EXPANSION JOINT	S.Y.	SQUARE YARD
EXPO. (EXPO)	EXPOSED	S.S. (SS)	STAINLESS STEEL
EX.	EXTERIOR	STD.	STANDARD
F.P.	FIBERGLASS REINFORCED PANEL	STL.	STEEL
FT.	FEET OR FOOT	STL. JST.	STEEL JOIST
(FRPP)	FIBER REINFORCED PLASTIC PANEL	ST	STONE TILE
FIN.	FINISH	(STN)	STONE SLAB
F.F.E.	FINISHED FLOOR ELEVATION	STR.	STORAGE
F.A.	FIRE ALARM	STRM.	STORM
F.E.	FIRE EXTINGUISHER	SW.	SWITCH
F.E.(K)	FIRE EXTINGUISHER-KITCHEN & EQUIP. AREAS	SYMB.	SYMBOL
FIXT.	FIXTURE	SYM.	SYMMETRICAL
FLR.	FLOOR	(TERZ)	TERRAZZO
F.D.	FLOOR DRAIN	T.	TREAD
FLUOR.	FLUORESCENT	T.O.C.	TOP OF CONCRETE
FTC.	FOOTING	T.O.F.	TOP OF FOOTING
FNDN.	FOUNDATION	T.O.M.	TOP OF MASONRY
FURN.	FURNITURE	T.O.S.	TOP OF STEEL
FURN.	FURNITURE	T.O.W.	TOP OF WALL
FURR. (NG)	FURRING (NG)	T&B	TOP AND BOTTOM
GALV.	GALVANIZED	T&G	TONGUE AND GROOVE
GA.	GAUGE, GAGE	TEL.	TELEPHONE
G.C.	GENERAL CONTRACTOR	TEMP.	TEMPERED
GL. BLK.	GLASS BLOCK	TOPO.	TOPOGRAPHY
GL.	GLASS	UNFIN.	UNFINISHED
GLAZ.	GLAZING	U.H.	UNIT HEATER
G.B.	GRAB BAR	U.N.O.	UNLESS NOTED OTHERWISE
GR.	GRADE, GRADING	VP.	VAPOR BARRIER
G.F.I.	GROUND FAULT INTERRUPTER	V.T.R.	VENT THROUGH ROOF
GYP. BD. (GB)/GWB	GYP. BOARD (SCHEDULES)	V.T.S.	VINYL TRANSITION STRIP
HC.	HANDICAP(PED)	VERT.	VERTICAL
HDWE.	HARDWARE	VEST.	VESTIBULE
HDR.	HEADER	V.B. (VB)	VINYL BASE
H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	V.C.I. (VCT)	VINYL COMPOSITION TILE
HT.	HEIGHT	V.W.C. (VWC)	VINYL WALLCOVERING
H.M.	HOLLOW METAL	WSC.T. (WSC.T)	WAINSCOT
HORIZ.	HORIZONTAL	W.C.	WATER CLOSET
HPC.	HIGH PERFORMANCE COATING	W.H.	WATER HEATER
H.B.	HOSE BIB	WT.	WEIGHT
H.W.	HOT WATER	W.W.F.	WELDED WIRE FABRIC
HR.	HOUR	WDW.	WINDOW
HYD.	HYDRANT	W/	WITH
IN.	INCH(ES)	W/O	WITHOUT
INCL.	INCLUDE(D), INCLUDING	WD. (WD)	WOOD
I.D.	INSIDE DIAMETER	W.P. &	WORKING POINT
INSUL.	INSULATE, INSULATION	W.P. &	WORKING POINT
INT.	INTERIOR	W.P. &	WORKING POINT
JAN.	JANITOR	Ø	AND
JT.	JOINT	Ø	AT
JST.	JOIST	<	CENTER LINE
JST. BRG.	JOIST BEARING	<	DIAMETER
KIT.	KITCHEN	#	NUMBER, POUNDS
K.O.	KNOCK OUT	>	PLATE
		;	PLUS OR MINUS

SHEET INDEX

A0.00	COVER SHEET
A0.01	CODE PLANS
AD1.01	DEMOLITION PLANS
A1.01	FLOOR PLANS
A1.02	FINISH PLANS
A2.01	EXTERIOR ELEVATIONS
A5.01	REFLECTED CEILING PLAN
A6.01	FINISH SCHEDULE & INTERIOR ELEVATIONS
A7.01	PARTITION TYPES AND DETAILS
A7.02	DOOR SCHEDULE, TYPES, AND DETAILS
A8.01	SPECIFICATIONS

248 7TH STREET EAST ST. PAUL, MINNESOTA

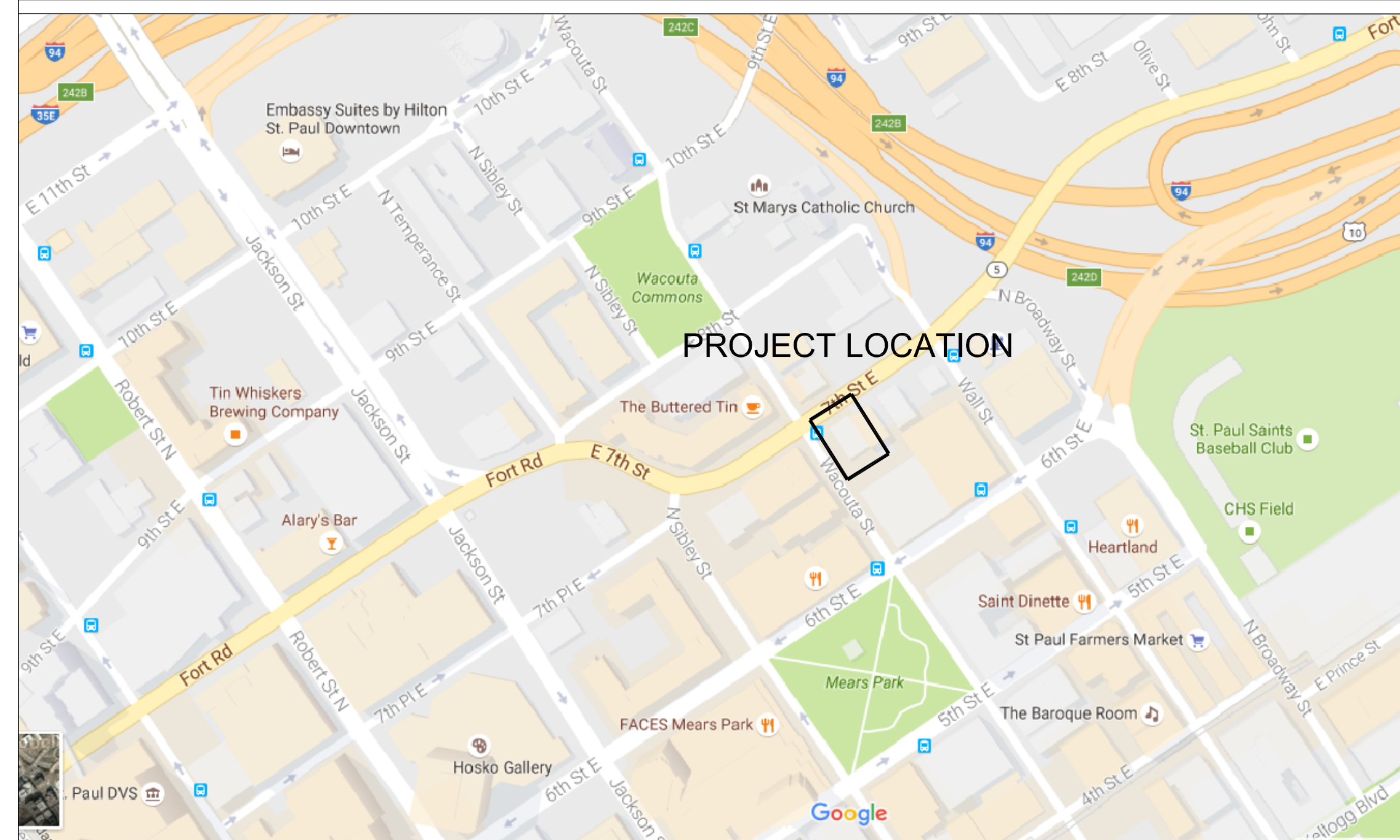
PROJECT TEAM

OWNER / APPLICANT	OWNERS REP.
MP JOHNSON CONSTRUCTION, INC. 50 SOUTH 6TH STREET, SUITE 950 MINNEAPOLIS, MN 55402 PHONE: 612.339.3733 CONTACT: MIKE JOHNSON	MP JOHNSON CONSTRUCTION, INC. 50 SOUTH 6TH STREET, SUITE 950 MINNEAPOLIS, MN 55402 PHONE: 612.339.3733 CONTACT: MIKE JOHNSON
ARCHITECT	GEN. CONTRACTOR
MARC LINDVIG, AIA 4818 OAKLAND AVE MINNEAPOLIS, MN 55417 PHONE: 612.968.2048 CONTACT: MARC LINDVIG	MP JOHNSON CONSTRUCTION, INC. 50 SOUTH 6TH STREET, SUITE 950 MINNEAPOLIS, MN 55402 PHONE: 612.339.3733 CONTACT: MIKE JOHNSON

GENERAL NOTES

- ALL PORTIONS OF THE WORK, INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC. - MUST COMPLY WITH THE MINIMUM REQUIREMENT OF THE GOVERNING REGULATIONS OF ALL THE FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO GOVERNING REGULATIONS.
- PROJECT SHALL COMPLY WITH THE "MINNESOTA DEPARTMENT OF AGRICULTURE - RETAIL FOOD ESTABLISHMENT CONSTRUCTION GUIDE".
- CONTRACTOR(S) SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- ALL CONSTRUCTION SHALL CONFORM TO ADA ACCESSIBILITY REQUIREMENTS. DIMENSIONS INDICATED ARE REQUIRED. CLEAR DIMENSIONS WITH NO ALLOWANCE FOR CONSTRUCTION TOLERANCES. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS AFFECTING SPECIFIED DIMENSIONS PRIOR TO COMMENCING WITH THE WORK.
- PURCHASE AND MAINTAIN CERTIFICATIONS OF INSURANCE WITH RESPECT TO WORKERS COMPENSATION, PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE LIMITS AS REQUIRED BY LAW. THE CERTIFICATIONS SHALL NAME THE CLIENT AND THE ARCHITECT OF RECORD AS ADDITIONALLY INSURED. THE CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING WORK ON SITE ARE REQUIRED TO MEET LANDLORD'S INSURANCE REQUIREMENTS.
- WHEN PORTIONS OF THE PROJECT ARE PERFORMED BY THE CONTRACTOR ON A "DESIGN-BUILD" BASIS, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN OF SUCH SYSTEMS AND FOR THE COORDINATION OF THE DESIGN BUILD SUBCONTRACTORS, WHO SHALL BE THE ENGINEERS OF RECORD FOR SUCH SYSTEMS.
- PROVIDE MECHANICAL AND PLUMBING SYSTEMS WORK TO COMPLY WITH APPLICABLE CODES. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR SHOP DRAWINGS, PERMITS AND APPROVALS FOR THE MECHANICAL SYSTEMS WORK AND COORDINATION WITH OTHER TRADES.
- PROVIDE FIRE PROTECTION SPRINKLER SYSTEMS ENGINEERING WORK TO COMPLY WITH APPLICABLE CODES. THE FIRE PROTECTION CONTRACTOR IS RESPONSIBLE FOR SHOP DRAWINGS, PERMITS, AND APPROVALS FOR THE FIRE PROTECTION SPRINKLER SYSTEMS WORK AND COORDINATION WITH OTHER TRADES.
- PROVIDE ELECTRICAL SYSTEMS ENGINEERING WORK TO COMPLY WITH APPLICABLE CODES. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR SHOP DRAWINGS, PERMITS AND APPROVALS FOR THE ELECTRICAL SYSTEMS WORK AND COORDINATION WITH THE OTHER TRADES.
- PROVIDE LIFE SAFETY SYSTEMS ENGINEERING WORK TO COMPLY WITH APPLICABLE CODES. THE LIFE SAFETY SYSTEM CONTRACTOR IS RESPONSIBLE FOR SHOP DRAWINGS, PERMITS, AND APPROVALS FOR THE LIFE SAFETY SYSTEM WORK AND COORDINATION WITH OTHER TRADES.
- BEFORE PROCEEDING WITH CONSTRUCTION CHECK CONTRACT DOCUMENTS, FIELD CONDITIONS, AND DIMENSIONS FOR ACCURACY AND FOR CONFIRMING THAT THE PROJECT IS BUILDABLE AS SHOWN. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION QUESTIONS SUBMIT THEM IN WRITING TO THE ARCHITECT. OBTAIN A WRITTEN CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- INFORMATION RELATED TO THE EXISTING CONDITIONS GIVEN HEREIN WAS OBTAINED FROM OWNER. IN PROVIDED DOCUMENTATION AVAILABLE TO THE ARCHITECT AND SITE VISITS AT THE TIME OF DESIGN. THE ACCURACY OF ALL SUCH INFORMATION HAS NOT BEEN VERIFIED DRAWINGS AND SPECIFICATIONS ARE INTENDED FOR ASSISTANCE AND GUIDANCE, BUT EXACT DIMENSIONS AND ELEVATIONS SHALL BE GOVERNED BY ACTUAL FIELD CONDITIONS AND SHALL BE VERIFIED BY THE CONTRACTOR.
- THE ARCHITECT HAS NO KNOWLEDGE OF AND SHALL NOT BE HELD LIABLE FOR ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ON THE PROJECT SITE. PRIOR TO STARTING WORK THE CONTRACTOR SHALL MAKE A GOOD FAITH EFFORT TO IDENTIFY ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS. IF ASBESTOS OR OTHER HAZARDOUS MATERIALS ARE DISCOVERED PRIOR TO STARTING WORK OR DURING DEMOLITION STOP WORK IMMEDIATELY AND CONTACT THE OWNER AND ARCHITECT FOR FURTHER INSTRUCTIONS BEFORE PROCEEDING.
- MAINTAIN ALL FIRE RATINGS. PATCH AND REPAIR ALL OPENINGS, VOIDS AND PARTIALLY DEMOLISHED WALLS IN FLOOR, WALLS AND CEILINGS TO MAINTAIN A FIRE RATING EQUAL TO OR GREATER THAN THE EXISTING RATING.
- INSTALL PRODUCTS AND APPLY FINISHES IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND SPECIFICATIONS, UNLESS DIRECTED OTHERWISE BY THE ARCHITECT.
- ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED.
- ALL CASEWORK SHALL BE CUSTOM GRADE OR BETTER AS DEFINED BY THE ARCHITECTURAL WOOD INSTITUTE.

VICINITY MAP



SYMBOL LEGEND

	DETAIL REFERENCE	1130	DOOR NUMBER REFERENCE
	ELEVATION/SECTION REFERENCE		KEY NOTE
	WALL TYPE REFERENCE		REVISION REFERENCE
	ROOM NAME AND NUMBER		FRAME TYPE REFERENCE

ISSUE #	DATE	DESCRIPTION
1	10.XX.16	ISSUED FOR PERMIT

Barrel Theory Beer Co.
248 7th Street East
St. Paul, Minnesota

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Architect under the laws of the State of Minnesota.

Marc Lindvig
42632 License # 1-5-17 Date

Date: 1.5.17
Project: BARREL THEORY BEER CO.

Sheet Title: COVER SHEET

Sheet Number: A0.00

CODE SUMMARY:

BUILDING DATA
ADDRESS:
248 7TH STREET EAST
ST PAUL, MN

STORIES: 3

AREA:
BARREL THEORY BEER CO.
BASEMENT 3,932 SF
LEVEL 1 3,932 SF
LEVEL 2 3,932 SF
LEVEL 3 3,932 SF
TOTAL 15,728 SF

DARK HORSE
BASEMENT 3,965 SF
LEVEL 1 3,965 SF
LEVEL 2 3,965 SF
LEVEL 3 3,965 SF
TOTAL 15,860 SF

OCCUPANCY ASSEMBLY A-2

CONSTRUCTION TYPE: IIB

OCCUPANCY SEPARATION: USING PROVISION 508.3 NONSEPARATED OCCUPANCIES

SPRINKLERS: AUTOMATIC SPRINKLER SYSTEM PROVIDED THROUGHOUT STRUCTURE IN ACCORDANCE WITH NFPA 13

ALLOWABLE HEIGHT: 2 STORIES (+1 STORY - INCREASE FOR SPRINKLERS) = 3 STORIES
EXISTING STRUCTURE: 3 STORIES

ALLOWABLE AREA: 9,500 SF / STORY (+200% - INCREASE FOR SPRINKLERS) = 19,000 SF
EXISTING STRUCTURE:

BARREL THEORY BEER CO.	3,932 SF
DARK HORSE	3,965 SF
TOTAL	7,897 SF / FLOOR

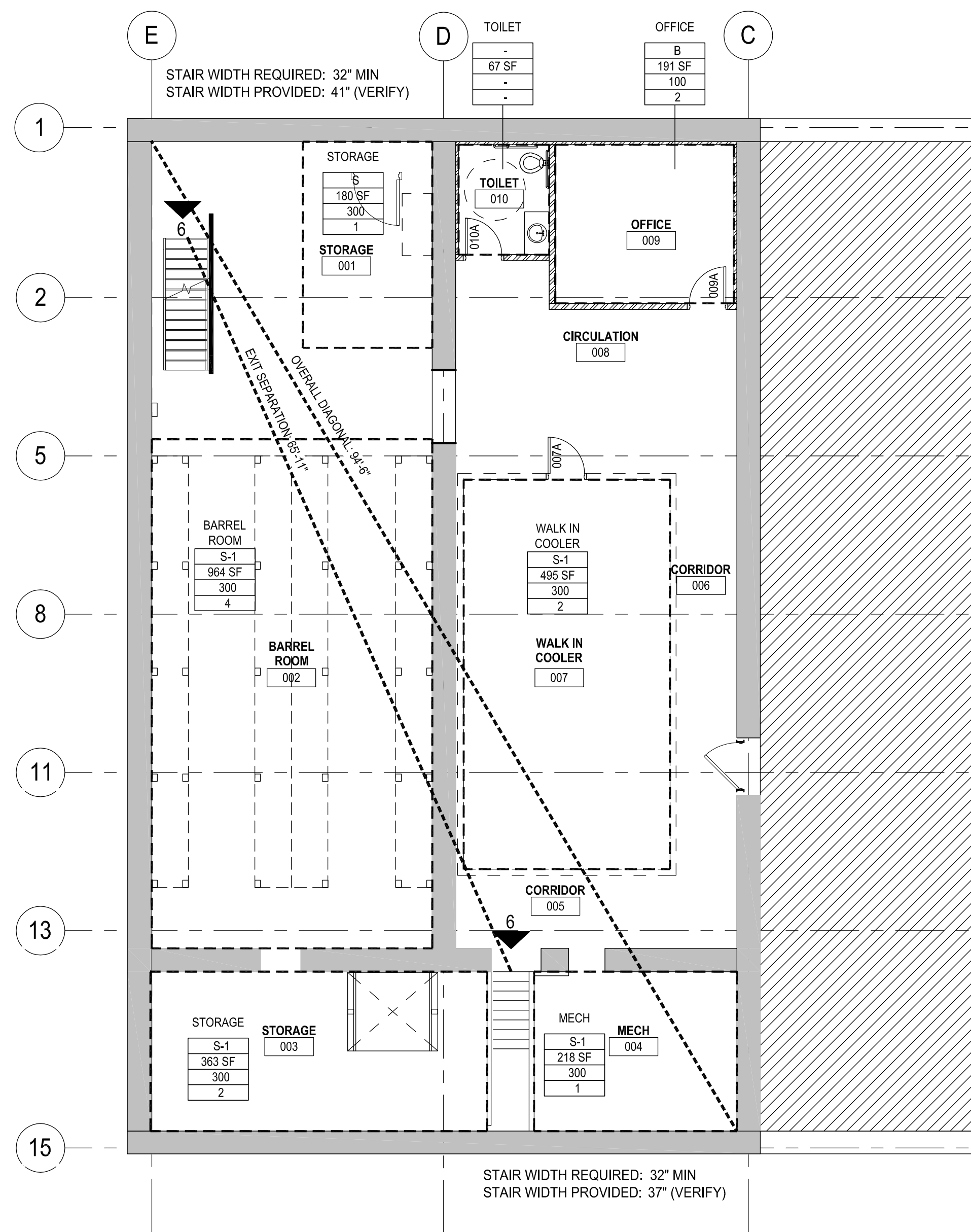
APPLICABLE CODES:

2012 MINNESOTA BUILDING CODE
2012 MINNESOTA ACCESSIBILITY CODE
2015 MINNESOTA COMMERCIAL ENERGY CODE
2015 MINNESOTA STATE FIRE CODE

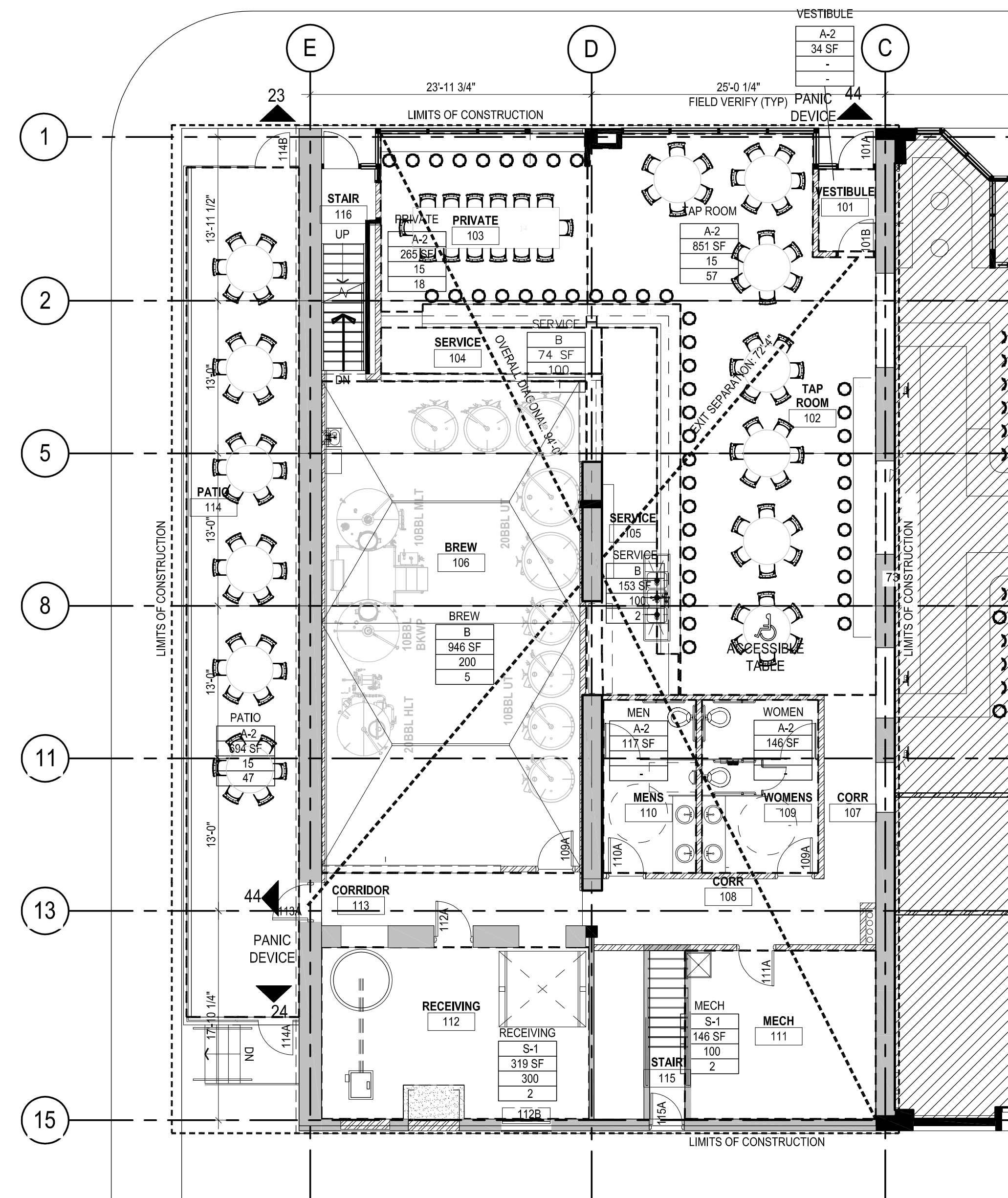
PLAN SYMBOL KEY:

ROOM NAME	ROOM NAME
OCCUPANCY CLASSIFICATION	X
AREA	XX SF
OCCUPANT LOAD FACTOR (TABLE 1004.1.2)	X
OCCUPANCY	X

ISSUE #	DATE	DESCRIPTION
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1 LOWER LEVEL - CODE PLAN
1/8" = 1'-0"



2 LEVEL ONE - CODE PLAN
1/8" = 1'-0"

Room Number	Use	Sq. Ft.	Note	Occupancy class	SF/Person	Misc	# of Occs
Basement Level							
1	Storage	180	--	S	300	--	1
2	Barrel Room	964	--	S-1	300	--	4
3	Storage	363	--	S-1	300	--	2
4	Mechanical	218	--	S-1	300	--	1
5	Corridor	--	--	--	--	--	--
6	Corridor	--	--	--	--	--	--
7	Walk in Cooler	495	--	S-1	300	--	2
8	Circulation	--	--	--	--	--	--
9	Office	191	--	B	100	--	2
10	Toilet	67	--	--	--	--	--
Total Basement level							12
Main Level							
101	Vestibule	34	--	A-2	100	--	1
102	Tap Room	851	--	A-2	15	--	57
103	Private	265	--	A-2	15	--	18
104	Service	74	--	B	100	--	1
105	Service	153	--	B	100	--	2
106	Brew	946	--	B	200	--	5
107	Corridor	--	--	A-2	--	--	--
108	Corridor	--	--	A-2	--	--	--
109	Women's WC	131	--	A-2	--	--	--
110	Men's WC	117	--	A-2	--	--	--
111	Mechanical	146	--	S-1	100	--	2
112	Receiving	349	--	S-1	300	--	2
113	Corridor	--	--	A-2	--	--	--
Total Main level							88
Building Total							100

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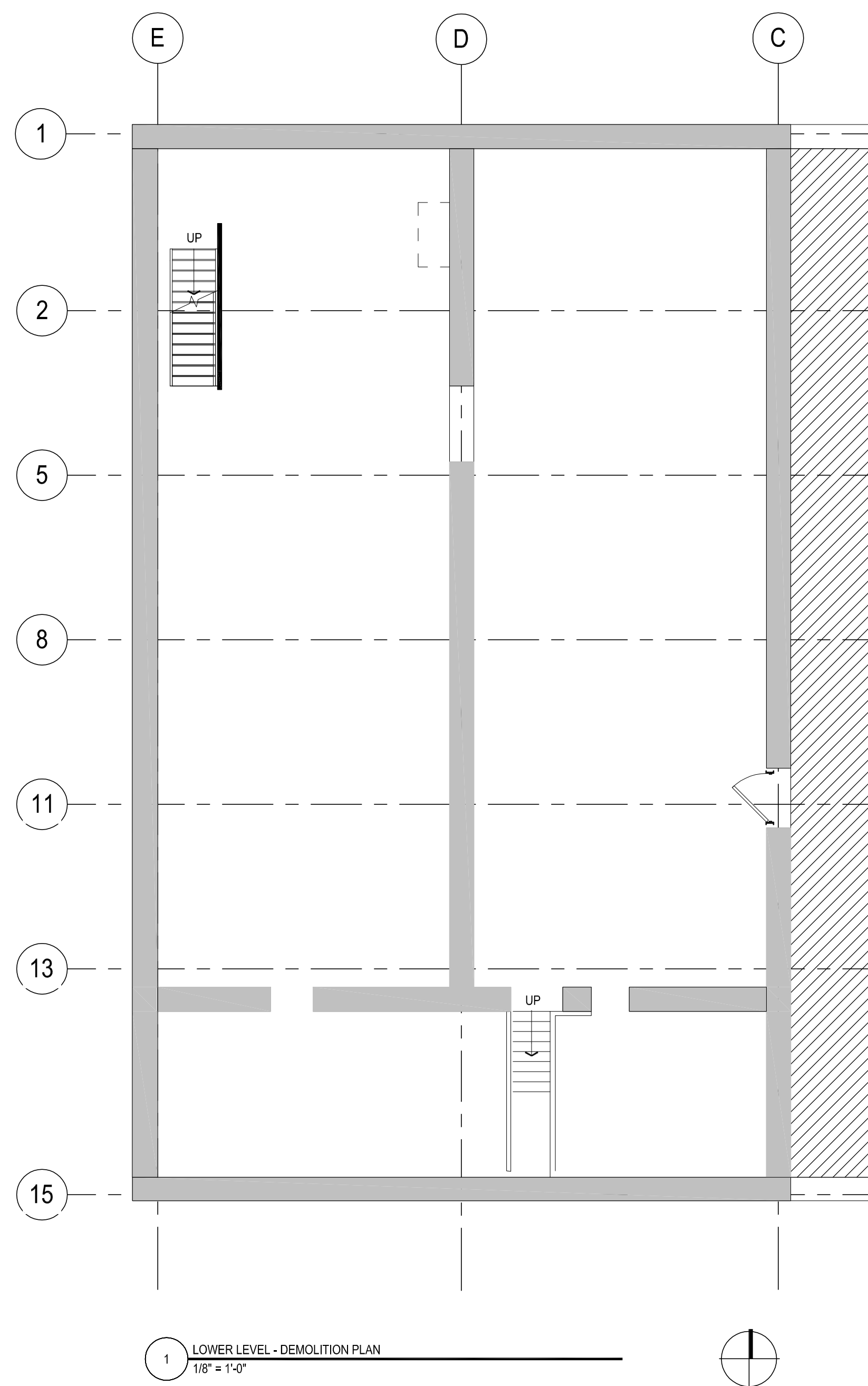
Marc Lindvig
Marc Lindvig

42632 1-5-17
License # Date

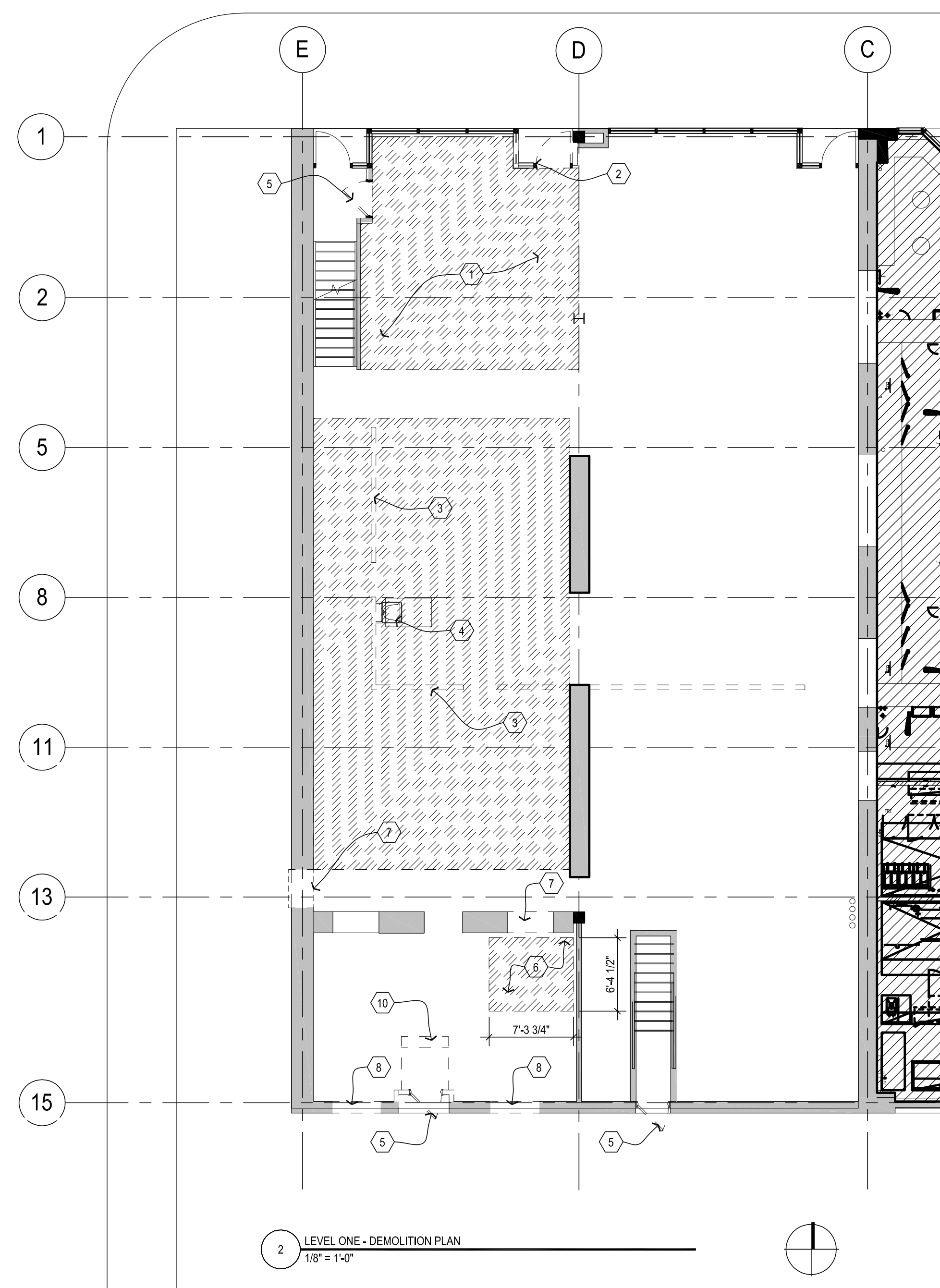
Date: 1.5.17
Project: BARREL THEORY BEER CO.

Sheet Title: LOWER LEVEL AND FIRST LEVEL CODE PLANS

Sheet Number: A0.01



1 LOWER LEVEL - DEMOLITION PLAN
 1/8" = 1'-0"



2 LEVEL ONE - DEMOLITION PLAN
 1/8" = 1'-0"

GENERAL DEMOLITION & PATCHING NOTES:

1. CONTRACTOR TO FIELD, VERIFY ALL EXISTING CONDITIONS
2. ADDITIONAL SPECIFIC DEMOLITION REQUIRED FOR INSTALLATION OF NEW CONSTRUCTION IS INDICATED AND/OR NOTED ON OTHER DRAWINGS.
3. AT WALLS, FLOORS, AND CEILING AREAS INDICATED FOR DEMOLITION, REMOVE ALL INTEGRAL DEVICES AND EQUIPMENT PRESENT UNLESS SPECIFICALLY INDICATED OTHERWISE.
4. ALL SURFACES TO REMAIN, DAMAGED BY INDICATED AND/OR REQUIRED DEMOLITION SHOULD BE PATCHED AND/OR PAINTED TO MATCH EXISTING ADJACENT SURFACES TO REMAIN UNLESS SPECIFICALLY INDICATED OTHERWISE.
5. FOR SPECIFIC MECHANICAL AND ELECTRICAL DEVICE AND EQUIPMENT DEMOLITION, SEE MECHANICAL AND ELECTRICAL DEMOLITION NOTES & DRAWINGS.
6. REMOVE WALL DEVICES AND/OR EQUIPMENT AS REQUIRED TO INSTALL NEW FURRED WALLS AS INDICATED AS NEW CONSTRUCTION

DEMOLITION KEY NOTES

- 1 DEMO EXISTING SLOPED WOOD FLOOR (FIELD VERIFY EXTENTS), SALVAGE FOR REINSTALLATION IN SAME LOCATION. PREP STRUCTURE FOR A LEVEL REINSTALLATION OF SALVAGED WOOD FLOOR.
- 2 REMOVE EXISTING STOREFRONT ALCOVE.
- 3 REMOVE EXISTING STUD WALL.
- 4 REMOVE EXISTING PLUMBING FIXTURE.
- 5 REMOVE EXISTING DOOR AND FRAME.
- 6 REMOVE EXISTING FLOOR, INSTALL TEMPORARY SHORING, AND DEMO EXISTING WOOD FLOOR STRUCTURE TO RECEIVE NEW LIFT - VERIFY ROUGH OPENING WITH LIFT MANUFACTURER.
- 7 SAW CUT OPENING IN EXISTING STONE / MASONRY WALL - VERIFY SIZE.
- 8 SAW CUT EXISTING EXTERIOR STONE / MASONRY WALL FROM THE BOTTOM OF THE EXISTING OPENING TO ELEVATION 100'-0"
- 9 REMOVE EXISTING WOOD FLOOR (VERIFY EXTENT), PREP FOR NEW EPOXY FLOORING
- 10 REMOVE EXISTING STAIR, PREP FOR NEW FLOOR.

ISSUE #	DATE	DESCRIPTION
1	10.XX.16	ISSUED FOR PERMIT

Barrel Theory Beer Co.
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 St. Paul, Minnesota

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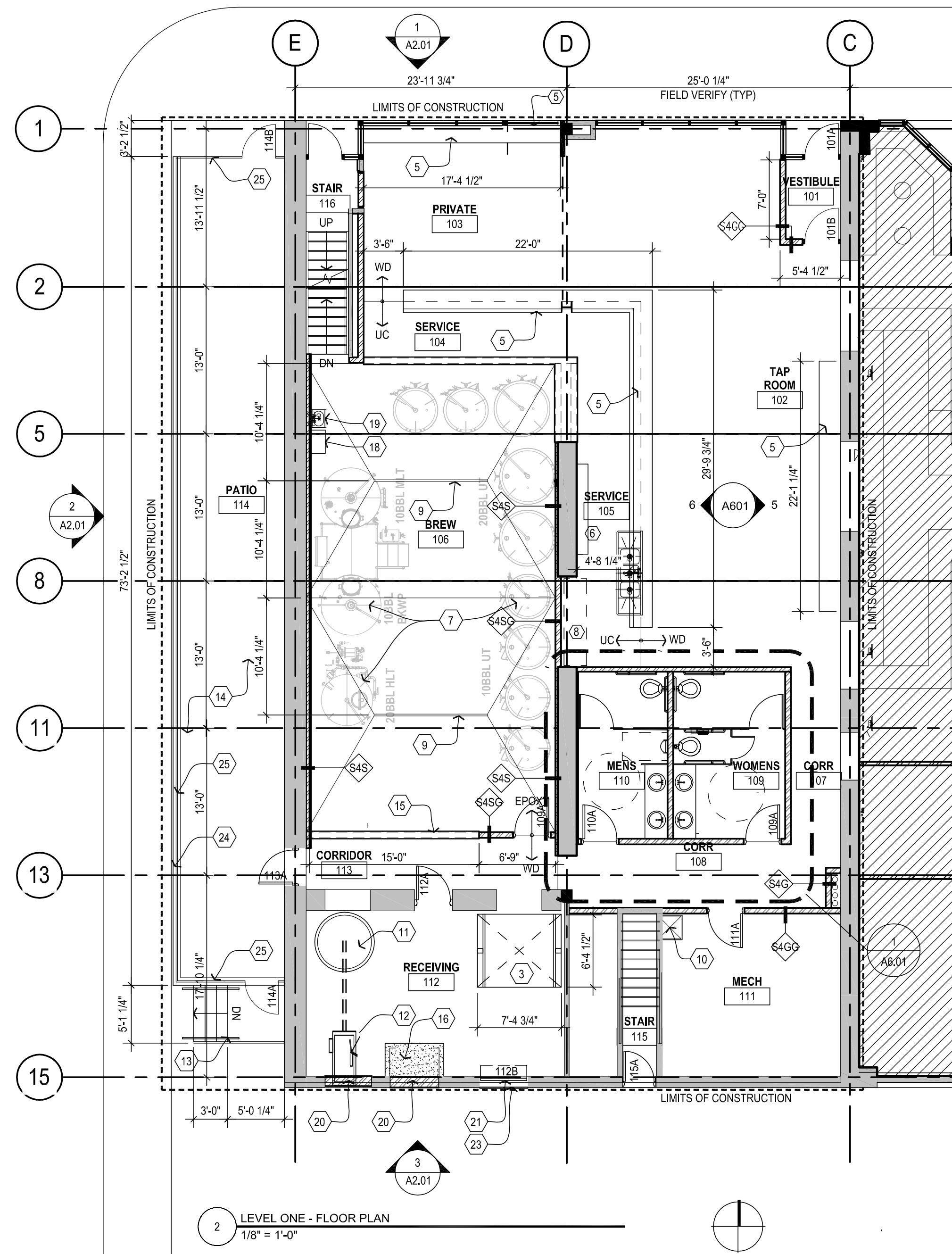
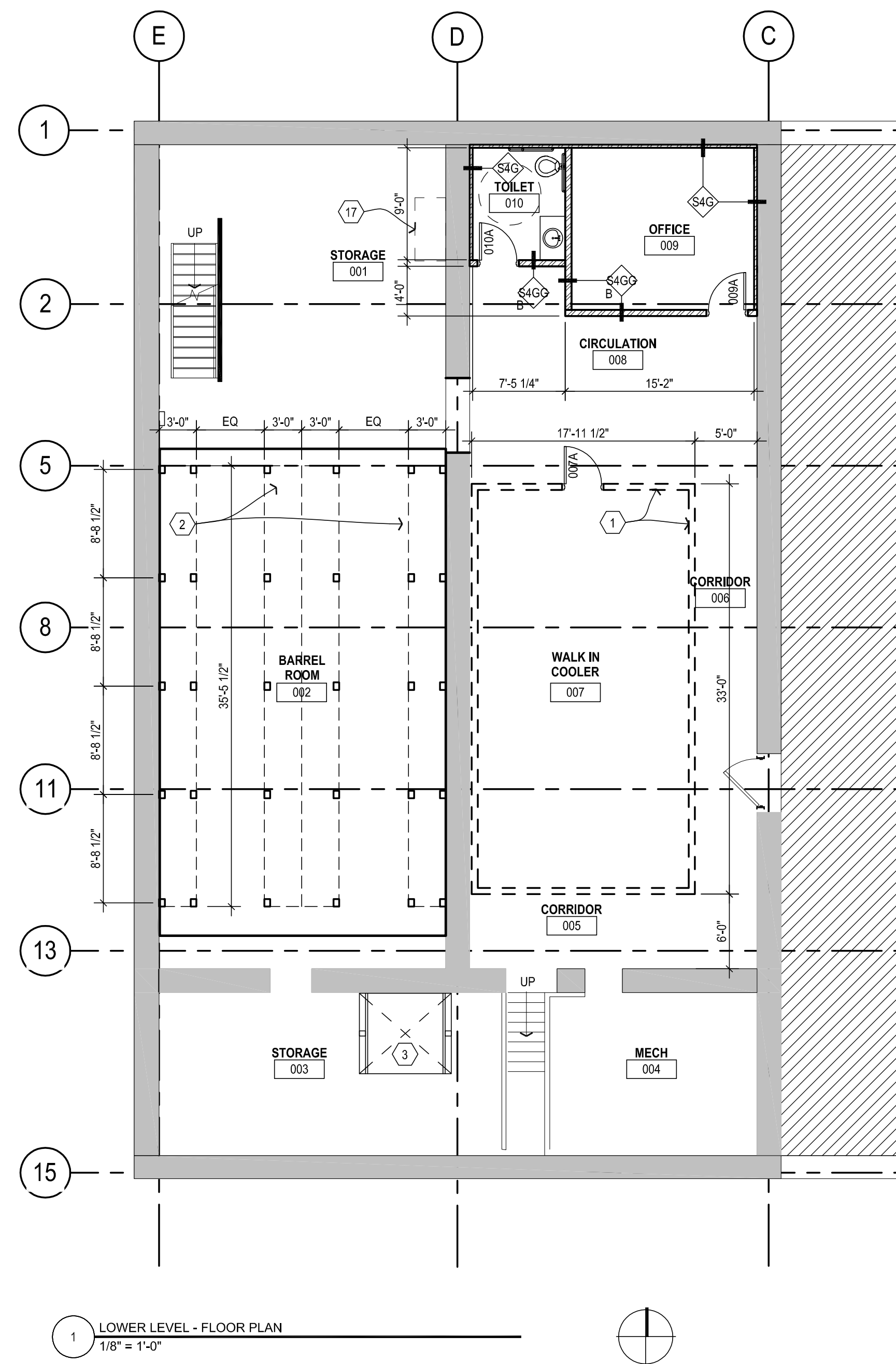
Marc Lindvig
 Marc Lindvig

42632 License # 1-5-17 Date

Date: 1.5.17
 Project: BARREL THEORY BEER CO.

Sheet Title: BASEMENT AND FIRST LEVEL DEMOLITION PLANS

Sheet Number: AD1.01



- GENERAL NOTES**
- SEE EQUIPMENT SUPPLIERS DRAWINGS FOR EXACT LAYOUT OF EQUIPMENT.
 - INTERIOR PLAN DIMENSIONS ARE TO FACE OF CMU AND CENTERLINE OF STUD U.N.O.
 - MAIN LEVEL TOP OF WOOD FLOOR ELEVATION = 100'-0", U.N.O.
 - PROVIDE MOISTURE RESISTANT GYP BOARD AT ALL PLUMBING WET WALL LOCATIONS.
 - ALL WOOD TO BE FIRE RETARDANT TREATED.
 - PROVIDE GASKETS AT RECEPTACLES IN ROOMS WITH SOUND INSULATION.
 - SEE SHEET A7.01 FOR WALL TYPES.
 - FIRE STOPPING - AT ALL DUCT, CONDUIT AND PIPE PENETRATIONS THROUGH FIRE RATED WALLS AND FLOOR ASSEMBLES. PROVIDE A FIRE SAFE CONDITION TO MEET UL 1479, UL 2079 OR ASTM E-814 CRITERIA.
 - ALL OPENING DIMENSIONS ARE ROUGH OPENINGS OR MASONRY OPENINGS U.N.O.
 - UNDIMENSIONED INTERIOR DOORS ARE TO BE LOCATED 4" FROM ADJACENT PARTITION OR SURFACE.
 - PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY THE LOCAL FIRE MARSHALL.
 - 1/2" CAULK JOINTS TO OCCUR AT ALL LOCATIONS WHERE THE FLOOR MEETS A VERTICAL PLANE, COLOR TO MATCH GROUT JOINTS.
 - SEE SHEET A5.01 FOR REFLECTED CEILING PLAN
 - SEE COVER SHEET FOR SYMBOL LEGEND.

- KEY NOTES:**
- WALK IN COOLER WALLS
 - BARREL RACKS
 - 1000LB CAPACITY, 2 STOP MOTORIZED PLATFORM LIFT
 - NEW SECTION OF STOREFRONT TO MATCH ADJACENT. VERIFY DIMENSIONS.
 - CUSTOM PARALAM BAR / COUNTER TOP.
 - BEER TAPS
 - BREW EQUIPMENT - SEE VENDOR'S DRAWINGS FOR EXACT LAYOUT.
 - COOLER
 - FLOOR DRAIN
 - MOP SINK
 - MALT SILO - SEE VENDOR'S DRAWINGS FOR EXACT LAYOUT
 - MILL - SEE VENDOR'S DRAWINGS FOR EXACT LAYOUT
 - STAIRS AND LANDING WITH METAL GUARD RAIL. FIELD VERIFY.
 - PERVIOUS CONCRETE PATIO. MATCH ELEVATION OF INTERIOR FFE, SLOPE AWAY FROM BUILDING
 - PARTIAL HEIGHT WALL WITH PARALAM CAP
 - INFILL EXISTING STAIR
 - EXISTING GAS METER
 - DUAL LEVEL EYEWASH
 - HAND SINK
 - INFILL EXISTING OPENING OF EXTERIOR WALL TO MATCH ADJACENT WALL FINISH.
 - OVERHEAD COILING DOOR
 - HOSE BIB
 - SHUTTER TO MATCH HISTORIC CHARACTER OF BUILDING
 - CONCRETE RETAINING WALL SURROUNDING PATIO. T.O. WALL = 100'-0"
 - 4'-0" TALL BLACK PICKET GUARDRAIL SYSTEM TO BE MOUNTED ON TOP OF RETAINING WALL.

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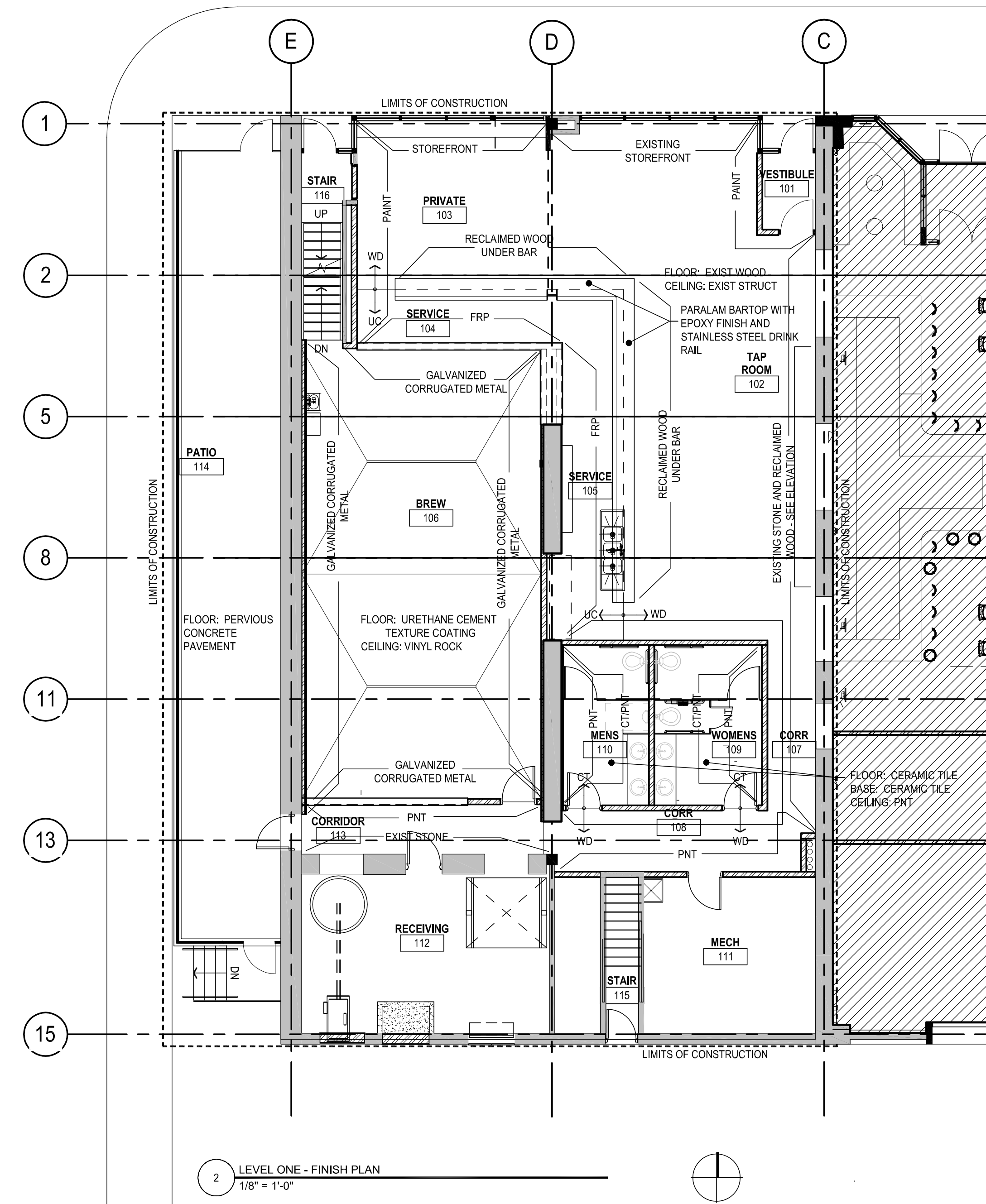
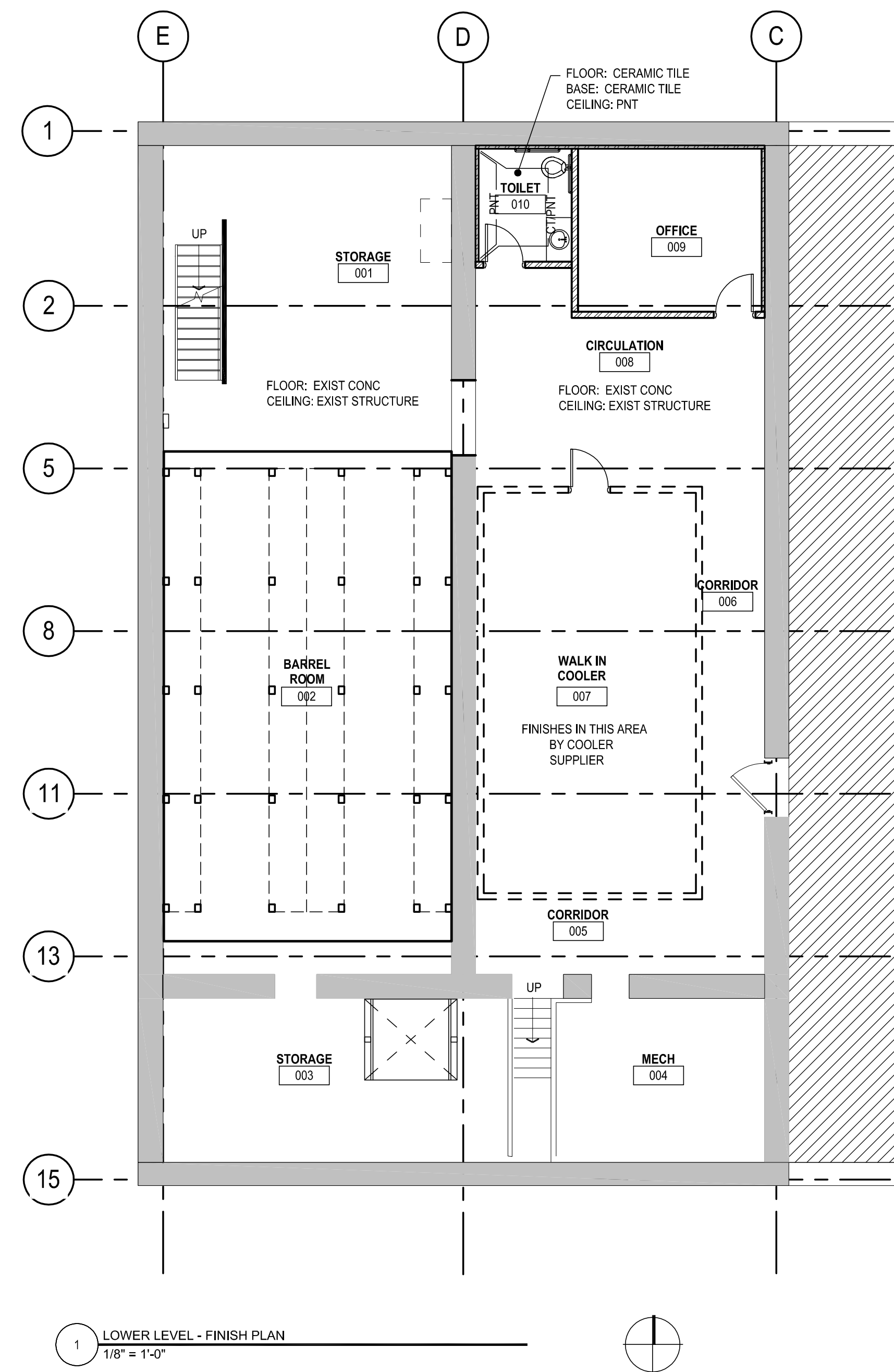
Marc Lindvig
 Marc Lindvig

42632 License # 1-5-17 Date

Date: 1.5.17
 Project: BARREL THEORY BEER CO.

Sheet Title: LOWER LEVEL AND FIRST LEVEL FLOOR PLANS

Sheet Number: A1.01



ISSUE #	DATE	DESCRIPTION
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42632 1-5-17
 License # Date

Date: 1.5.17
 Project: BARREL THEORY BEER CO.

Sheet Title: LOWER LEVEL AND FIRST LEVEL FINISH PLANS

Sheet Number: A1.02



1 NORTH ELEVATION
 1/8" = 1'-0"

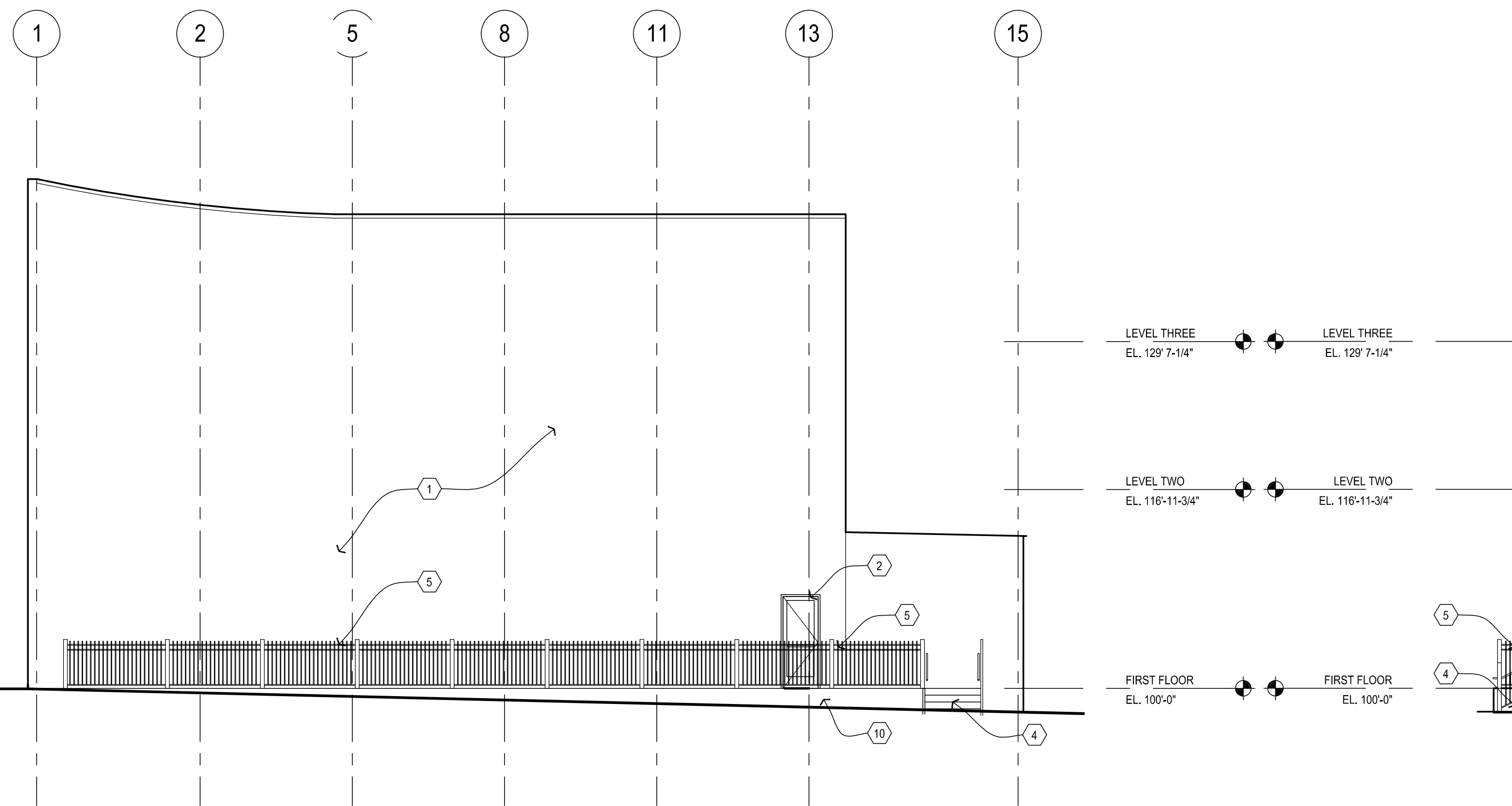
GENERAL NOTES:

1. FIELD VERIFY ALL RELEVANT EXISTING CONDITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS.

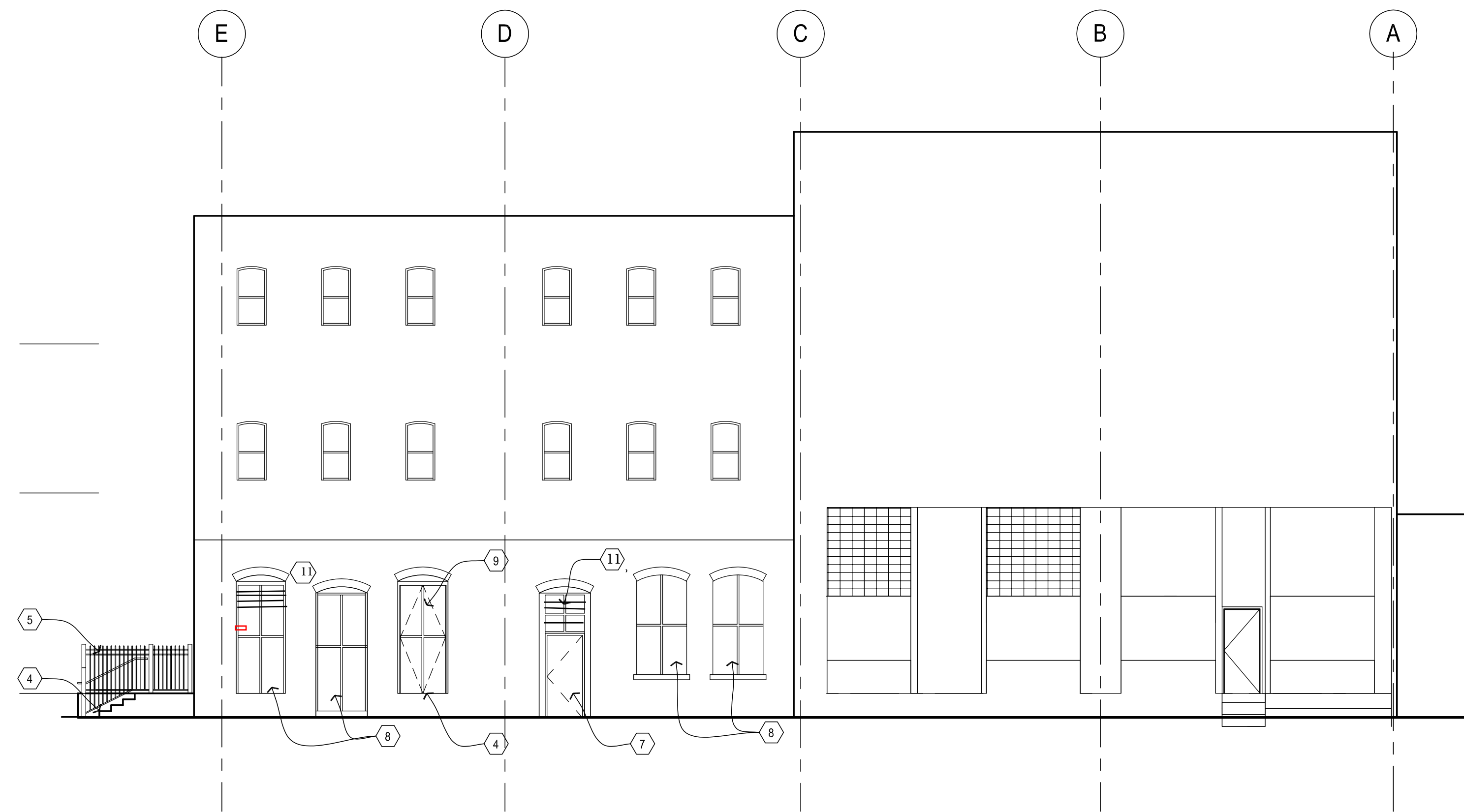
KEY NOTES:

- 1 EXISTING EXTERIOR STONE WALL
- 2 NEW ALUMINUM DOOR AND FRAME.
- 3 NEW SECTION OF STOREFRONT TO MATCH ADJACENT IN STYLE AND FINISH.
- 4 NEW STAIR AND LANDING - VERIFY EXISTING GRADES AND PROVIDE STAIR WITH 11" TREAD AND 7" RISE (MAX).
- 5 NEW 4'-0" BLACK PICKET GUARD RAIL SYSTEM.
- 6 NEW OVERHEAD COILING DOOR
- 7 NEW HOLLOW METAL DOOR AND FRAME
- 8 NEW Metal Vent INFILL - PAINT
- 9 DECORATIVE SHUTTER OVER COILING DOOR
- 10 CONCRETE RETAINING WALL
- 11 New Black Metal Louvers

ISSUE #	DATE	DESCRIPTION
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2 WEST ELEVATION
 1/8" = 1'-0"



3 SOUTH ELEVATION
 1/8" = 1'-0"

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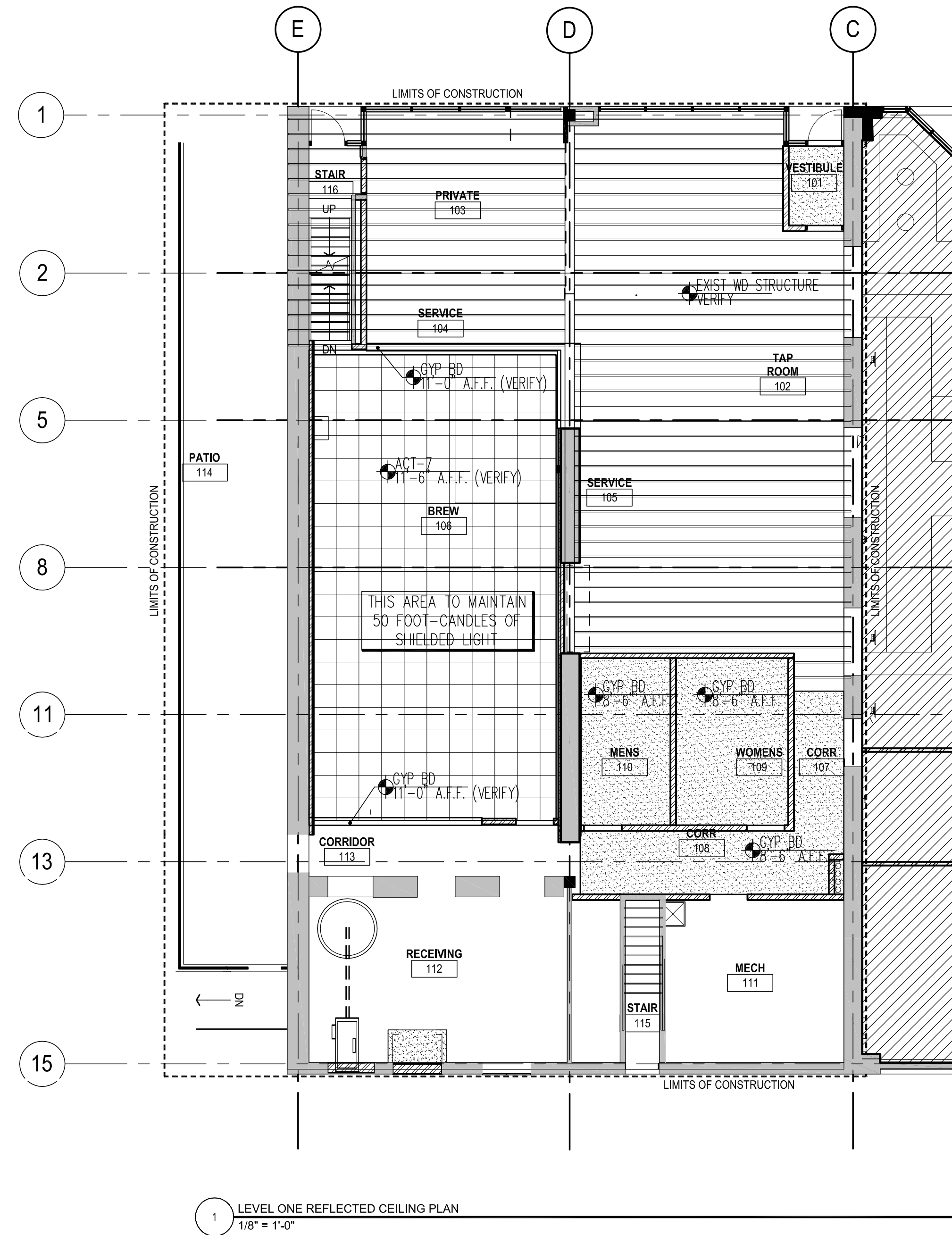
42632 License # 1-5-17 Date

Date: 1.5.17

Project: BARREL THEORY BEER CO.

Sheet Title: EXTERIOR ELEVATIONS

Sheet Number: A2.01



1 LEVEL ONE REFLECTED CEILING PLAN
 1/8" = 1'-0"

GENERAL NOTES

- MECHANICAL, ELECTRICAL, AND PLUMBING ARE BEING PERFORMED DESIGN / BUILD AND INCLUDED IN A SEPERATE SET OF DOCUMENTS.
- CONTROL JOINTS SHALL BE GENERALLY LOCATED AS SUCH: WHENEVER POSSIBLE JOINTS SHALL BREAK ON WINDOW MULLIONS, MIRRORS, ETC.
 - ANY INSIDE OR OUTSIDE CORNER OR CHANGE IN HEIGHT OF MATERIAL.
 - NOT MORE THAN 30'-0" BETWEEN JOINTS.
 - NOT MORE THAN 10'-0" VERTICALLY.
- CONTROL JOINTS ARE BEST LOCATED AS SUCH:
 - AT AN EDGE OF A WINDOW OR DOOR.
 - AT A MIDPOINT BETWEEN A WINDOW OR DOOR.
 - AT A COLUMN EDGE.
 - AT A MATERIAL MIDPOINT.
 - AT A VERTICAL WINDOW MULLION.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION ON TYPICAL JOINT LOCATIONS.
- LOCATE ALL GRIDS FOR ACOUSTICAL TILE AND DECORATIVE GRID CENTERED WITHIN ROOM, UNLESS DIMENSIONED OTHERWISE.
- REFERENCE ENTIRE ARCHITECTURAL AND ELECTRICAL DRAWINGS FOR LIGHTING LOCATIONS. SEE ELECTRICAL DRAWINGS FOR LIGHT TYPES.
- LOCATE ALL LIGHT FIXTURES IN THE CENTER OF CEILING TILE OR ROOM UNLESS NOTED OTHERWISE.
- GYP. BD. SOFFIT CONSTRUCTION: 3 5/8" 20 GA. STUDS @ 16" O.C. HUNG FROM STRUCT. ABOVE ON 12 GA. WIRE 48" O.C. IN OPPOSITE DIRECTIONS.

REFLECTED CEILING LEGEND

- | | | | |
|--|-----------------------------|--|----------------------------------|
| | 2' x 4' PARABOLIC LIGHT | | MECHANICAL DIFFUSER |
| | 2' x 4' FLUORESCENT LIGHT | | TRACK LIGHTING |
| | 2' x 4' FLUORESCENT LIGHT | | CLOSED A.C.T. GRID |
| | 1' x 4' FLUORESCENT LIGHT | | EXTERIOR EMERGENCY LIGHT FIXTURE |
| | 6' x 4' CEILING MOUNT LIGHT | | PENDANT LIGHT FIXTURE |
| | 1' x 4' CEILING MOUNT LIGHT | | WALL MOUNT SCONCE |
| | 2' x 4' CEILING MOUNT LIGHT | | CAN LIGHT |
| | WALL MOUNT SCONCE | | CAN LIGHT/WALL WASHER |
| | CAN LIGHT | | NIGHT LIGHTING |
| | CAN LIGHT/WALL WASHER | | EMERGENCY LIGHTING |
| | NIGHT LIGHTING | | EXIT SIGN |
| | RETURN AIR GRILL | | |
| | ACCESS PANEL | | |
| | MECHANICAL DIFFUSER | | |

SPECIFICATIONS:

- A. ACT-7
- Manufacturer: USG Interiors, Inc.; Sheetrock brand Clima Plus Vinyl No. 3260.
 - Type and Form: Type XX, other types described as high-density, ceramic- and mineral-base panels with scrubable finish, resistant to heat, moisture, and corrosive fumes.
 - Pattern: G (smooth).
 - Color: White.
 - LR: Not less than .77.
 - NRC: Not less than 1.00.
 - CAC: Not less than .35.
 - Edge/Join Detail: SQ.
 - Thickness: 1/2 inch.
 - Modular Size: 24 by 24 inches.

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Barrel Theory Beer Co.
 248 7th Street East
 St. Paul, Minnesota

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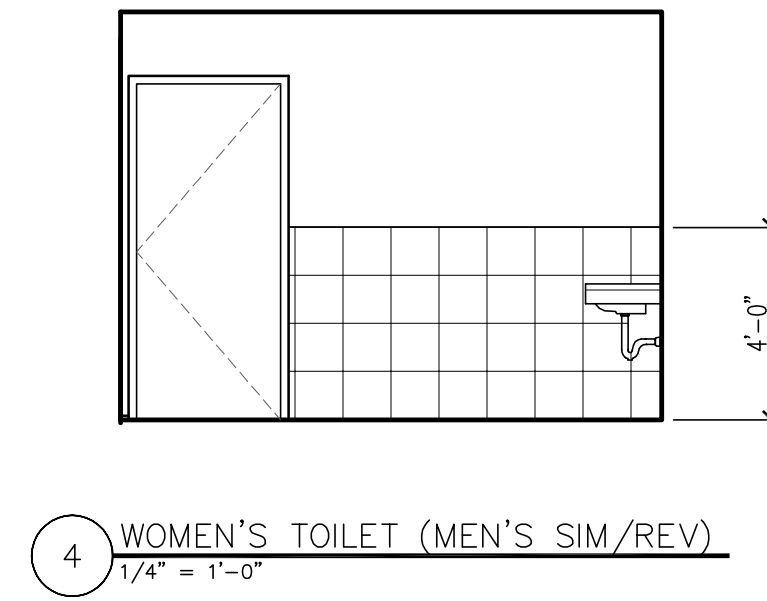
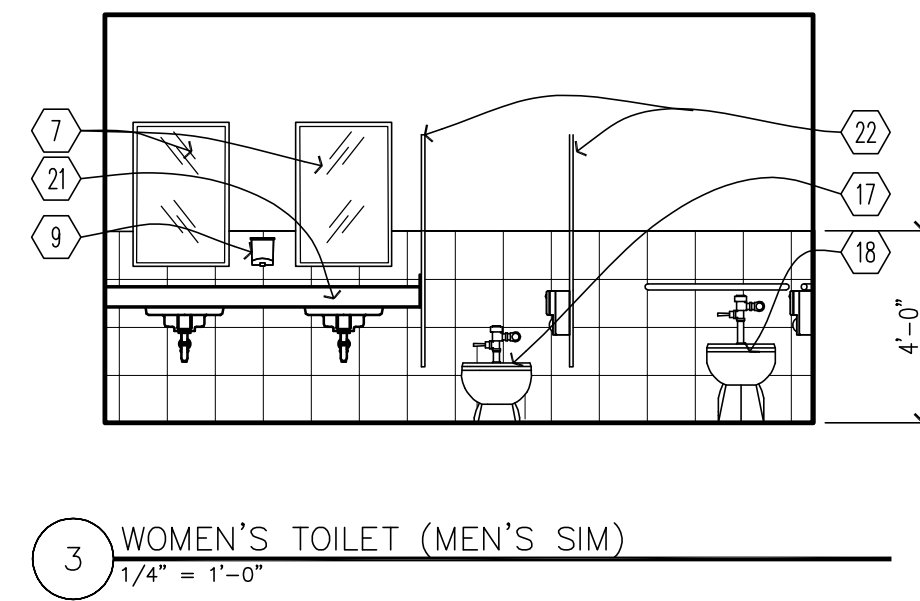
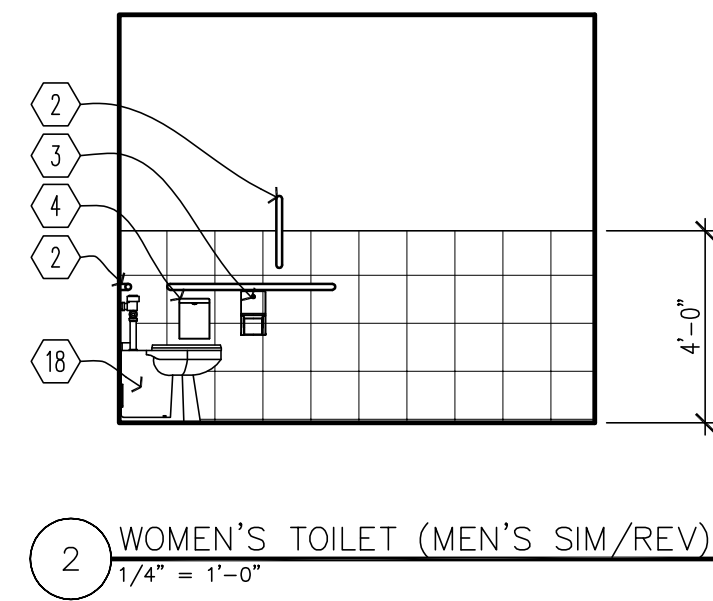
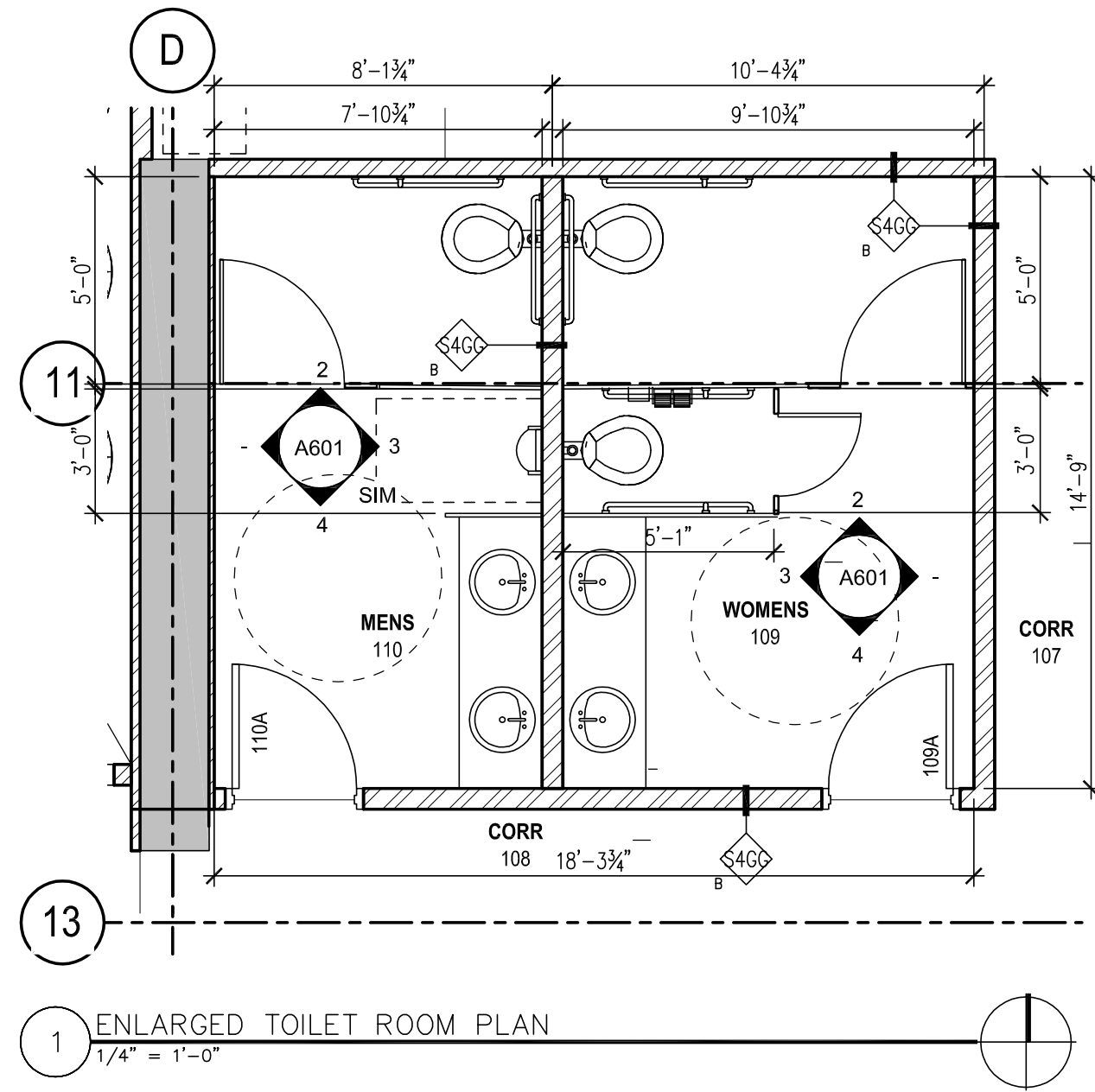
Marc Lindvig

42632 License # 1-5-17 Date

Date: 1.5.17
 Project: BARREL THEORY BEER CO.

Sheet Title: FIRST LEVEL REFLECTED CEILING PLAN

Sheet Number: A5.01



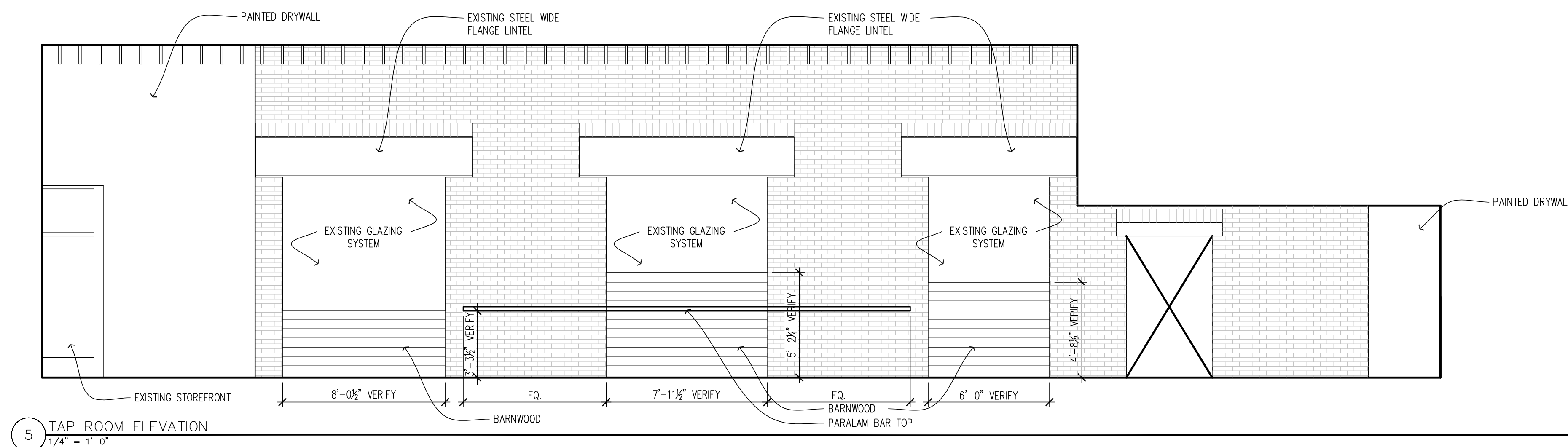
GENERAL NOTES

- FLOOR SLOPES TO DRAIN @ 1" PER FOOT MAX., SEE PLUMBING DRAWINGS FOR DRAIN SIZES & LOCATIONS
- FOR MOUNTING HEIGHTS NOT NOTED ON ELEVATIONS REFER TO "TYPICAL MOUNTING HEIGHTS" ON A6.01
- MOUNTING OF TOILET PAPER DISPENSER UNIT SHALL BE LOCATED 8" IN FRONT OF WATER CLOSET.

KEY NOTES

- PAPER TOWEL DISPENSER
- GRAB BARS
- TOILET TISSUE DISPENSER
- SANITARY NAPKIN RECEPTACLE- WOMEN'S ONLY
- SANITARY NAPKIN VENDING
- DIAPER CHANGING STATION
- MIRROR UNIT, BY GLAZING CONTRACTOR
- NOT USED
- SOAP DISPENSER
- TOWEL HOOK - CENTER ON TILE
- ELECTRIC WATER COOLER/DRINKING FOUNTAIN
- NOT USED
- TOILET - (TYPICAL)
- TOILET - (ACCESSIBLE)
- URINAL, TYP., MOUNT @ 1'-5" A.F.F., U.N.O.
- FRAMED MIRROR UNITS, BY GLAZING CONTRACTOR
- COUNTERTOP W/ UNDER COUNTER BOWL
- TOILET STALL PARTITION
- ACCENT LIGHT FIXTURE - SEE ELECT.

ISSUE #	DATE	DESCRIPTION
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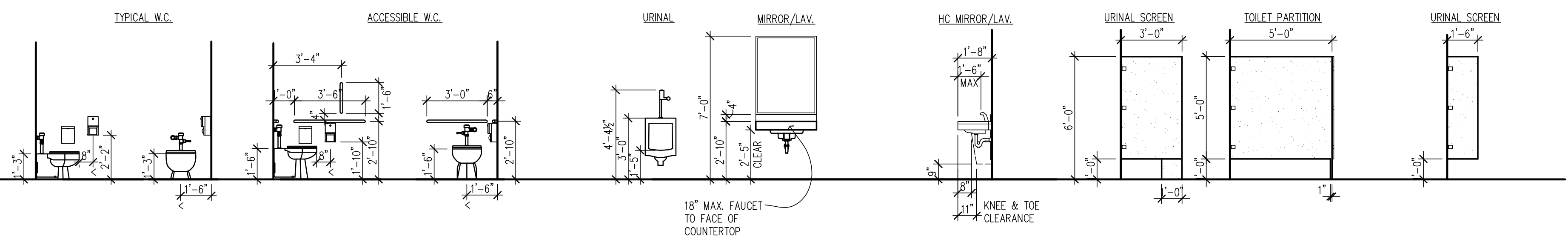


GRAB BAR REINFORCEMENT

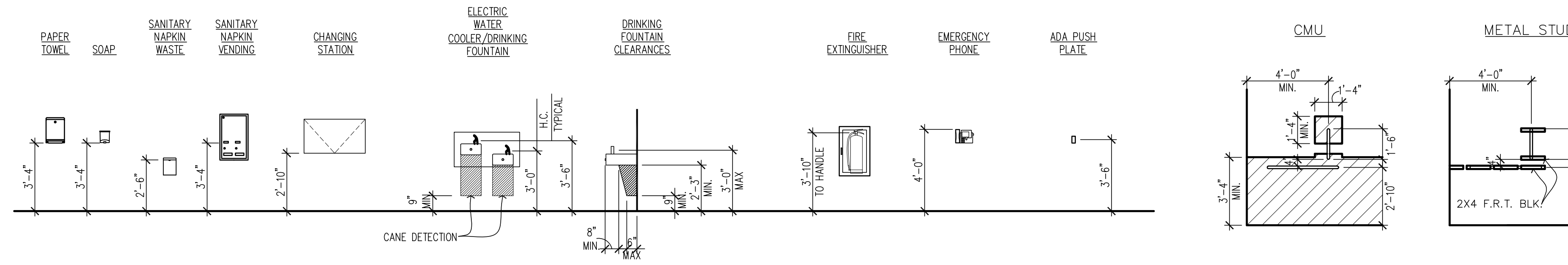
PARTITIONS WITH G.B. TO BE REINFORCED TO SUPPORT A 250 LB. LOAD.

AT CMU WALLS GROUT SOLID THE FIRST 5 COURSES AND A 16" WIDE ZONE AT ALL HIGH G.B. CONNECTIONS.

AT METAL STUD WALLS PROVIDE 2X BLOCK BETWEEN STUDS AT ALL G.B. CONNECTIONS.



TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"

12 TYPICAL IN-WALL GRAB BAR BLOCKING
1/4" = 1'-0"

NO.	ROOM NAME	FINISHES						
		FLOOR	BASE	NORTH	SOUTH	EAST	WEST	CEILING
101	VESTIBULE	EXIST WD	WD	EXIST STR FRNT	NEW STR FRNT	EXIST BRICK	PNT	PNT
102	TAP ROOM	EXIST WD	---	EXIST STR FRNT	PNT	EXIST BRICK	EXIST STONE	EXIST WD STRUCT
103	PRIVATE	EXIST WD	---	EXIST STR FRNT	---	---	---	EXIST WD STRUCT
104	SERVICE	QT	QT	---	---	---	---	EXIST WD STRUCT
105	SERVICE	QT	QT	---	PNT	---	---	EXIST WD STRUCT
106	BREW	EPOXY	EPOXY	METAL / --	METAL / --	METAL	METAL	ACT-7
107	CORRIDOR	EXIST WD	WD	---	PNT	EXIST BRICK	PNT	PNT
108	CORRIDOR	EXIST WD	WD	PNT	PNT	EXIST BRICK	---	PNT
109	WOMENS	CT	CT	CT / PNT	CT / PNT	PNT	CT / PNT	PNT
110	MENS	CT	CT	CT / PNT	CT / PNT	CT / PNT	PNT	PNT
111	MECH	CONC	---	PNT	PNT	PNT	PNT	EXIST
112	RECEIVING	CONC	---	PNT	PNT	PNT	PNT	EXIST
113	CORRIDOR	EXIST WD	WD	PNT / ---	EXIST STONE	---	PNT	PNT
001	STORAGE	CONC	---	---	---	---	---	EXIST
002	BARREL ROOM	CONC	---	---	---	---	---	EXIST
003	STORAGE	CONC	---	---	---	---	---	EXIST
004	MECH	CONC	---	---	---	---	---	EXIST
005	CORRIDOR	CONC	---	COOLER WALL	---	---	---	EXIST
006	CORRIDOR	CONC	---	---	---	---	---	EXIST
007	WALK IN COOLER	---	---	COOLER WALL	COOLER WALL	COOLER WALL	COOLER WALL	EXIST
008	CIRCULATION	CONC	---	PNT	COOLER WALL	COOLER WALL	COOLER WALL	EXIST
009	OFFICE	CONC	---	PNT	PNT	PNT	PNT	EXIST
010	TOILET	CT	CT	CT / PNT	CT / PNT	CT / PNT	PNT	PNT

Barrel Theory Beer Co.
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Marc Lindvig

42632 1-5-17
License # Date

Date: 1.5.17
Project: BARREL THEORY BEER CO.

Sheet Title: FINISH SCHEDULE & INTERIOR ELEVATIONS

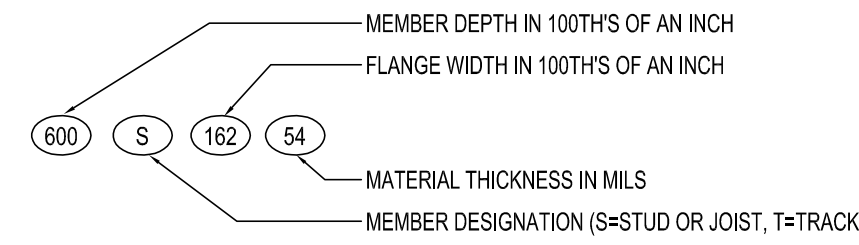
Sheet Number: A6.01

PARTITION GENERAL NOTES

- ALL METAL FRAME WALLS THAT EXTEND TO UNDERSIDE OF DECK/STRUCTURE ABOVE ARE TO CONTAIN A SLIP TRACK CONNECTION.
- STEEL STUD PARTITIONS ARE S4G UNO.
- CONCRETE MASONRY UNIT PARTITIONS ARE M8 UNO.
- STUDS ARE 24" O.C. EXCEPT 16" O.C. AT GYM
- 5/8" MOISTURE RESISTANT GYPSUM BOARD SUBSTRATE OVER STUDS AT TILE LOCATIONS.
- COMPLY WITH UL419 AT 1 HR RATED STEEL STUD PARTITIONS AND U801 AT 1 HR FIRE RATED CMU WALLS.
- LIGHT GAUGE FRAMING

- A. STEEL STUDS REFERENCED IN THESE DRAWINGS ARE PER THE PROPERTIES AND SPECIFICATIONS OF STEEL STUD MANUFACTURER'S ASSOCIATION (ICBO ER 4943P) CONTRACTOR TO VERIFY MANUFACTURER'S STUD STRENGTH AND LIMITED HEIGHT

1. MEMBER DESIGNATION IS AS FOLLOWS:



- B. MATERIAL THICKNESS

DESIGNATION	NOMINAL THICKNESS	GAUGE
33 MILS	0.0346"	20
43 MILS	0.0451"	18
54 MILS	0.0566"	16
68 MILS	0.0713"	14
97 MILS	0.1017"	12

- C. STRUCTURAL STEEL STUD AND JOIST SECTIONS

- MINIMUM YIELD STRENGTH = 33 KSI FOR 43 MIL THICKNESS AND BELOW
50 KSI FOR 54 MIL AND GREATER
- STUDS AND JOIST SHALL HAVE ICC AND LOCAL BUILDING DEPARTMENT APPROVALS
- 8" STUDS = 800S162-43 @ 16" O.C. WITH 600T150-54 TRACK TYP UNO.
- 6" STUDS = 600S162-33 @ 16" O.C. WITH 600T150-54 TRACK TYP UNO.
- 3 5/8" STUDS = 362S137-33 @ 16" O.C. WITH 362T150-43 TRACK TYP UNO.
- ALL TRACK SECTIONS ARE UNPUNCHED UNO.

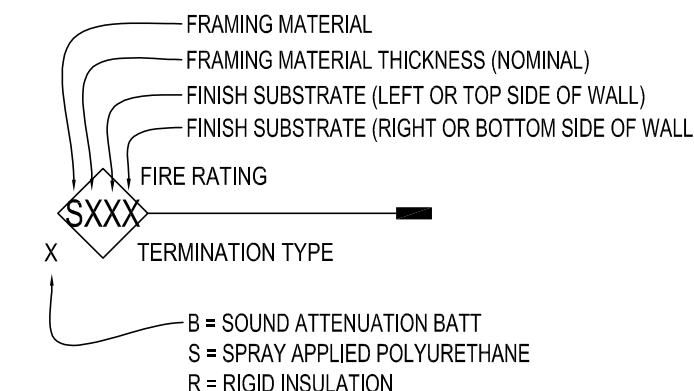
- D. CUT STUDS TO FIT SNUGLY AGAINST ATTACHING MEMBERS. NOTCH OR COPING OF STUDS IS NOT ALLOWED. FRAMING MEMBERS SHALL BE CUT SQUARELY OR AS REQUIRED TO FIT NEATLY AGAINST ABUTTING MEMBERS. MEMBERS SHALL BE HELD FIRMLY IN PLACE UNTIL PROPERLY FASTENED.

- E. PROVIDE APPROVED COVERINGS ON EACH FACE OF STUD AND JOISTS OR PROVIDE ADEQUATE BRACING OR BLOCKING @ 4'-0" O.C. PER MANUFACTURER'S INSTRUCTIONS.

- F. MINIMUM CONNECTION REQUIREMENTS, UNO:

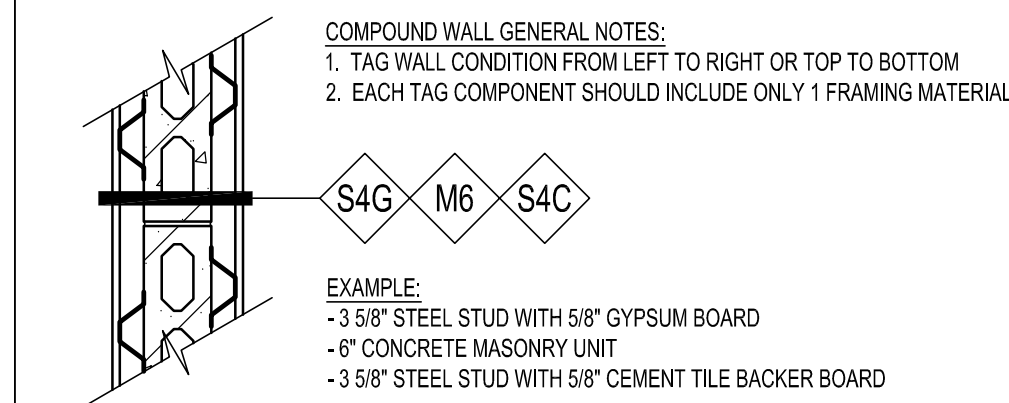
- SCREWS SHALL MEET REQUIREMENTS OF THE STEEL STUD MANUFACTURER'S ASSOCIATION (ICBO ER 4943P)
- SPACING AND EDGE DISTANCES OF SCREWS SHALL NOT BE LESS THAN 3x(d) (d = NOMINAL SCREW DIAMETER)
- PENETRATION OF SCREWS THROUGH JOINED MATERIALS SHOULD NOT BE LESS THAN 3 EXPOSED THREADS
- PENETRATION OF SCREWS THROUGH JOINED MATERIALS SHOULD NOT BE LESS THAN 3 A MINIMUM OF FOUR (4) - #10 TEK SCREWS, UNO.
- ALL DIAGONAL STUD BRACE CONNECTIONS SHALL HAVE A MINIMUM OF FOUR (4) - #10-16 TEK SCREWS, UNO.
- PAF - POWDER ACTUATED FASTENER, USE HILTI X-U FASTENERS WITH 3/4" EMBED OR APPROVED EQUAL.

PARTITION TYPES

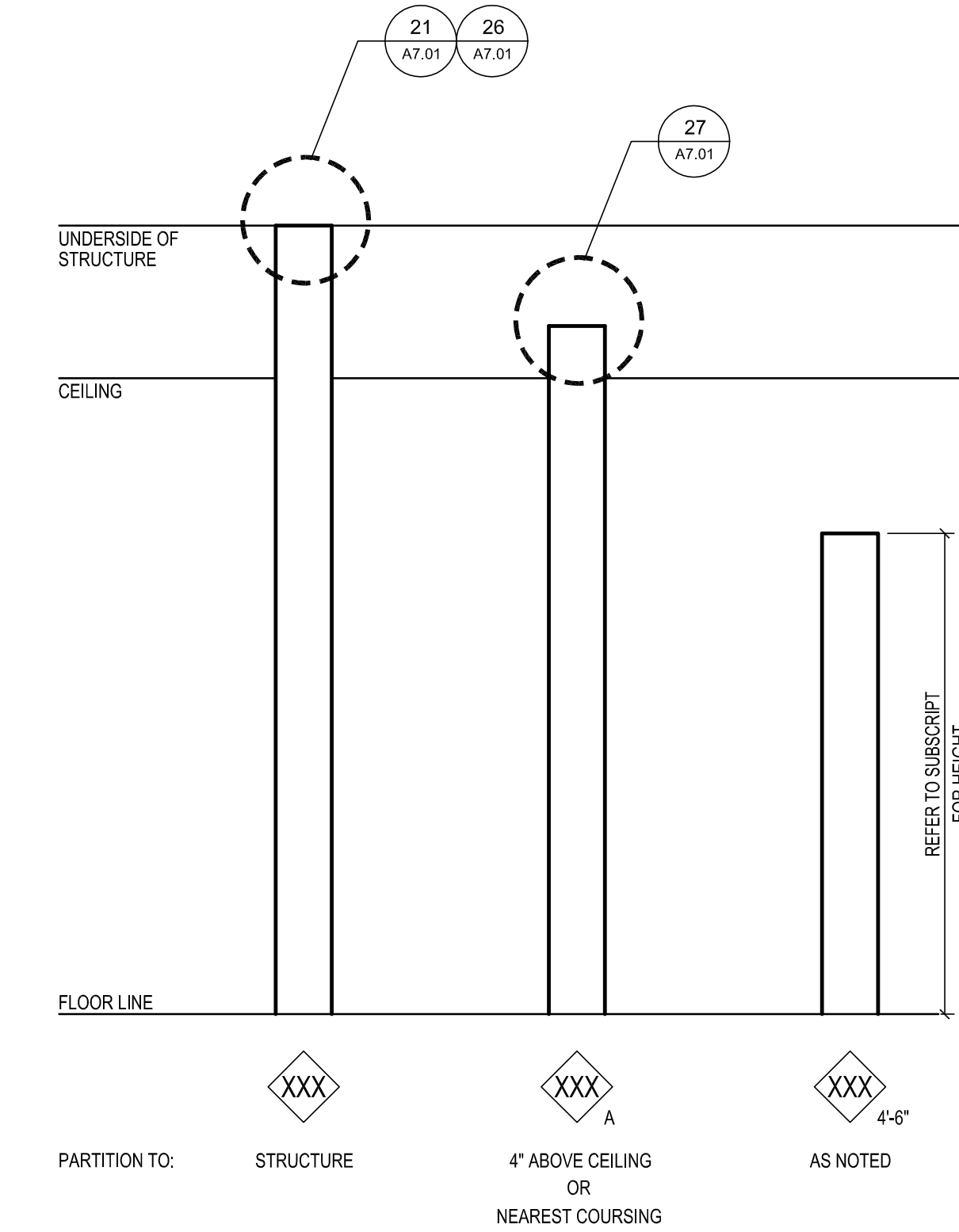


FIRST DIGIT	FRAMING MATERIAL	SECOND DIGIT	FRAMING MATERIAL THICKNESS	THIRD DIGIT	FINISH SUBSTRATE
G	GLASS BLOCK	1	7/8" STEEL HAT CHANNELS	C	5/8" CEMENT TILE BACKING BOARD
F	METAL FURRING	1.5	1 5/8" STEEL STUD	G	5/8" GYPSUM BOARD (TYP X AT FIRE RATED WALLS)
M	CONCRETE MASONRY UNIT	2	1 1/2" STEEL Z FURRING	H	5/8" HI-IMPACT GYPSUM BOARD
S	STEEL STUDS	2.5	2 1/2" STEEL STUD	K	3 5/8" QUARRIED LIMESTONE
W	WOOD STUDS	4	3 5/8" STEEL STUD	L	3/8" AIR SPACE
		5	3 1/2" WOOD STUDS	M	2" QUARRIED LIMESTONE
		6	5 5/8" CONCRETE MASONRY UNIT	P	5/8" FIRE RESISTANT TREATED PLYWOOD
		7	6" STEEL STUD	R	- 5/8" FIRE RESISTANT TREATED PLYWOOD TO 8'-0" ABOVE FINISHED FLOOR (GYMNASIUM) - 6'-2" ABOVE FINISHED FLOOR (TUMBLING) - 5/8" HI-IMPACT GYPSUM BOARD ABOVE
		8	7 5/8" CONCRETE MASONRY UNIT	T	5/8" MOISTURE RESISTANT GLASS-MAT TILE BACKING BOARD
		10	9 5/8" CONCRETE MASONRY UNIT	U	5/8" FIRE RESISTANT TREATED AT WALL PADS 5/8" GYPSUM BOARD ABOVE AND BELOW WALL PADS
		12	11 5/8" CONCRETE MASONRY UNIT	S	CORRIGATED METAL

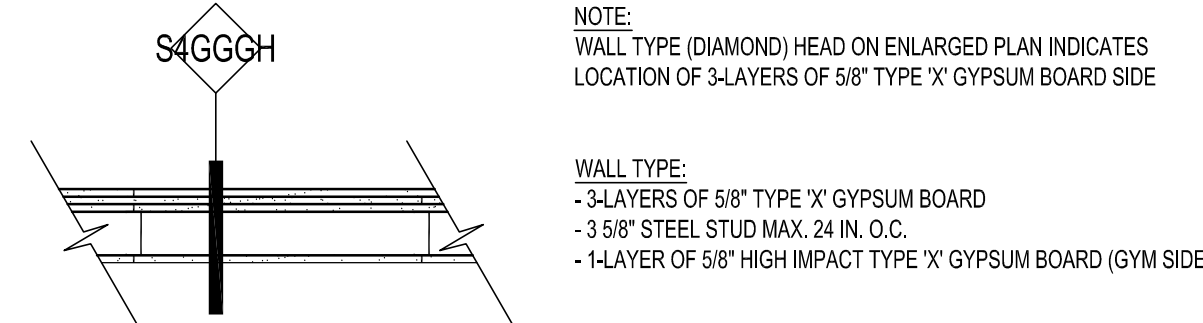
COMPOUND WALL EXAMPLE



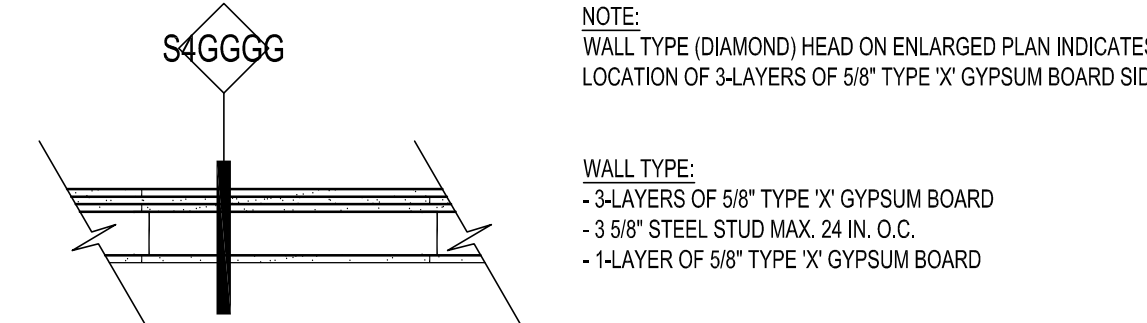
PARTITION TERMINATION TYPES



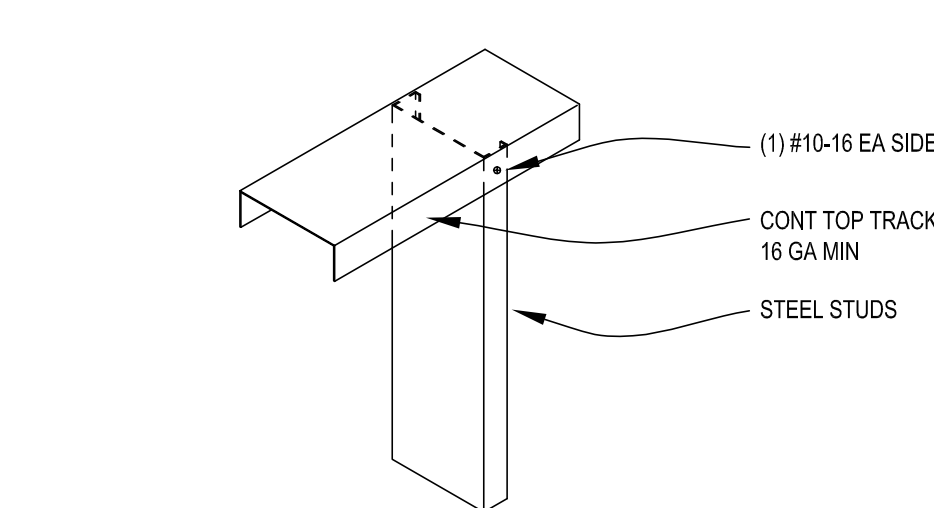
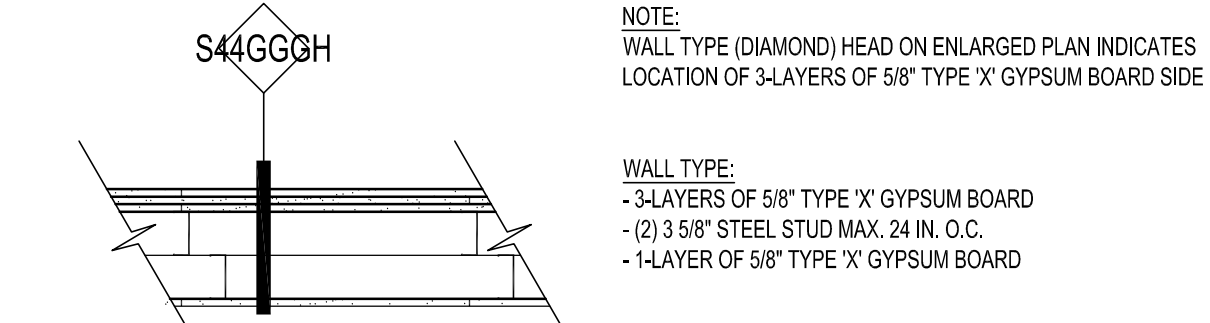
WALL TYPE S4GGGH (2-HR RATED): DESIGN NO. U408



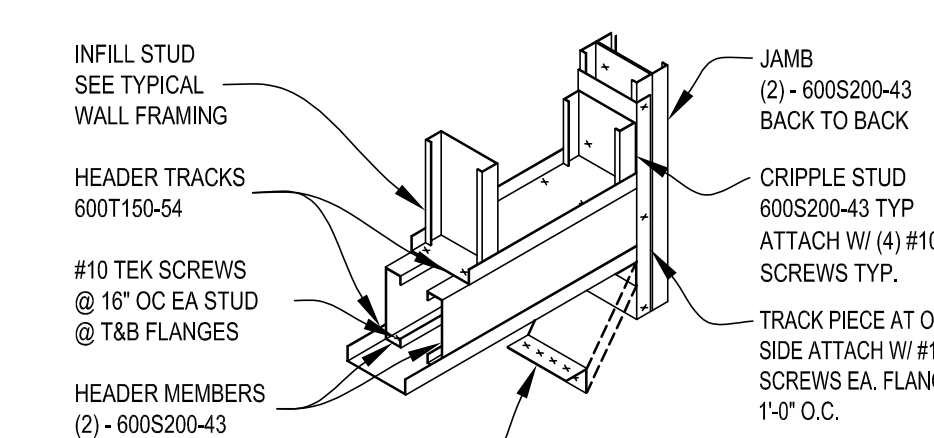
WALL TYPE S4GGGG (2-HR RATED): DESIGN NO. U408



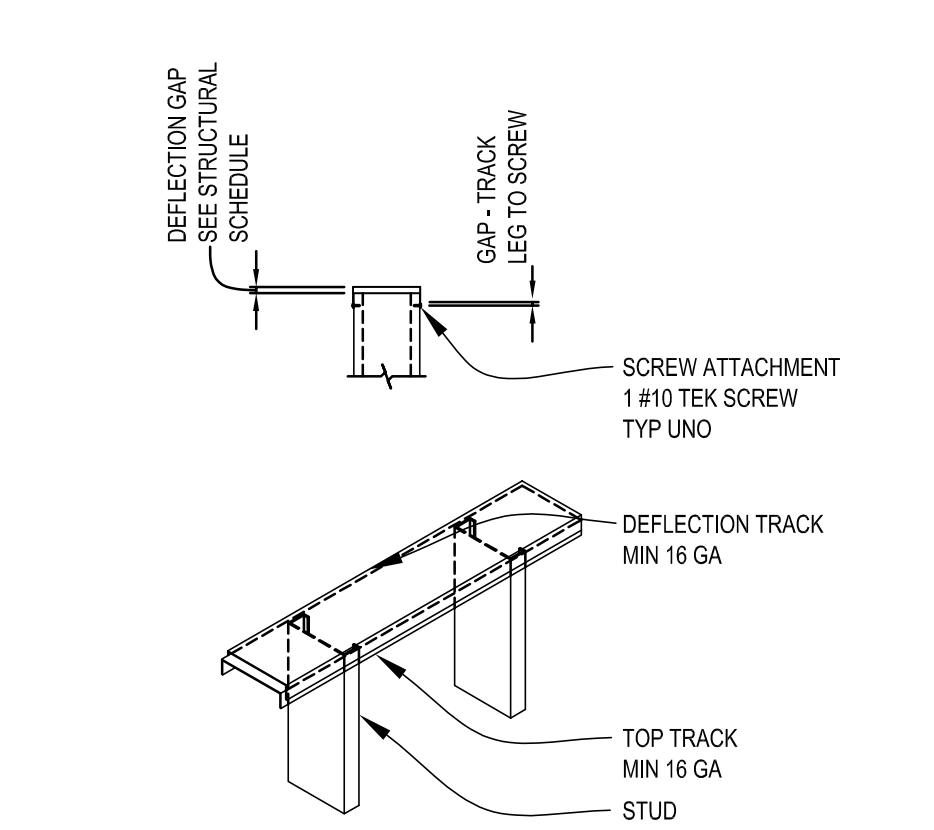
WALL TYPE S44GGGH (2-HR RATED): DESIGN NO. U408



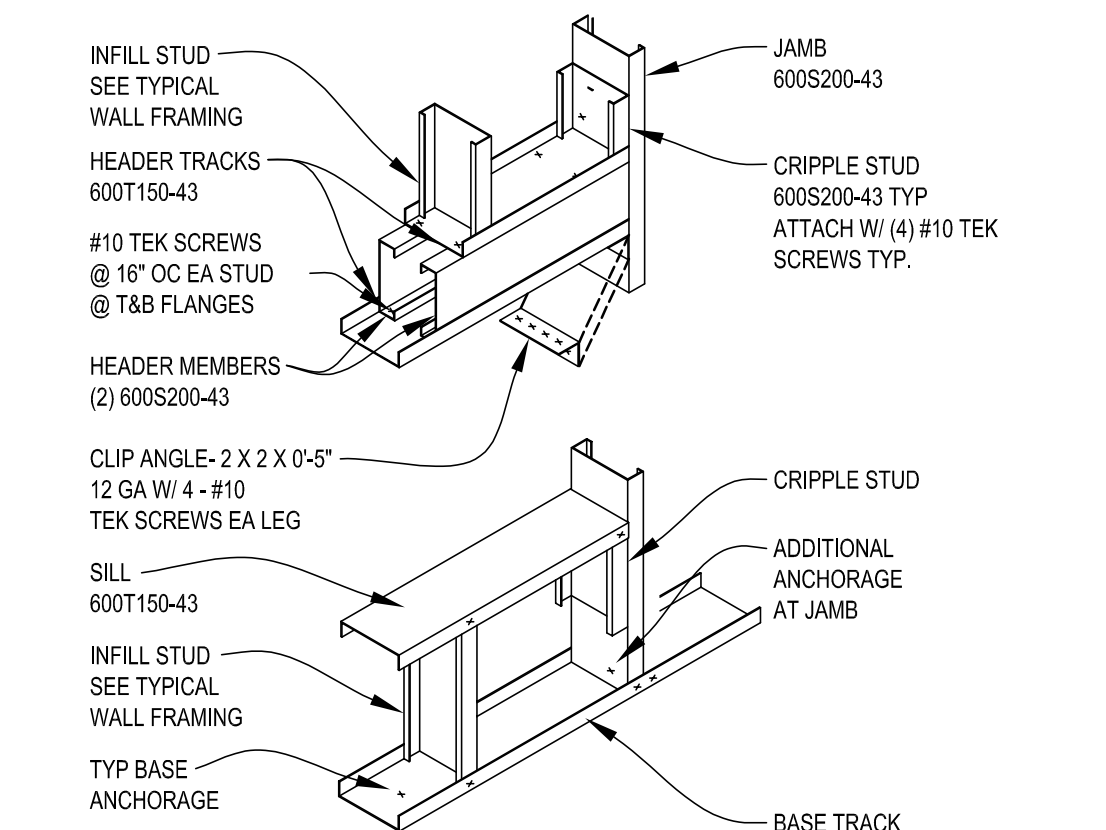
27 STUD TOP TRACK CONNECTION (42207214)



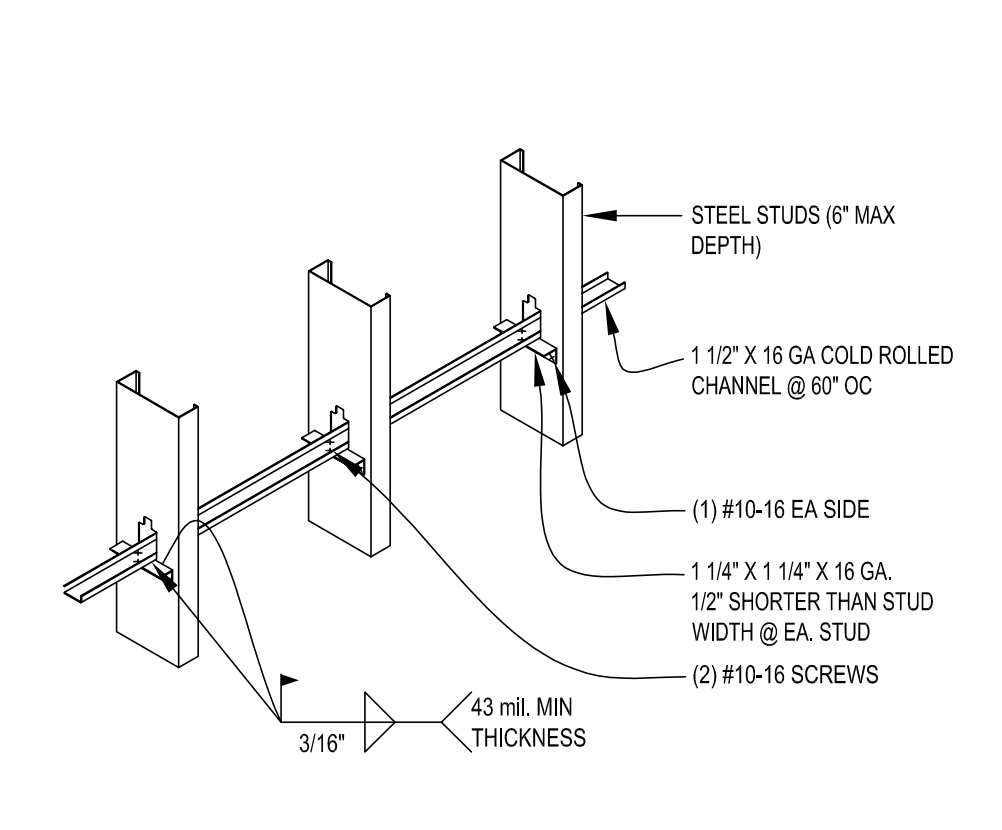
26 ENTRY SKYLIGHT ACCESS DOOR (42207216)



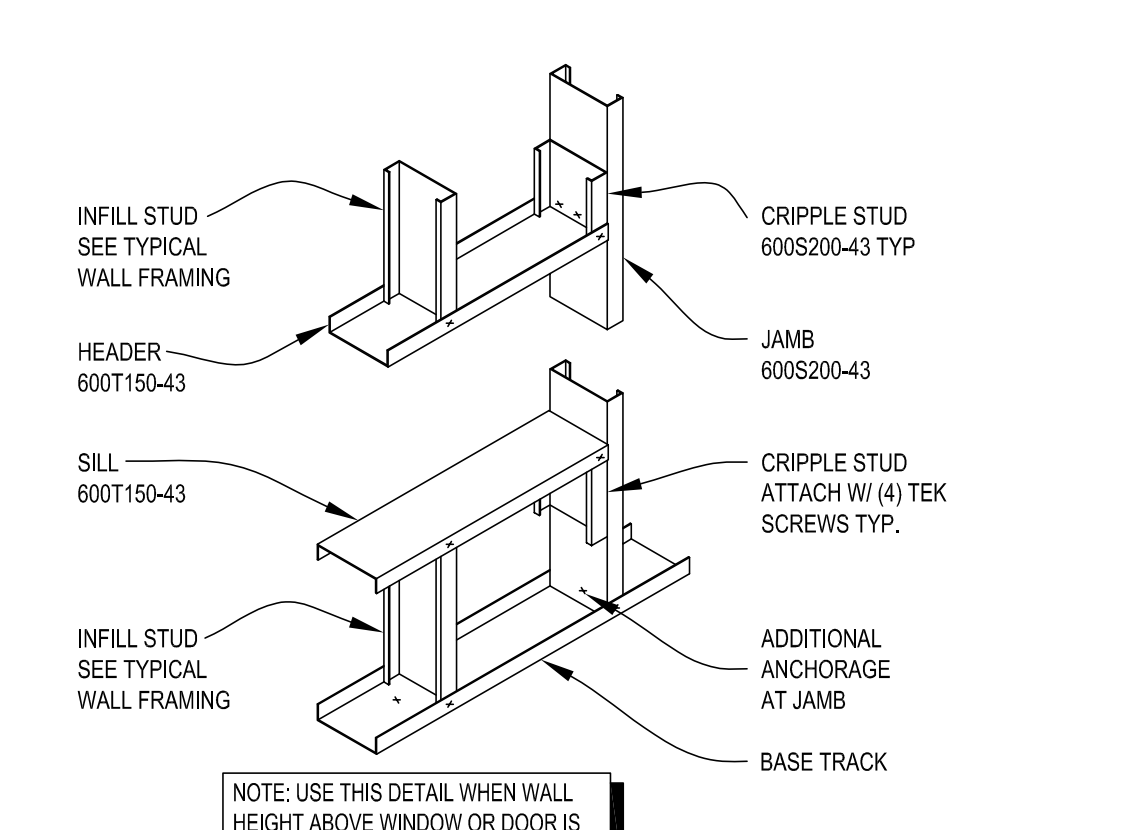
25 DEFLECTION TRACK DETAIL (42207217)



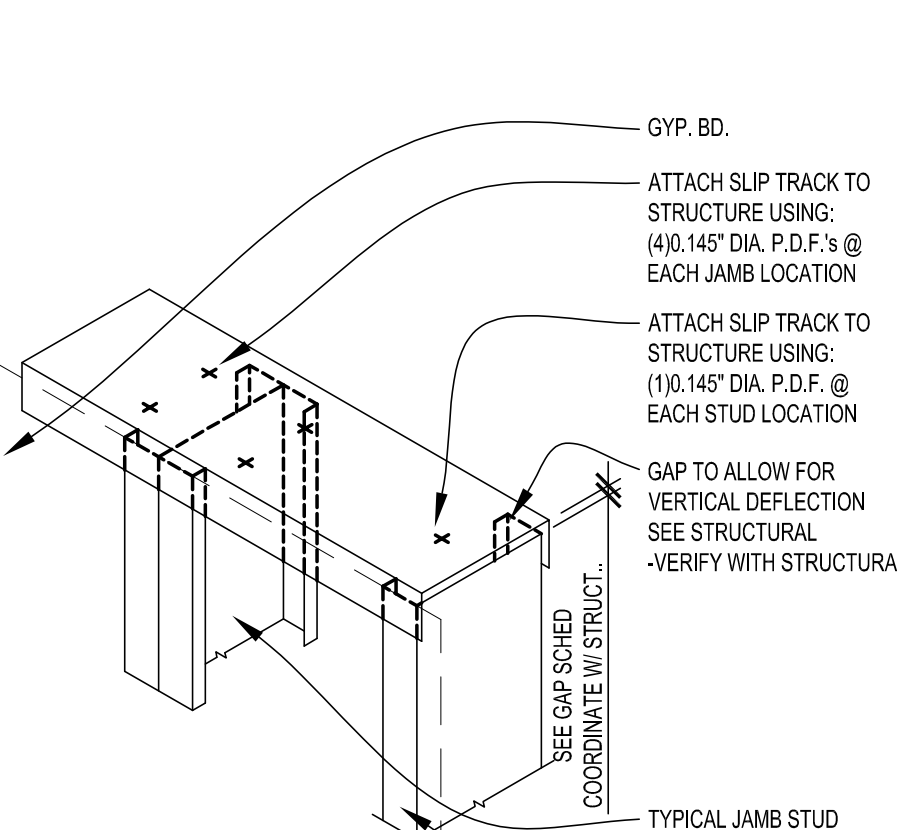
24 SINGLE JAMB-TYPICAL DETAIL-LOAD BEARING (42207217)



23 TYPICAL BRIDGING ATTACHMENT (42207215)



22 SINGLE JAMB - NON LOAD BEARING (42207215)



21 SLIP TRACK DETAIL (1127 * 1127)

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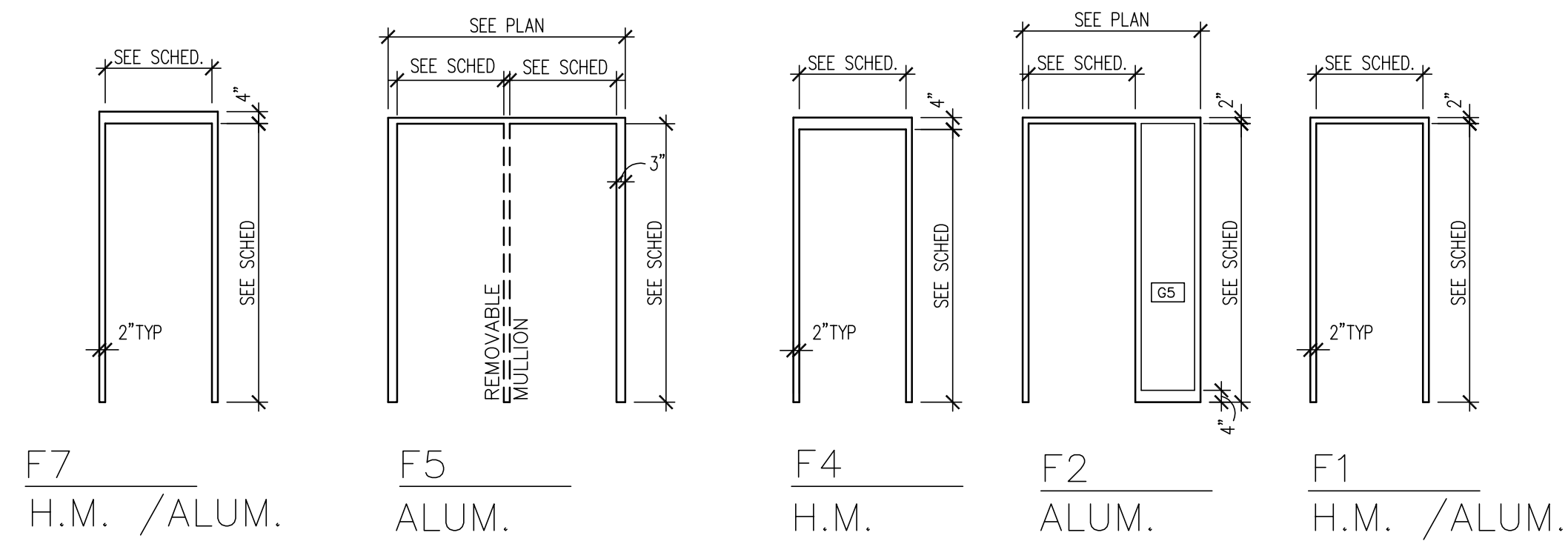
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Marc Lindvig
42632 License # 1-5-17 Date

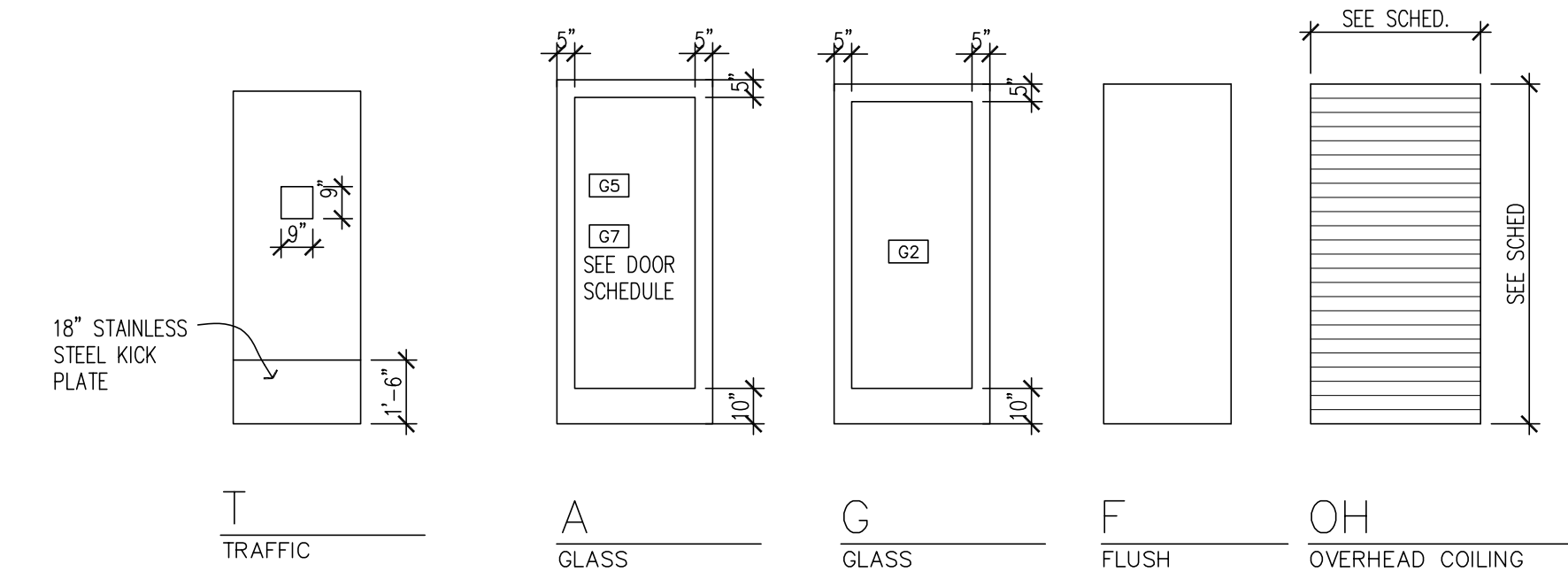
Date: 1.5.17
Project: BARREL THEORY BEER CO.

Sheet Title: PARTITION TYPES AND DETAILS
Sheet Number: A7.01



OPENING FRAMES

SCALE: 1/4"=1'-0"



DOOR TYPES

SCALE: 1/4"=1'-0"

GLASS TYPES KEY

- G1 1" THICK, INSULATED LOW-E GREEN TINTED GLASS
- G2 1" THICK, INSULATED LOW-E GREEN TINTED TEMPERED GLASS
- G3 1" THICK, SPANDREL INSULATED GLASS
- G4 1/2" THICK, CLEAR FLOAT GLASS
- G5 1/2" THICK, CLEAR TEMPERED GLASS
- G6 3/8" THICK, CLEAR TEMPERED GLASS
- G7 1/2" THICK, FROSTED TEMPERED GLASS
- G8 3/8" THICK, FROSTED TEMPERED GLASS
- G9 1" THICK, INSULATED TRANSLUCENT GLASS
- G10 1" THICK, INSULATED TRANSLUCENT, TEMPERED GLASS
- G11 1" THICK, INSULATED TEMPERED GLASS
- G12 NOT USED

GENERAL NOTES

1. NOTE: FIELD VERIFY ALL DIMENSIONS
2. DOOR THICKNESS ON ALL DOORS SHALL BE 1 3/4" AND INDICATED THUS "--" UNLESS SCHEDULED OTHERWISE.

DOOR SCHEDULE NOTES

1. ALUMINUM STOREFRONT DOOR AND FRAME TO MATCH EXISTING DOOR AND FRAME IN STYLE AND FINISH.
2. PANIC HARDWARE
3. HOLD FACE OF FRAME 1/2" OUT FROM CMU ON INSIDE OF ROOM TO ALIGN WITH CERAMIC TILE.
4. STEEL GATE TO MATCH PATIO FENCING. GATE TO BE SELF CLOSING / SELF LATCHING WITH EXIT DEVICE.
5. NOT USED
6. 2" UNDERCUT
7. NOT USED.
8. GLASS TO BE 1/4" TEMPERED
9. THERMAL BREAK.
10. NOT USED.
11. NOT USED.
12. PROVIDE REMOVABLE CENTER MULLION.
14. ELUSASON EASY SWING DOUBLE ACTION DOOR.
16. NOT USED.
17. 3'-0" x 7'-0" HM FRAME
21. DOOR INCLUDES SELF CLOSING, SELF LATCHING HARDWARE

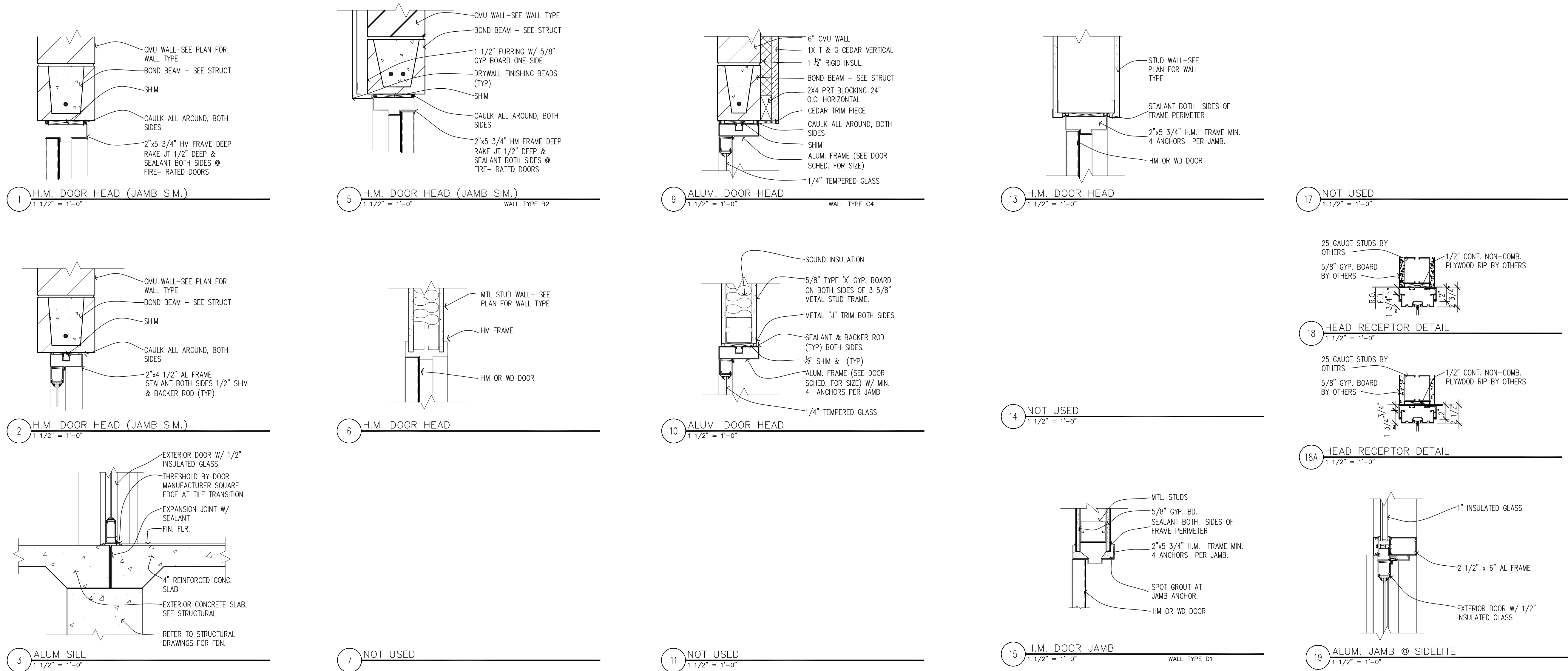
DOOR SCHEDULE

NO.	DOOR			WIDTH	HEIGHT	THICK	FRAME			DETAIL		RATING	NOTES
	TYPE	MAT.	FINISH				TYPE	MAT.	FINISH	HEAD	SILL		
101A	G	AL	ANODIZED	3'-0"	7'-0"	--	EX	EXIST	ANODIZED				1, 2
101B	G	AL	ANODIZED	3'-0"	7'-10"	--	--	AL	ANODIZED				1, 2
109A	F	WD	STAIN	3'-0"	7'-0"	--	F1	HM	PNT				
110A	F	WD	STAIN	3'-0"	7'-0"	--	F1	HM	PNT				
111A	F	WD	STAIN	3'-0"	7'-0"	--	F1	HM	PNT				
112A	F	WD	STAIN	3'-0"	7'-0"	--	F1	HM	PNT				
112B	OH	STL	PNT	4'-0" VER	7'-0" VER	--	--	STL	PNT				
113A	G	AL	ANODIZED	3'-0"	7'-0"	--	F1	AL	ANODIZED				1, 2
114A	--	STL	PNT	3'-0"	3'-6"	--	--	STL	PNT				4
114B	--	STL	PNT	3'-0"	3'-6"	--	--	STL	PNT				4
115A	F	HM	PNT	3'-0" VER	7'-0" VER	--	F1	HM	PNT				
009A	F	WD	STAIN	3'-0"	7'-0"	--	F1	HM	PNT				
010A	F	WD	STAIN	3'-0"	7'-0"	--	F1	HM	PNT				

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TYP. DOOR HEADS, JAMS, SILLS



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 St. Paul, Minnesota

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Marc Lindvig

42632 1-5-17
License # Date

Date 1.5.17

Project BARREL THEORY BEER CO.

Sheet Title DOOR SCHEDULE, TYPES, AND DETAILS

Sheet Number A7.02