



## TRANSMITTAL

**Date:** February 5, 2018

**To:** Saint Paul Heritage Preservation Commission  
Department of Planning and Economic Development  
25 Fourth Street West, Suite 1400  
St. Paul, MN 55102

**Attn:** Christine Boulware

**Project Name:** Commission House [Seestedt Carpets Building]  
282 East 6<sup>th</sup> Street  
St. Paul, MN 55101

**PVN Proj. No.:** 2016-N03-332

**From:** Casie Radford, AIA, LEED AP; Meghan Elliott  
radford@pvnworks.com; Elliott@pvnworks.com  
(612) 843-4140; (612) 843-4143

**Via:** Hand delivery

**Contents:** (1) Copy of the Heritage Preservation Commission Design Review Application  
(1) Continuation sheet with scope of proposed exterior work  
(1) Packet of historic photos and images  
(1) Packet of exterior photographs  
(1) Visibility study  
(1) Conditional approval of the Part 2 Historic Preservation Certification Application for the Commission House  
(1) SHPO comments for Amendment 1 of the Part 2 Historic Preservation Certification Application for the Commission House (in email dated, January 22, 2018)  
(3) Copies of rehabilitation plans  
(1) USB with a digital copy of rehabilitation plans

**Comments:** Please let me know if you have any questions or need any other information.

Thank you!  
Casie Radford



Saint Paul Heritage Preservation Commission  
 Department of Planning and Economic Development  
 25 Fourth Street West, Suite 1400  
 Saint Paul, MN 55102  
 Phone: (651) 266-9078  
 ApplyHPC@stpaul.gov

Project Address:

## Heritage Preservation Commission Design Review Application

### PROCESS

*This application must be completed in addition to required city permit applications for individually designated Heritage Preservation Sites and properties located within Heritage Preservation Districts.*

Design review applications are reviewed and approved by either heritage preservation staff or the Heritage Preservation Commission (HPC) at a public hearing. HPC staff are authorized to approve work that complies with adopted design review guidelines and preservation programs, available at our website [www.stpaul.gov/hpc](http://www.stpaul.gov/hpc), while the HPC reviews projects that are significant alterations, demolitions, additions, new construction or proposals that do not comply with HPC guidelines. The decision of whether a proposal may be reviewed and approved by HPC staff or must be reviewed by the HPC at a public hearing is made once a complete application is submitted.

The HPC public hearing schedule is viewable here:

<https://www.stpaul.gov/departments/planning-economic-development/heritage-preservation/heritage-preservation-commission>

A complete application consists of:

- 1) An application form
- 2) Required attachments that adequately describe the proposed work (see attached checklist)

An incomplete application will be put on hold and staff will contact you for additional information. If an application is incomplete for 30 days after it was received, it will be returned to the applicant.

Complete applications will be reviewed in the order they are received. **Applications are not entered in queue to be reviewed until staff has determined them to be complete.** Once reviewed, a Certificate of Approval will be issued along with any conditions for the proposed work. You will be notified by staff when the Certificate of Approval has been issued and a copy will be sent to the Department of Safety and Inspections (DSI) to complete the HPC process of obtaining the necessary permit(s).

### 1. CATEGORY

Please check the category that best describes the proposed work

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Repair/Rehabilitation | <input type="checkbox"/> Sign/Awning          | <input type="checkbox"/> New Construction/Addition/<br>Alteration |
| <input type="checkbox"/> Moving                | <input type="checkbox"/> Fence/Retaining Wall | <input type="checkbox"/> Pre-Application Review Only              |
| <input type="checkbox"/> Demolition            | <input type="checkbox"/> Other _____          |   |

### 2. PROJECT ADDRESS

Street and number: \_\_\_\_\_ Zip Code: \_\_\_\_\_

**3. APPLICANT INFORMATION**

Name of contact person: \_\_\_\_\_

Company: \_\_\_\_\_

Street and number: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone number: \_\_\_\_\_ e-mail: \_\_\_\_\_

**4. PROPERTY OWNER(S) INFORMATION (If different from applicant)**

Name: \_\_\_\_\_

Street and number: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone number: \_\_\_\_\_ e-mail: \_\_\_\_\_

**5. PROJECT ARCHITECT (If applicable)**

Contact person: \_\_\_\_\_

Company: \_\_\_\_\_

Street and number: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_

Phone number: \_\_\_\_\_ e-mail: \_\_\_\_\_

**6. PROJECT DESCRIPTION**

**Completely describe ALL exterior changes being proposed for the property. Include description of affected existing exterior features and changes to architectural details such as windows, doors, siding, railings, steps, trim, roof, foundation or porches. Attach specifications for doors, windows, lighting and other features, if applicable, including color and material samples.**

*Attach additional sheets if necessary*



## 7. ATTACHMENTS & DESIGN REVIEW CHECKLIST

Please refer to the following checklist section(s) that relate to your proposed scope of work and check next to the items that are attached to your application. Attach all checked items listed to this application or attach in an email to [ApplyHPC@stpaul.gov](mailto:ApplyHPC@stpaul.gov)

Staff may contact you for additional information or materials.

If your project or work type is not included in this checklist, please contact the staff by calling 651-266-9078 or sending an e-mail to [applyhpc@stpaul.gov](mailto:applyhpc@stpaul.gov) for assistance on how to complete an application.

<i>Applicant Submitted</i>	<i>Staff Received</i>	<i>Date Received</i>	
			<b>Restoration /Repair/Rehabilitation</b>
			Three (3) copies of scaled and dimensioned plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections).
			Photographs of all features and areas affected by proposed work.
			If an existing architectural feature is being replaced, please provide detailed drawings of the existing feature.
			Historic photographs (if any) that inform the restoration/rehabilitation/repair work.
			<b>Sign/Awning:</b>
			Photographs of location of proposed signage on structure/property.
			Photographs of structure and all exterior sides affected by proposed work.
			Three (3) copies of plans that note materials, dimensions, colors, and method of attachment.
			Section drawing showing point of installation, method of installation, awning profile and projection.
			Illumination plan.
			Photographs or elevation of the building showing location of proposed sign in relation to the building and, if applicable, other signage on the building.
			<b>New Construction/Addition/Exterior Alteration:</b>
			Three (3) copies of construction level plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections). Show how the addition(s) relates to the existing structure.
			Photographs of all features and areas affected by proposed work.
			Site plan showing lot dimensions, location of any existing buildings, and proposed addition(s), elevation plans, section and detail drawings as necessary. All plans must be scaled and dimensioned.
			Digital copies of the plans and photos submitted on CD or USB.

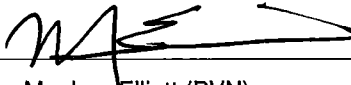
<i>Applicant Submitted</i>	<i>Staff Received</i>	<i>Date Received</i>	
			<p><b>Fencing/Retaining Wall:</b></p> <p>A site plan showing the location of the fence/wall in relation to property lines and any structures with measurements.</p> <p>An elevation drawing or photo of the proposed fence/wall.</p>
			<p><b>Roofing:</b></p> <p>Sample or description of existing material(s).</p> <p>Sample or specifications of proposed material(s).</p> <p>Sample colors.</p> <p>Photographs of all exterior sides affected by the proposed work.</p> <p>Photographs of the building and roof showing existing conditions of roof, coping, flashing, affected masonry, parapet, siding, existing skylights, and/or dormers. Also include any other critical intersections where the roof meets the historic fabric, and sightline drawings when a change in slope or other potentially visible change is proposed.</p>
			<p><b>Heating, Ventilating, and Air Conditioning Equipment</b></p> <p>Site plan showing location of condenser in relation to the building(s) and property lines.</p> <p>Photographs of the proposed location of any condensers or venting.</p> <p>Photographs demonstrating that the proposed unit is not visible from the street.</p> <p>A screening plan if a condenser is in the side yard.</p> <p>Drawing or photograph demonstrating where and how conduit will be attached to the building.</p>
			<p><b>Window/Sash Replacement:</b></p> <p>Statement describing in detail why windows need replacement as well as a description of weatherization efforts and copy of window repair estimates.</p> <p>Existing window design and dimensions.</p> <p>Proposed window design, dimensions, and manufacturer's specifications including shop drawings.</p> <p>Existing type of exterior storm windows.</p> <p>Proposed style of exterior storm windows.</p> <p>Existing exterior window trim material.</p> <p>Proposed exterior window trim material and style.</p> <p>Photographs of all exterior sides where window replacement is being proposed.</p> <p>Photographs of existing features/conditions which support window replacement proposal.</p>

Applicant Submitted	Staff Received	Date Received	
			<b>Other Items Requested by HPC Staff:</b>
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		
<input type="checkbox"/>	<input type="checkbox"/>		


Will any federal money be used in this project?      YES     NO

Are you applying for the Investment Tax Credits?      YES     NO

I, the undersigned, understand that the Design Review Application is limited to the aforementioned work to the affected property. I further understand that any additional exterior work to be done under my ownership must be submitted by application to the St. Paul Heritage Preservation Commission. Any unauthorized work will be required to be removed.

Signature of applicant:       Date: 1/31/2018

Typed name of applicant: Meghan Elliott (PVN)

Signature of owner:       Date: 1/31/18

Typed name of owner: Brian Farrell

Send completed application with the necessary attachments to [ApplyHPC@stpaul.gov](mailto:ApplyHPC@stpaul.gov) or to:

Saint Paul Heritage Preservation Commission  
 Department of Planning and Economic Development  
 25 Fourth Street West, Suite 1400  
 Saint Paul, MN 55102

You may also click the button below to attach the completed application to an email that will go directly to [ApplyHPC@stpaul.gov](mailto:ApplyHPC@stpaul.gov) . **Please attach supporting documents to the email** as well.

Submit Application



**FOR HPC OFFICE USE ONLY**

Address: \_\_\_\_\_  
Date received: \_\_\_\_\_  
Date complete: \_\_\_\_\_

**FILE NO.** \_\_\_\_\_

**City Permit #** \_\_\_\_ - \_\_\_\_\_

District: \_\_\_\_\_/Individual Site: \_\_\_\_\_

Pivotal/Contributing/Non-contributing/New Construction/Parcel

**Requires staff review**

**Requires Commission review**

Supporting data: **YES NO**  
Complete application: **YES NO**  
The following condition(s) must be met in order for application to conform to preservation program:

Submitted:

- 3 Sets of Plans
- 15 Sets of Plans reduced to 8 1/2" by 11" or 11" by 17"
- Photographs
- CD of Plans (pdf) & Photos (jpg)
- City Permit Application
- Complete HPC Design Review application

**Hearing Date set for:** \_\_\_\_\_

**HPC Staff Notes**

[Empty box for HPC Staff Notes]

**It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).**

\_\_\_\_\_  
HPC staff approval

Date \_\_\_\_\_



Commission House [Seestedt Carpets Building]  
282 East 6<sup>th</sup> Street  
Lowertown Historic District

## Design Review Application: Scope of Proposed Exterior Work

The three-story brick building will be rehabilitated for retail at the first level, and residential space at the two upper floors. (The basement level will be support space for retail and residential tenants, specifically storage and a fitness room.) Initially, office use was proposed at the second and third floors. The conceptual design for the office use was presented to the St. Paul Heritage Preservation Commission (HPC) on May 11, 2017. The current application illustrates the residential use.

This project is pursuing state and federal historic tax credits. The Part 2 application (for residential use) was submitted to the Minnesota State Historic Preservation Office (SHPO) May 1, 2017 and conditionally approved by the National Park Service (NPS) on August 9, 2017. (See attached Conditional Approval.) Amendment 1, which both addresses NPS conditions and submits the revised design for residential use, was submitted to SHPO on December 1, 2017 and forwarded to NPS on January 8, 2018. See attached cover letter describing the contents of the Amendment.

Proposed exterior work at the Commission House [Seestedt Carpets Building] includes:

### **North Façade:**

- The north façade is a primary façade bordered by East 6<sup>th</sup> Street.
- The remaining historic transom glass and wood frame will be retained.
- The existing non-historic storefront will be removed. A new storefront, with a more historically compatible configuration and style will be provided.
  - The storefront will be constructed of a composite material for durability at the bulkhead. Glass will be clear.
  - The profile of the new storefront system will match the existing transom framing. (Currently, the transom framing is concealed at the exterior and further investigation will be required.)
- The non-historic corrugated sign band will be removed and the historic sign band restored (assuming it remains).
- A recessed entrance is provided at the northeast corner storefront to meet code and city requirements for exiting.
- All upper level windows will be rehabilitated. Windows will remain operable and interior storm windows will be provided.

### **East Façade:**

- The east façade is a primary façade bordered by Wall Street.
- All windows will be repaired, cleaned, primed, and repainted. Interior storm windows will be provided.
- The lower level window on the east façade will be removed and infilled with a solid, insulated panel recessed within the opening. The bars and metal mesh will be removed.
- The east façade entrance will be retained, including the concrete stoop and steps. The non-historic door will be removed and a new composite panel door with a half lite will be provided within the existing opening.
- The sign will be removed to expose the concealed historic window below.



Commission House [Seestedt Carpets Building]  
282 East 6<sup>th</sup> Street  
Lowertown Historic District

- *(Note: Previously, three new window openings were proposed on the east façade. Per HPC comments and NPS conditions, these new window openings have been eliminated)*

### **South Façade:**

- The south façade is a secondary façade.
- The majority of the south façade windows are covered at the interior and exterior. All infill materials will be removed and the windows evaluated for the extent of repair. If windows are remaining they will be rehabilitated and storms will be installed. If the windows are missing or deteriorated beyond repair, they will be replaced with 4/4 divided lite wood windows to match the visible historic windows on the south façade.
- The non-historic shed addition at the south façade will be removed and a fire escape at the southwest corner will be provided.
  - Though a 1928 permit indicates an 18 foot by 24 foot shed of iron/steel, the shed in its current configuration and construction does not appear to be historic (the current footprint is smaller than listed on the permit). No shed addition is visible on any of the Sanborn Fire Insurance Maps. The shed is constructed primarily of wood framing (roof and wall) with one steel beam and a steel post at each end (east side of the addition). The south wall of the building is the exposed brick of the adjacent building. Both east and west walls are clad entirely in plywood. The floor is plywood; the floor framing is unknown, but assumed to be wood. There does not appear to be a stone foundation, only plywood is visible at both sides, at the exterior.
  - The fire escape will extend from the lower level to the roof and provides code-required means of egress. (The second means of egress will remain at the interior.)
  - This work includes enlarging two existing window openings (second and third level) into door openings and providing two new door openings (first and lower level).
  - The building department has requested a roof be installed over the fire escape. A minimal roof is currently shown in the proposed plans to comply with their request.
- The easternmost entrance doors at the south façade will be lowered to alley elevation, providing an accessible means of egress for upper level occupants.
  - Lowering the doors requires the removal of one historic grade level opening, which historically provided daylight to the lower level.
  - The historic wood doors will be removed and affixed to the adjacent interior walls.
  - A new pair of composite, paneled doors with glazing will be provided. Transoms will be provided in the remainder of the opening above the doors.
- The remaining historic double doors at the second bay from the east will be retained and fixed in place with a transom provided above.
- The third bay doors are currently infilled at the exterior and interior. If historic doors are remaining and repairable, they will be retained, rehabilitated, primed and painted, and fixed in place. If no historic doors are found at this opening, the infill will be removed and replica composite panel doors will be provided at the exterior and a loading opening will be provided at the interior.

Commission House [Seestedt Carpets Building]  
282 East 6<sup>th</sup> Street  
Lowertown Historic District

- The single door east of the third bay door opening will be infilled with brick.
- The non-historic door at the fourth bay opening (currently used to access the shed) will be fixed in place.
- The grade level openings will be retained and a solid infill panel recessed within the openings will be provided.
- The proposed exterior signage locations and sizes are shown. A Master Sign Plan will be submitted for review and approval by the Heritage Preservation Commission if multiple tenants are secured for this building.

#### **West Façade:**

- Though a secondary façade, the west façade faces a parking lot and is visible from East 6<sup>th</sup> Street.
- Thirteen new window openings are proposed on the west façade. Openings are stacked and consistent with the size of the existing openings on the east façade. To differentiate from the historic windows, the new windows will be double-hung wood with a 1/1 configuration and flat top in lieu of an arch. The northernmost window will be set back 15 feet from the front façade. There will not be a second or third level window above this first window.

#### **Roof:**

- Rooftop access, via a stair and elevator, is proposed in the second bay from the east. A small vestibule is included to provide cover at the elevator. An historic elevator overrun currently exists at this bay.
  - After further structural investigations, due to extremely undersized (and unsafe) existing roof structure, the existing roof framing and system will be removed in its entirety and replaced with code-required structure and a minimally sloped roof system. The attic space is large enough to allow the new roof system to be lowered. Lowering the roof allows the height of the rooftop to be reduced by 7'-11" from the pre-application submittal and eliminates the need for a secondary framing system for the rooftop access addition.
  - The massing of the rooftop access addition is considerably reduced and includes a sloped roof over the stair and a flat roof over the remainder. The primary roof of the access addition is 5'-11" above the north parapet wall and 4 inches higher than the existing historic brick elevator overrun walls. The roof of the elevator is 4'-5" above the flat roof of the vestibule (10'-4" above the north parapet wall).
  - The rooftop access addition materials include: dark bronze corrugated cladding material.
  - See attached visibility study. *(Note: Based on HPC and NPS comments, the previously proposed rooftop addition was eliminated and replaced with a much smaller footprint of stair and elevator access only.)*
- A roof deck with glass guardrail will be provided as well as a code-required walkway to the exterior fire escape stair.
  - *(The deck space has been reduced to fit within the two center bays.)*

Commission House [Seestedt Carpets Building]  
282 East 6<sup>th</sup> Street  
Lowertown Historic District

- Rooftop units will be placed on the roof between the rooftop access and fire escape stair walkway near the south side of the roof.
  - The units are minimally visible, if at all.
  - A metal safety guardrail, as required by code, will be provided at the south side of the roof.
  - *(Rooftop mechanical units have also been substantially reduced in size.)*

COMMISSION HOUSE | DESIGN REVIEW APPLICATION

HISTORIC PHOTOS AND IMAGES



H.01 *Cornish, Curtis & Greene Company Creamery Supply looking southwest. 1898. "The Quotation," Vol, 1 No. 39 (1898), courtesy of the MN Historical Society.*



H.02 *Manners and Motz Building looking southwest. 1924. Photo Courtesy of the Minnesota Historical Society archives (1542-B).*

COMMISSION HOUSE | DESIGN REVIEW APPLICATION

HISTORIC PHOTOS AND IMAGES



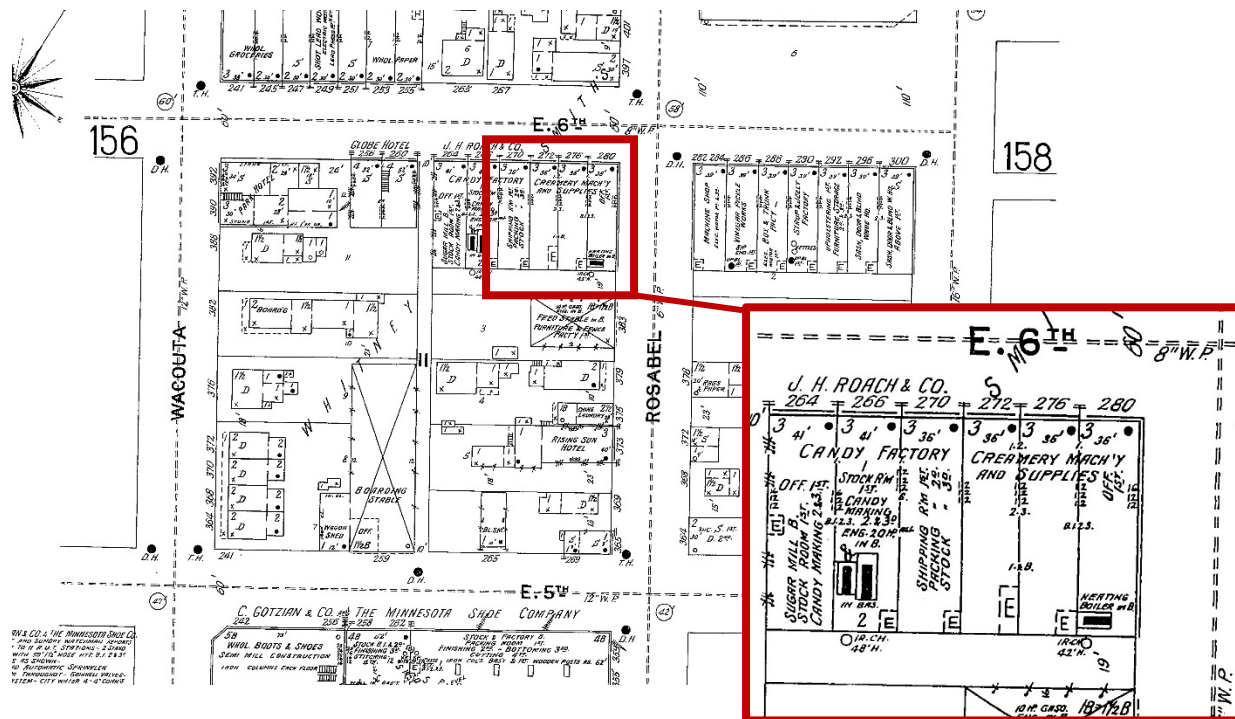
H.03 *Manners and Motz storefront looking southwest. 1924. Photo Courtesy of the Minnesota Historical Society archives (1612-B).*



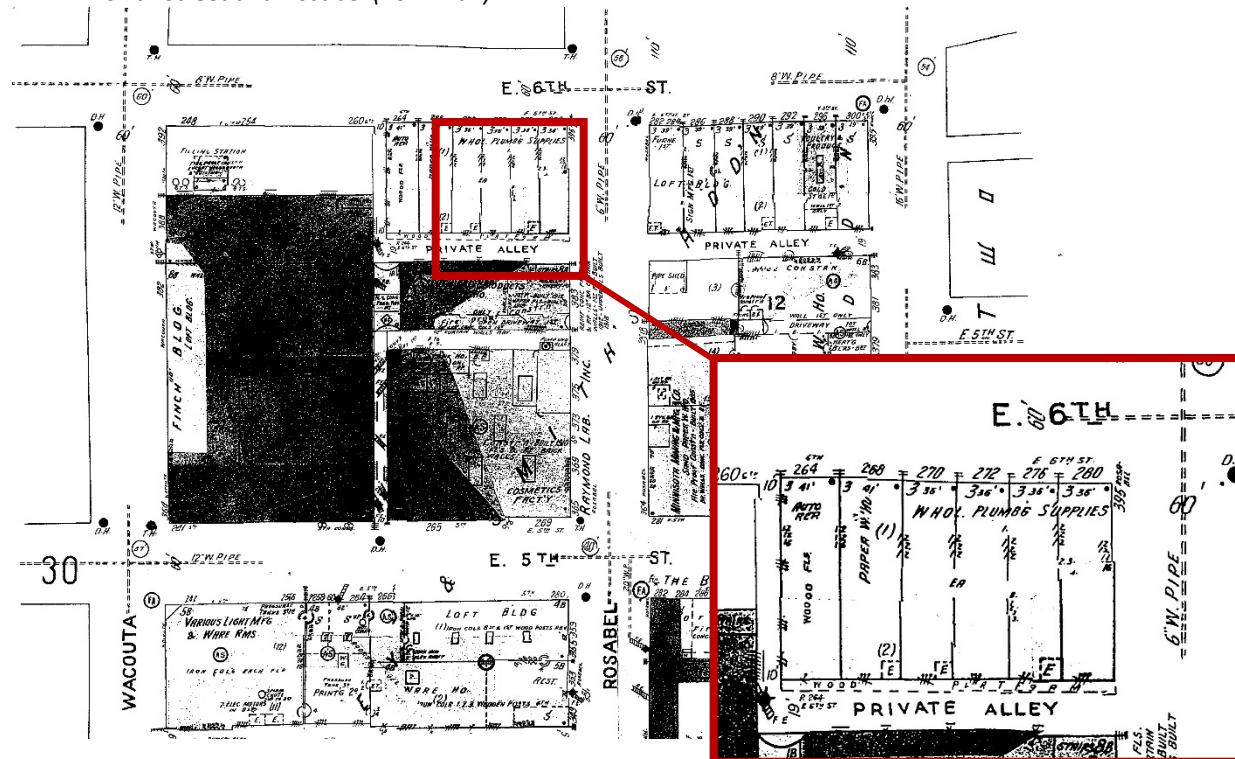
H.04 *Manners and Motz Warehouse located west of the burning building. 1936. Photo Courtesy of the Minnesota Historical Society archives (3563-A).*

COMMISSION HOUSE | DESIGN REVIEW APPLICATION

HISTORIC PHOTOS AND IMAGES



H.05 Saint Paul Sanborn map. 1903-1904. The Commission House is located at the northeast corner of East Sixth Street and Rosabel (now Wall).



H.06 Saint Paul Sanborn map. 1926-Dec. 1951. The Commission House located at the northeast corner of East Sixth Street and Rosabel (now Wall).

COMMISSION HOUSE | DESIGN REVIEW APPLICATION  
EXTERIOR PHOTOGRAPHS



E.01 View of the west<sup>1</sup> elevation, looking east. October 2015.



E.02 View of the north corner of the building, looking south. October 2015.

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<sup>1</sup> For ease, this project will refer to the northwest façade as “north,” the northeast façade as “east,” the southwest façade as “west,” and the southeast façade as “south.”

COMMISSION HOUSE | DESIGN REVIEW APPLICATION  
EXTERIOR PHOTOGRAPHS



E.03 View of the east and north elevations, looking west. October 2015.



E.04 View of the east elevation, looking north. October 2015.



COMMISSION HOUSE | DESIGN REVIEW APPLICATION  
EXTERIOR PHOTOGRAPHS



E.05 View of north elevation fronting East Sixth Street, looking south. October 2015.



E.06 View of east elevation, looking west. October 2015.

COMMISSION HOUSE | DESIGN REVIEW APPLICATION

EXTERIOR PHOTOGRAPHS



*E.07 View of south elevation, looking northwest. Note the limestone foundation, and loading dock with historic wood double leaf panel doors. October 2015.*



*E.08 View of west elevation, looking east. October 2015.*

COMMISSION HOUSE | DESIGN REVIEW APPLICATION

EXTERIOR PHOTOGRAPHS



E.09 View of the Commission House building, current main entrance, north elevation, looking south. October 2015.

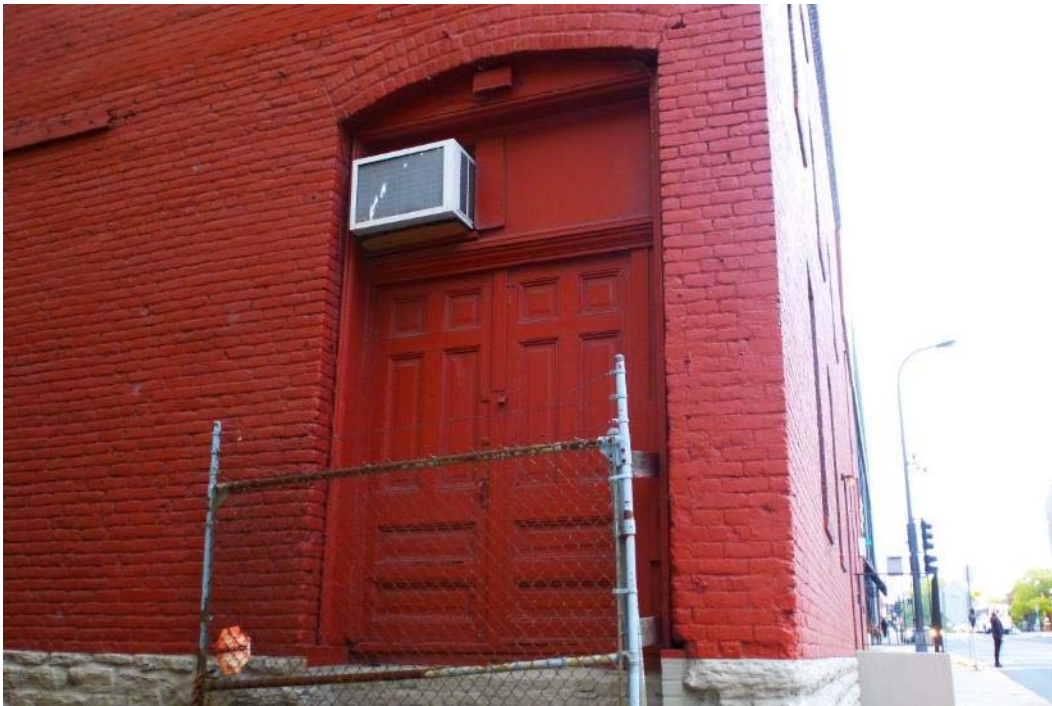


E.10 View of east elevation secondary entrance. October 2015.

COMMISSION HOUSE | DESIGN REVIEW APPLICATION  
EXTERIOR PHOTOGRAPHS



*E.11 View of remaining south elevation, historic loading dock doors, looking north. October 2015.*

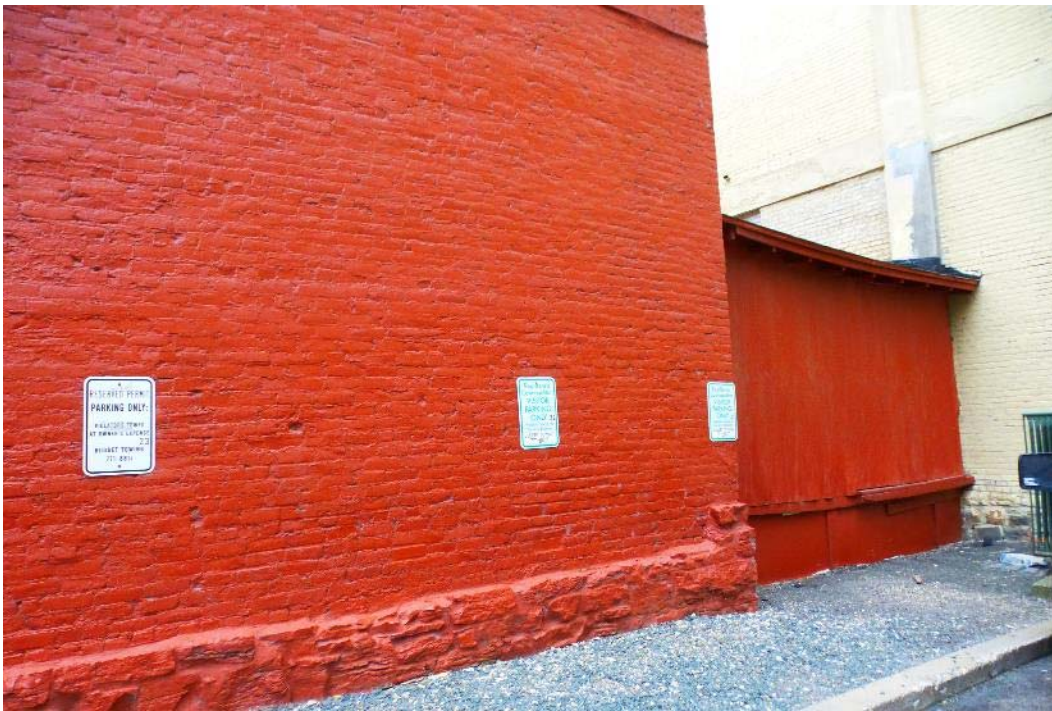


*E.12 View of remaining south elevation, historic loading dock doors, looking north. October 2015.*

COMMISSION HOUSE | DESIGN REVIEW APPLICATION  
EXTERIOR PHOTOGRAPHS



E.13 View of south elevation remaining wood windows and infilled window openings, elevator overrun, and drainage system, looking north. October 2015.



E.14 View of west elevation, looking south east. Note the limestone foundation, and the addition on the southwest façade. October 2015.

COMMISSION HOUSE | DESIGN REVIEW APPLICATION  
EXTERIOR PHOTOGRAPHS



E.15 View of the roof from across the street, looking true east. Summer 2015. Photo courtesy of Global Resource Developers, Inc.



E.16 View of the roof from across the street, looking true south. Summer 2015. Photo courtesy of Global Resource Developers, Inc.

# PVN

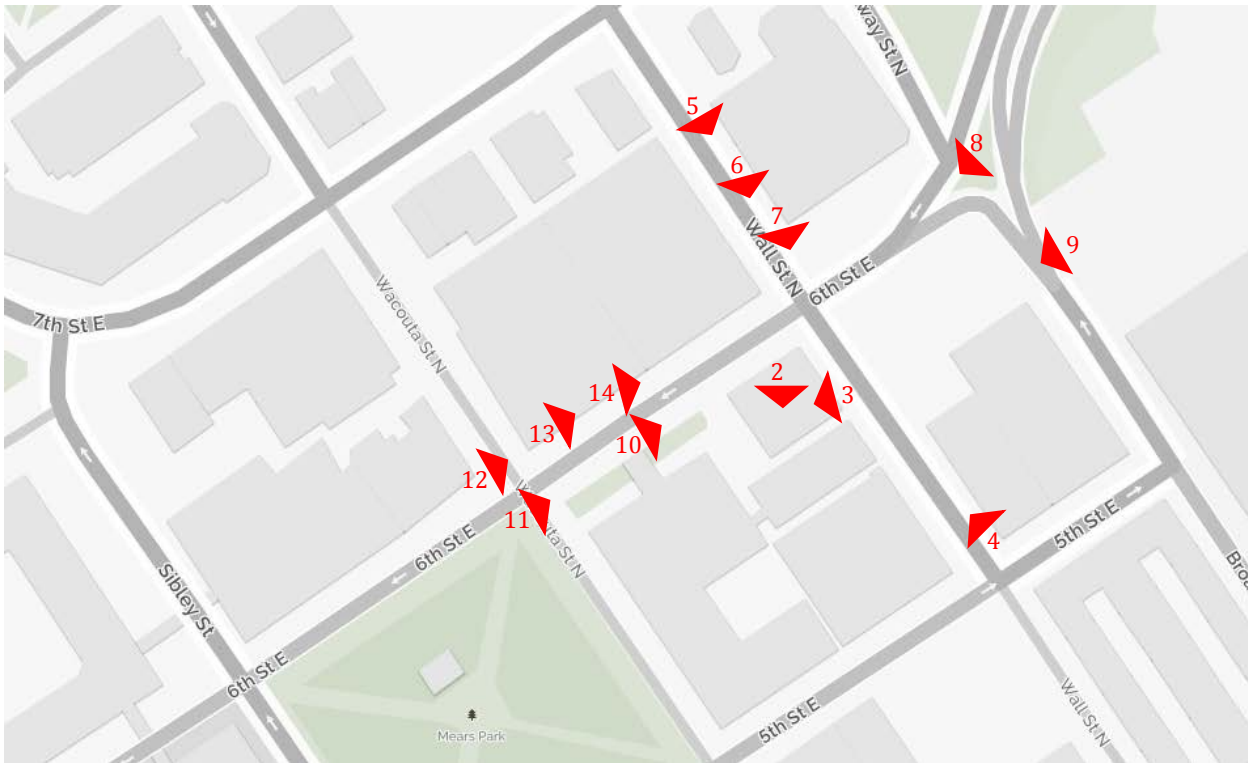


Figure 1: Vicinity map of the Seestedt Carpets (Commission House) building at 282 6th Street East, St. Paul, MN.



Figure 2: View of roof top addition mock up during its assembly, looking southwest. *Photo courtesy of Crowe Construction.*



Figure 3: View of rooftop addition mock up, looking west. *Photo courtesy of Crowe Construction.*



Figure 4: View of the Commission House, looking northwest from the intersection of Wall Street and 5<sup>th</sup> Street East. Mock up rooftop addition minimally visible.





Figure 5: View of the Commission House, looking south from Wall Street.



Figure 6: View of the Commission House, looking south from Wall Street.



Figure 7: View of the Commission House, looking south from Wall Street.

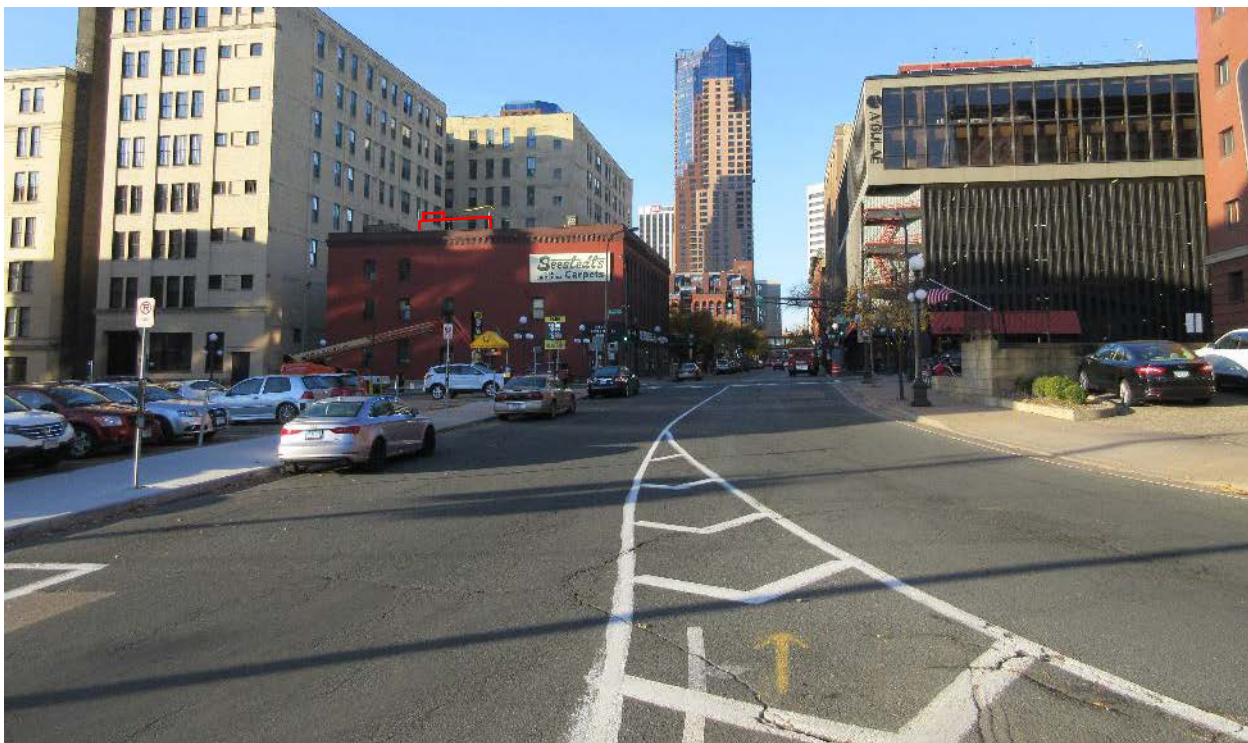


Figure 8: View of the Commission House, looking southwest from the intersection of Broadway Street and Interstate 94.



Figure 9: View of the Commission House, looking west from Broadway Street.



Figure 10: View of the Commission House, looking northeast.



Figure 11: View of the Commission House, looking northeast from the intersection of Wacouta Street and 6th Street East.



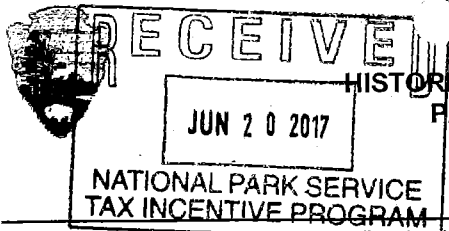
Figure 12: View of the Commission House, looking east.



Figure 13: View of the Commission House, looking east.



Figure 14: View of the Commission House, looking east.



HISTORIC PRESERVATION CERTIFICATION APPLICATION  
PART 2 - DESCRIPTION OF REHABILITATION

NPS Project Number  
33406

Instructions: This page must bear the applicant's original signature and must be dated. The National Park Service certification decision is based on the descriptions in this application form. In the event of any discrepancy between the application form and other, supplementary material submitted with it (such as architectural plans, drawings and specifications), the application form takes precedence. A copy of this form will be provided to the Internal Revenue Service.

1. Property Name Commission House (Seestedt Carpets Building)  
Street 282 East 6th Street

City Saint Paul County Ramsey State MN Zip 55101-1922

Name of Historic District Lowertown Historic District

- Listed individually in the National Register of Historic Places; date of listing \_\_\_\_\_
- Located in a Registered Historic District; name of district Lowertown Historic District
- Part 1 - Evaluation of Significance submitted? Date submitted 12/14/15 Date of certification 01/20/16

2. Project Data

Date of building 1889 Estimated rehabilitation costs (QRE) \$3,841,699

Number of buildings in project 1 Floor area before / after rehabilitation 29,368 / 29,368 sq ft

Start date (estimated) 08/01/2017 Use(s) before / after rehabilitation Retail/Whse / Comm/Office

Completion date (estimated) 02/01/2018 Number of housing units before / after rehabilitation 0 / 0

Number of phases in project 1 Number of low-moderate income housing units before / after rehabilitation 0 / 0

3. Project Contact (if different from applicant)

Name Casie Radford or Meghan Elliott Company Preservation Design Works

Street 575 SE 9th Street, Suite 215 City Minneapolis State MN

Zip 55414-1399 Telephone (612) 843-4140 Email Address radford@pvnworks.com or elliottpvnworks.co

4. Applicant

I hereby attest that the information I have provided is, to the best of my knowledge, correct. I further attest that [check one or both boxes, as applicable] (1)  I am the owner of the above-described property within the meaning of "owner" set forth in 36 CFR § 67.2 (2011), and/or  if I am not the fee simple owner of the above-described property, the fee simple owner is aware of the action I am taking relative to this application and has no objection, as noted in a written statement from the owner, a copy of which (i) either is attached to this application form and incorporated herein, or has been previously submitted, and (ii) meets the requirements of 36 CFR § 67.3(a)(1) (2011). For purposes of this attestation, the singular shall include the plural wherever appropriate. I understand that knowing and willful falsification of factual representations in this application may subject me to fines and imprisonment under 18 U.S.C. § 1001, which, under certain circumstances, provides for imprisonment of up to 8 years.

Name Brian Farrell Signature [Signature] Date 04/18/17

Applicant Entity Northland Real Estate Group, LLC or assigns SSN \_\_\_\_\_ or TIN 47-2551670

Street 4324 West Lake Harriet Parkway City Minneapolis State MN

Zip 55410-1674 Telephone (612) 850-8443 Email Address brian@northlandregroup.com

Applicant, SSN, or TIN has changed since previously submitted application.

NPS Official Use Only

The National Park Service has reviewed the Historic Preservation Certification Application - Part 2 for the above-named property and has determined that:

- the rehabilitation described herein is consistent with the historic character of the property and, where applicable, with the district in which it is located and that the project meets the Secretary of the Interior's Standards for Rehabilitation. This letter is a preliminary determination only, since a formal certification of rehabilitation can be issued only to the owner of a "certified historic structure" after rehabilitation work is complete.
- the rehabilitation or proposed rehabilitation will meet the Secretary of the Interior's Standards for Rehabilitation if the attached conditions are met.
- the rehabilitation described herein is not consistent with the historic character of the property or the district in which it is located and that the project does not meet the Secretary of the Interior's Standards for Rehabilitation.

Date 8/9/17 National Park Service Authorized Signature [Signature]

NPS conditions or comments attached

**CONDITIONS SHEET**  
**Historic Preservation Certification Application**

Property name: Commision House

Project Number: 33406

Property address: 282 East 6th Street

St. Paul, Ramsey County, MN 55101-1922

The rehabilitation of this property as described in the Historic Certification Application will meet the Secretary of the Interior's Standards for Rehabilitation provided that the following condition(s) is/are met:

1. Proposed roof top addition and roof top deck do not meet Standards and shall be deleted from the project, as they are too visible from the street.
2. Proposed HVAC units at roof are too visible from the street and should be moved towards the center, or center back edge of the roof where they will be less visible.
3. Proposed new window openings at east elevation do not meet Standards as this is a primary façade. This work shall be deleted from the project.
4. Proposed new window and door units shall be compatible with the historic building. Details at head, jamb, sill and meeting rails shall be submitted to NPS and SHPO for review and approval, prior to purchase or installation.
5. Historic windows shall be retained and repaired unless beyond repair. Beyond repair condition must be justified with clear detail photos of the window's condition and submitted to NPS and SHPO for approval, prior to replacement. Any proposed replacement windows must match the historic in size, configuration, operation and profiles. Detail drawings of the proposed units at head, jamb, sill and meeting rail within the window opening should be submitted to NPS and SHPO for review and approval prior to purchase or install.
6. Bulkhead at storefronts shall be constructed of a compatible material, rather than metal panels. Please submit modified design to NPS and SHPO for review and approval.
7. Historic plaster and wood trim shall be retained and repaired though out the building, not just within small zones. Wood trim should not be removed and reinstalled elsewhere in the building, but left in place. Plaster shall not be removed from walls and ceilings to expose brick and floor structure as this will create a false sense of history as well as destroy historic material.
8. New systems shall sensitively located and installed though out the building. New systems shall not be exposed in areas of the building that were historically finished. Please submit drawings of new systems to SHPO and NPS for review and approval.
9. This approval does not extend to work not submitted for tenant spaces, details of which have not been submitted for review and approval to the State Historic Preservation Office and this office. Federal regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the oval project with the Secretary's Standards.

6/14/17 [Signature]  
Date State Official Signature Historical Architect, MN SHPO

651-259-3462  
State Contact Telephone Number

The National Park Service has determined that this project will meet the Secretary of the Interior Standards for Rehabilitation if the condition(s) listed in the box above are met.

8/9/17 [Signature]  
Date National Park Service Signature

Telephone Number



Meghan Elliott &lt;elliott@pvnworks.com&gt;

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## Commission House at HPC

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Natascha Wiener &lt;natascha.wiener@mnhs.org&gt;

Mon, Jan 22, 2018 at 2:26 PM

To: Meghan Elliott &lt;elliott@pvnworks.com&gt;

Meghan,

Here are my comments as they were to NPS, and the recommended conditions that when with them. You will note that not all things discussed in the comments have conditions and vice versa:

This amendment is a response to conditions but also a major change in use. Previously the 2<sup>nd</sup> and 3<sup>rd</sup> floor were proposed as office, but they have now gone to apartments.

The change to apartment units appears acceptable. One questionable modification is the proposed new openings on the west elevation. This is a highly visible non-primary elevation. A group of new windows openings were proposed and approved on this elevation as part of the Part 2; however, their new proposal pushes the new openings towards the street. Where they were set back by 15' previously, they are now set back by 10'. There are no structural bays as such, to measure the situation, but this seems too close to the street on a highly visible facade and will affect the historic character of this facade. The proposed opening closest to the street would be the 4<sup>th</sup> window unit in that particular unit, so it is not actually required as part of their use. *Please Advise.*

The primary issue of concern as related to the previous conditions would be the roof top addition. They have significantly reduced it, but it is still a stair and elevator addition on top of a small and square 3 story building. The addition will be very visible from the east, and moderately visible from other perspectives. It is also clad in metal panels rather than a masonry material. *Please Advise.*

Storefront is looking pretty good. They have included spandrel glass as the bulkhead – the historic photo does show something unusual there, so something approximating structural glass could be considered acceptable.

A number of the items that potentially push the character of the building towards industrial have been removed; however, they still have exposed ductwork in the storefronts, which could easily be soffited.

### Recommended Conditions:

1. Any proposed new doors, windows or storefronts shall have a painted finish, and may not have an anodized finish.
2. Plumbing from apartment units on the 2<sup>nd</sup> floor shall not emerge though or be visible at the 1<sup>st</sup> floor ceiling.
3. New systems, including but not limited to ducts, electrical and plumbing, shall be sensitively located in upper stairs corridors, and not concentrated. Any systems in historically finished spaces shall be soffited or otherwise concealed.
4. Proposed roof top addition and roof top deck do not meet Standards and shall be deleted from the project, as they are too visible from the street.
5. This approval does not extend to work not submitted for tenant spaces, details of which have not been submitted for review and approval to the State Historic Preservation Office and this office. Federal regulations governing this program require evaluation of the entire project. This approval may be superseded if it is found that the overall rehabilitation does not meet the Secretary's Standards. Please submit for review the information regarding any additional work as soon as available to ensure conformance of the oval project with the Secretary's Standards.



Regards,  
Natascha

**Natascha Wiener**

**MN State Historic Preservation Office | [345 Kellogg Blvd W](#) | [St. Paul, MN 55102](#)  
tel: [651-259-3462](tel:651-259-3462) | e: [natascha.wiener@mnhs.org](mailto:natascha.wiener@mnhs.org)**

**The State Historic Preservation Office is moving February 26-March 2, 2018**

The SHPO is moving to a new home at the Minnesota Department of Administration and will have limited operations for five days, Feb. 26-March 2, 2018. During this time, the public will not be able to access research files. In addition to the physical move, it will take time to settle into a new administrative system. As a result, **we are asking that applicants please understand that project review times may extend up to 45 days for projects submitted to our office after Feb. 26 and through March 9.** We thank you for your cooperation and understanding.

**We're moving to: Minnesota Department of Administration, [50 Sherburne Ave.](#), [St. Paul, MN 55155](#). New phone numbers and emails to come.**

For the latest move information, please consult the [Heritage Preservation website](#) or [sign up to get email alerts](#).

[Quoted text hidden]

# COMMISSION HOUSE RENOVATION

282 EAST 6TH ST  
ST PAUL, MN

## DEFERRED SUBMITTALS

1. REVIEW OF SPECIAL INSPECTIONS REPORTS
2. FIRE SPRINKLER SYSTEM SHOP DRAWINGS

**POPE**  
ARCHITECTS

1295 BANDANA BLVD N, SUITE 200  
ST. PAUL, MN 55108-2735  
(651) 642-9200 | FAX (651) 642-1101  
www.popearch.com

**NORTHLAND**  
REAL ESTATE GROUP

COMMISSION HOUSE  
RENOVATION  
282 EAST 6TH ST  
SAINT PAUL, MN



IMAGE FOR ILLUSTRATION PURPOSES ONLY - NOT TO BE USED FOR CONSTRUCTION

## PROJECT DIRECTORY

### OWNER

Northland Real Estate Group  
Contact: Brian Farrell  
Phone: (612) 850-8443  
brian@northlandregroup.com

### ELECTRICAL

Cain Thomas Associates, Inc.  
4215 White Bear Parkway, Suite 100  
St. Paul, MN 55110  
Contact: Dave Carlson-McLagn  
Phone: (651) 287-1135  
dcarlson@ctamep.com

### ARCHITECT

Pope Architects  
1295 Bandana Boulevard N, Suite 200  
St. Paul, MN 55108  
Contact: Daniel Pollastrini  
Phone: (651) 789-1604  
dpollastrini@popearch.com

### GENERAL CONTRACTOR

Crowe Construction  
141 4th St. E #203  
St. Paul, MN 55101  
Contact: Patrick Crowe  
Phone: (651) 203-1166  
pcrowe@crowecm.com

### STRUCTURAL

Mattson MacDonald Young, Inc.  
Bassett Creek Business Center #100  
Minneapolis, MN 55401  
Contact: Kirk Davis  
Phone: (612) 827-7825  
kirk@mattsonmacdonald.com

### HISTORICAL CONSULTANT

PVN  
575 SouthEast 9th Street (Suite 215)  
Minneapolis, MN 55414  
Contact: Casie Radford/ Meghan Elliott  
Phone: (612) 843-4140  
radford@pvnworks.com

### MECHANICAL

Cain Thomas Associates, Inc.  
4215 White Bear Parkway, Suite 100  
St. Paul, MN 55110  
Contact: Scott Thomas  
Phone: (651) 287-1130  
stthomas@ctamep.com

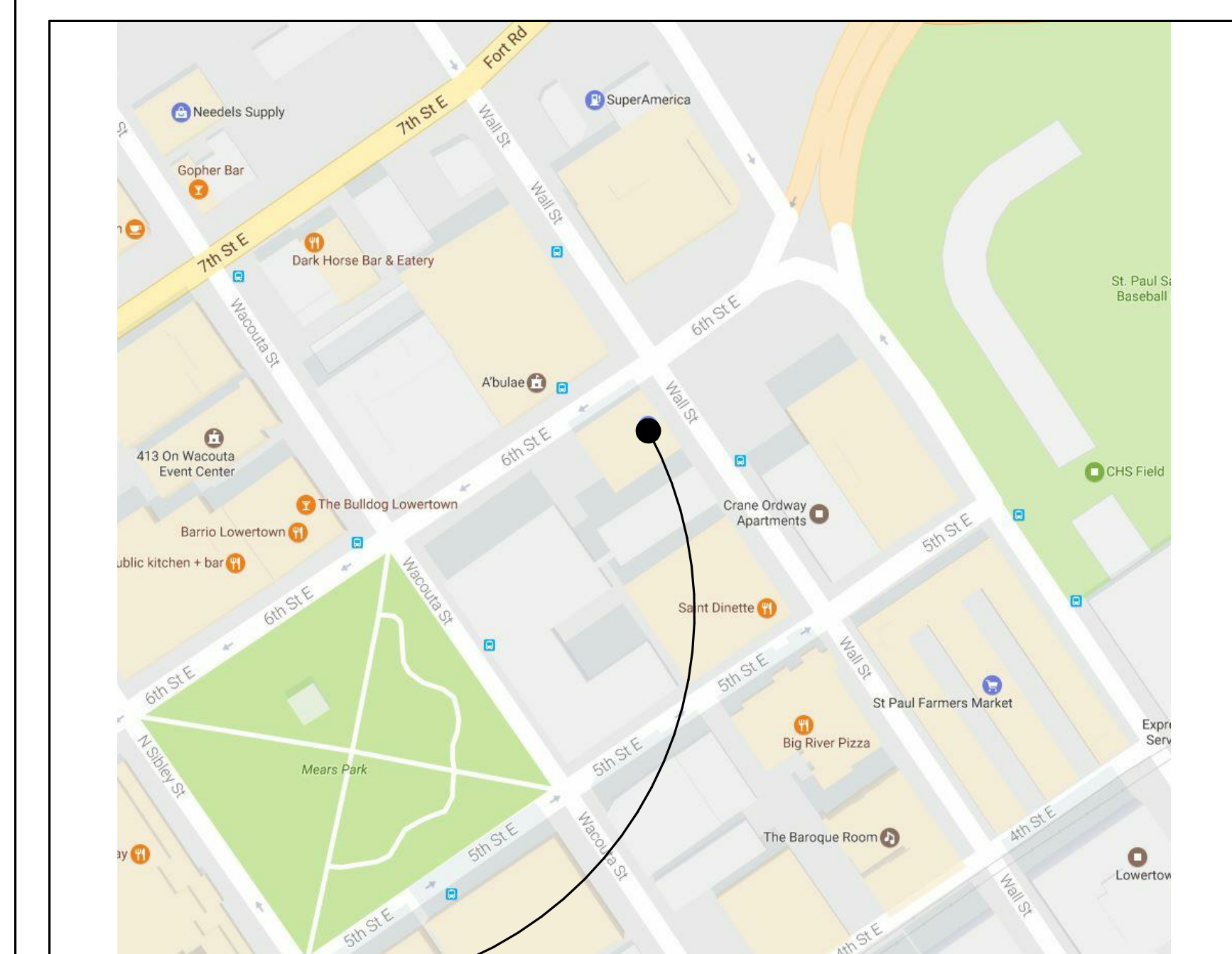
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SHEET NUMBER	SHEET NAME	50% CD ISSUE 4-19-17	PVN REVISIONS 4-26-17	PART 2 AMEND. 11-30-17	HPC REVISIONS 2-2-18
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## LOCATION MAP



SITE LOCATION:  
282 EAST 6TH ST  
ST PAUL, MN



NOT FOR CONSTRUCTION

## TITLE SHEET

Revision	Description	Date
50% CD ISSUE		4-19-17
PVN REVISIONS		4-26-17
PART 2 AMEND. 1		11-30-17
HPC REVISIONS		2-2-18

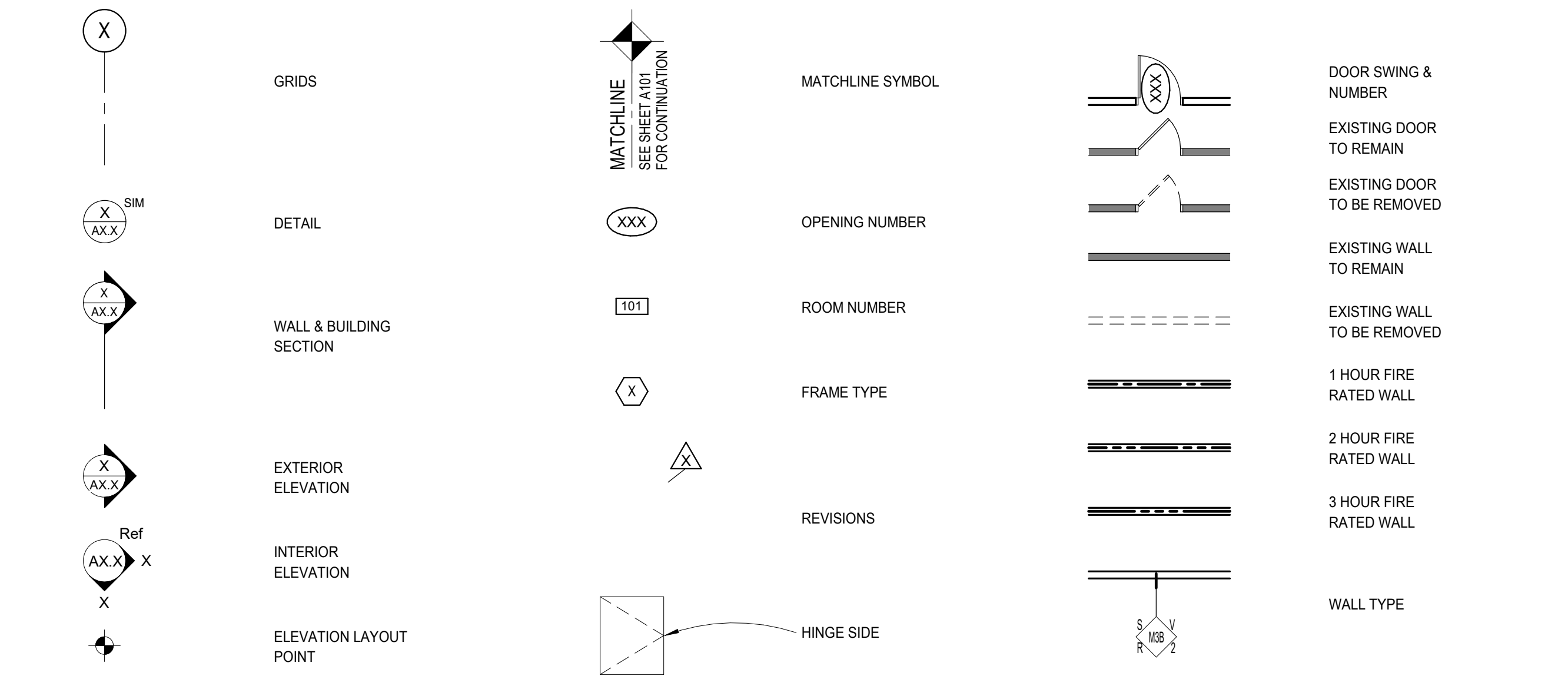
Commission No: 55678-17047  
Drawn by: DD  
Checked by: DTP, GV

SHEET

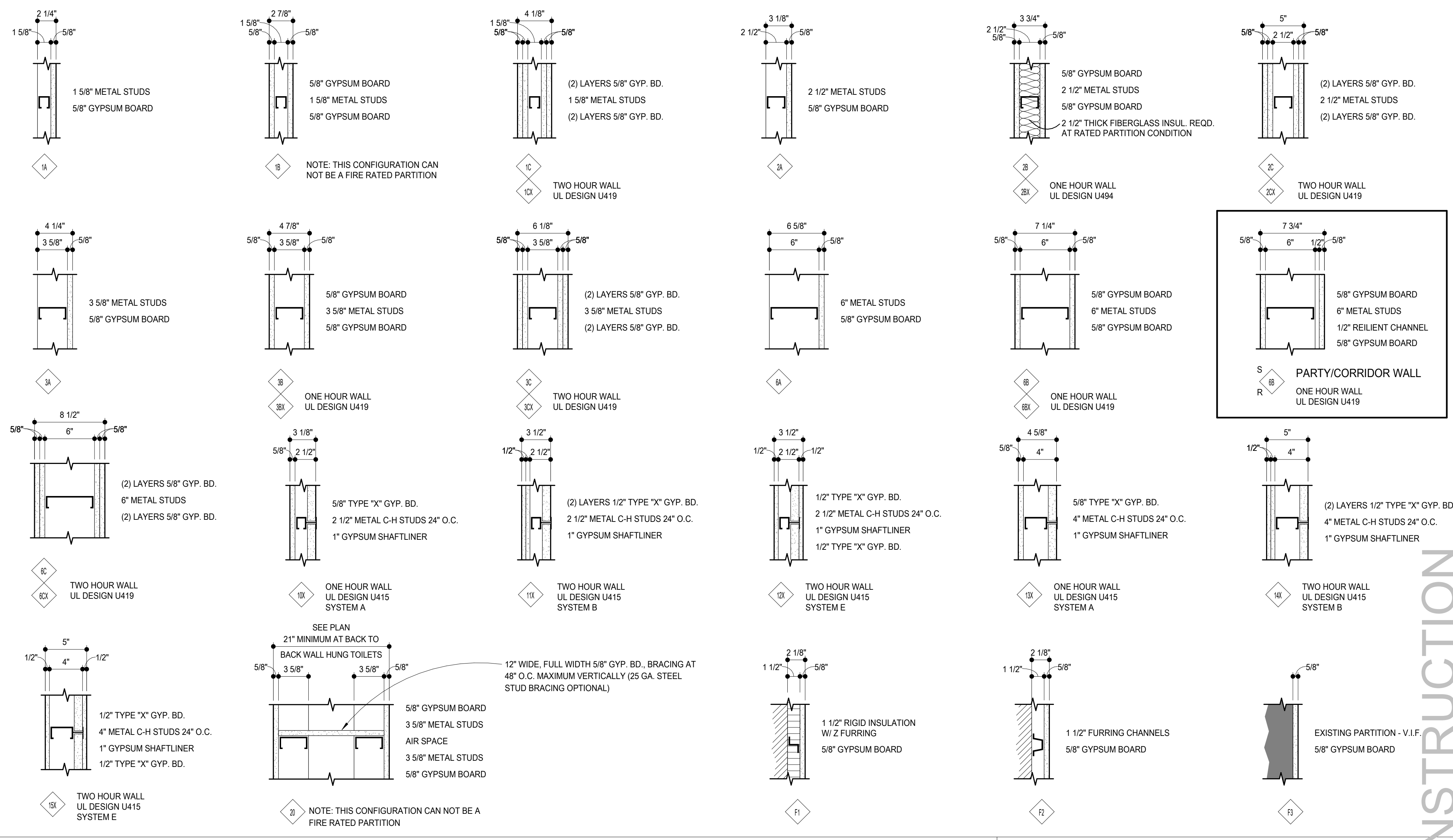
# A0.1

GRAPHIC SCALE  
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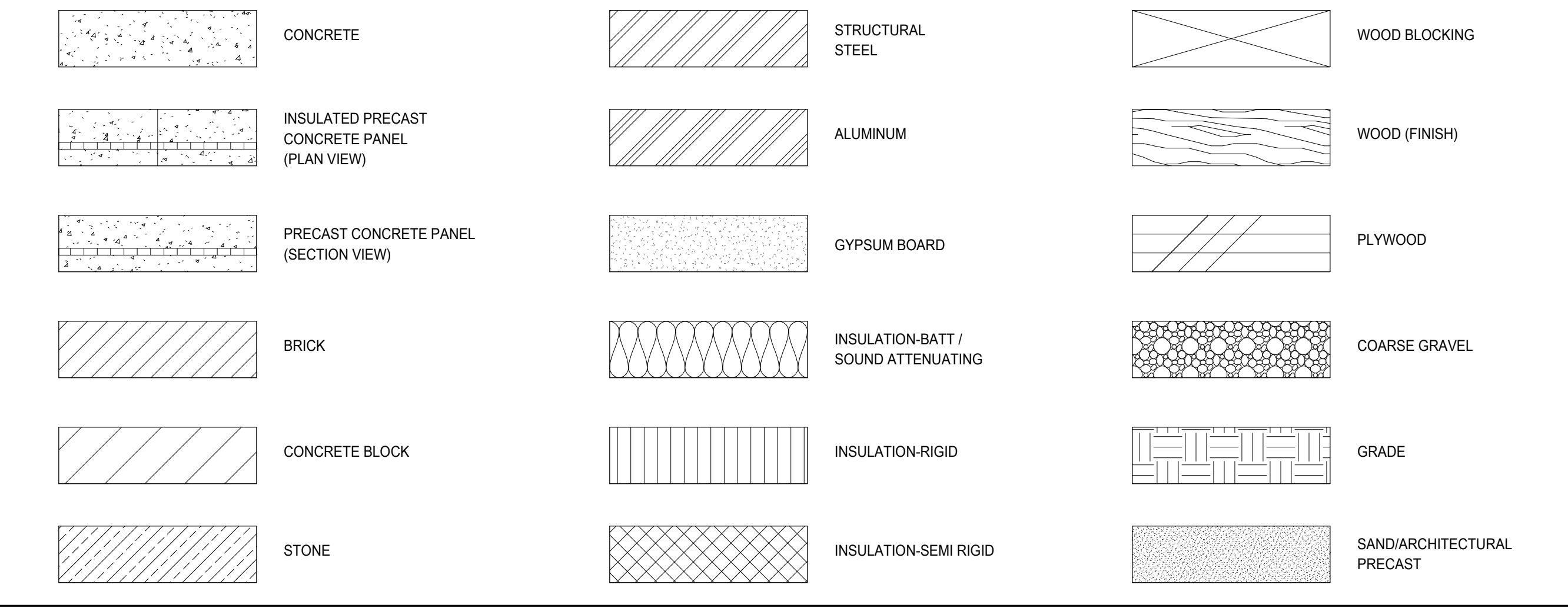
# SYMBOLS



# PARTITION TYPES



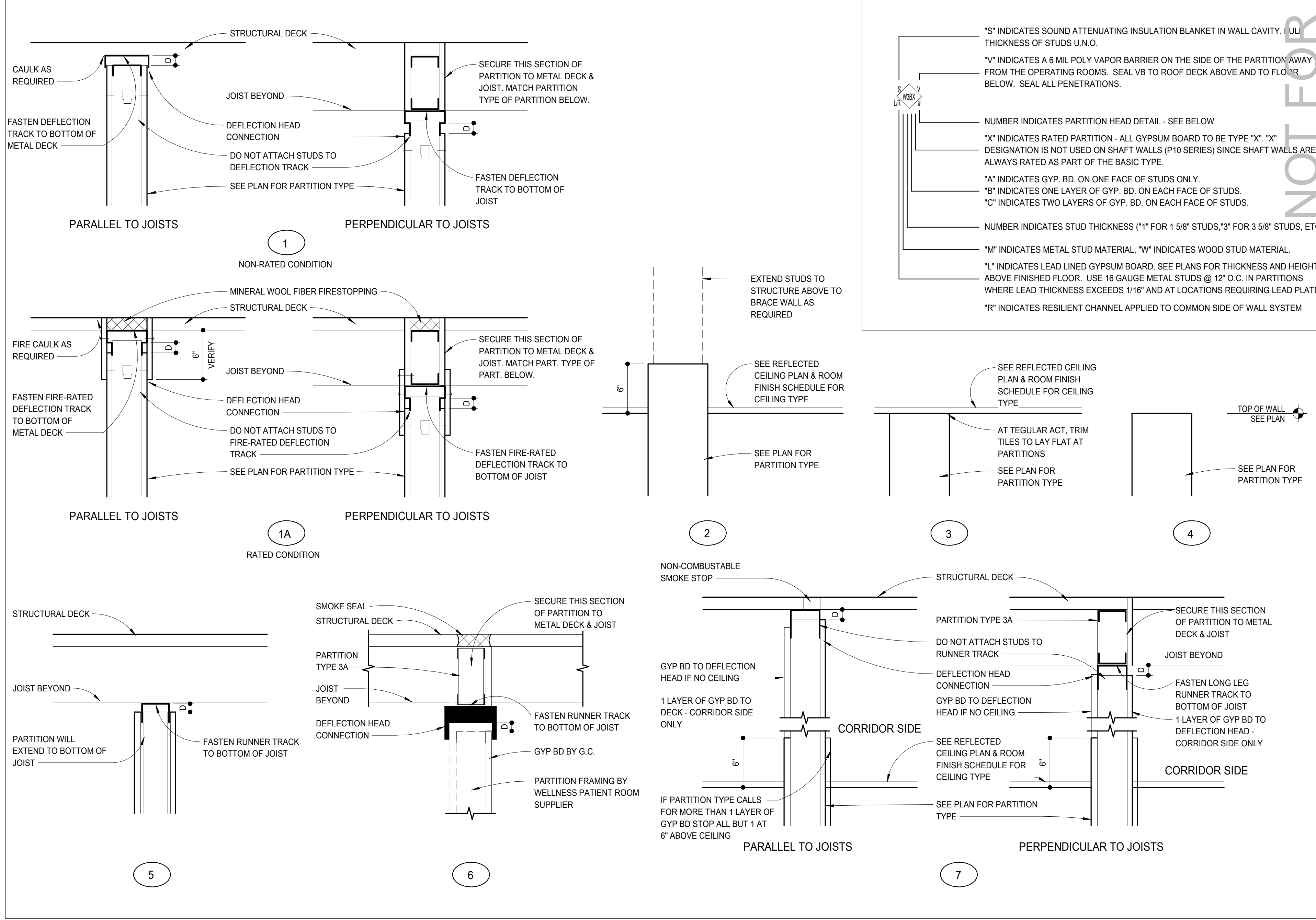
# INDICATION OF MATERIALS



# ABBREVIATIONS

AB	ANCHOR BOLT	EQUIP	EQUIPMENT	MATL	MATERIAL	SF	SQUARE FOOT/FEET
ACC	ACCESSIBLE	ETC	ET CETERA	MAX	MAXIMUM	SHLVG	SHELVING
ACG	ACOUSTIC CEILING GRID	EW	EACH WAY	MECH	MECHANICAL	SHT	SHEET
ACP	ACOUSTIC CEILING PANEL	EWC	ELECTRIC WATER COOLER	MED CAB	MEDICINE CABINET	SIM	SIMILAR
ACT	ACOUSTIC CEILING TILE	EXH	EXHAUST	MEMB	MEMBRANE	SLNT	SLANT
ADJ	ADJUSTABLE	EXIST	EXISTING	SNR	SANITARY NAPKIN DISPENSER	SND	SANITARY NAPKIN RECEPTOR
AFF	ABOVE FINISH FLOOR	EXP	EXPOSED	MEZZ	MEZZANINE	SQ	SQUARE
AGG	AGGREGATE	EXPAN	EXPANSION	MFR	MANUFACTURER	SS	STAINLESS STEEL
ALT	ALTERNATE	EXT	EXTERIOR	MANHOLE	MANHOLE	SSM	SOLID SURFACE MATERIAL
ALUM	ALUMINUM	FD	FLOOR DRAIN	MN	MINIMUM	ST	STAIN STD STANDARD
AP	ACCESS PANEL	FDN	FOUNDATION	MIR	MIRROR	STL	STEEL
APPROX	APPROXIMATE	FE	FIRE EXTINGUISHER	MISC	MISCELLANEOUS	STOR	STORAGE
ARCH	ARCHITECT(URAL)	FEC	FIRE EXTINGUISHER CABINET	MLDGT	MOLDING	STRUCT	STRUCTURAL
ATTEN	ATTENUATING	FIN	FINISH	MNTG	MOUNTING	SUSP	SUSPENDED
AV	AUDIO VISUAL	FIXT	FIXTURE	MO	MASONRY OPENING	SV	SHEET VINYL
		FLOR	FLOOR OF FLOAT	MULL	MULLION	SW	SWITCH
BCS	BABY CHANGING STATION	FLG	FLOORING	NIC	NOT IN CONTRACT	SYM	SYMMETRY, SYMMETRICAL SYSTEM
BD	BOARD	FR	FIRE RATED	NO	NO	T	TREAD
BLDG	BUILDING	FRMG	FRAMING	NOM	NOMINAL	T AND G	TONGUE AND GROOVE
BLKG	BLOCKING	FRP	FIBERGLASS REINFORCED PANEL	NOS	NOSING	TBD	TO BE DETERMINED
BM	BENCH MARK	FT	FOOT, FEET	NSF	NET SQUARE FEET	TB	TOWEL BAR
BND	BOUND	FTG	FOOTING	NTS	NOT TO SCALE	TEL	TELEPHONE
BOT	BOTTOM	FURR	FURRING	OA	OVERALL	TEMP	TEMPERED, TEMPORARY
BR	BURR	FWC	FABRIC WALL COVERING	OC	ON CENTER	TERR	TERRAZZO
BRG	BEARING	GA	GAUGE	OD	OUTSIDE DIAMETER	TFE	TOP OF FOOTING ELEVATION
BRKT	BRACKET	GALV	GALVANIZED	OH	OVERHEAD	TH	TEST HOLE, THICK, THICKNESS
BSMT	BASEMENT	GB	GRAB BAR	OPNG	OPENING	TKB	TACK BOARD
BTWN	BETWEEN	GC	GENERAL CONTRACTOR	OPP	OPPOSITE	TOM	TOP OF MASONRY
		GEN	GENERAL	OZ	OUNCE	TOS	TOP OF STEEL
CAB	CABINET	GI	GALVANIZED IRON	PART	PARTITION	TPH	TOILET PAPER HOLDER
CATCH	CATCH BASIN	GL	GLASS	PERF	PERFORATED	TS	TRANSITION STRIPS
CFM	CEMENT	GL BLK	GLASS BLOCK	PL	PLATE	TV	TELEVISION
CEM	CUBIC FOOT PER MINUTE	GLU-LAM	GLUE LAMINATED	PL GL	PLATE GLASS	TYP	TYPICAL
CG	CORNER GAURD	GSP	GROSS SQUARE FEET	PLAM	PLASTIC LAMINATE		
CIRC	CIRCUIT (CIRCUMFERENCE)	GT	GROUT	PLAS	PLASTER		
CJ	CONTROL JOINT	GYP BD	GYP. BOARD	PLBG	PLUMBING		
CL TO CL	CENTERLINE TO CENTERLINE	GWB	GYP. BOARD	PLYWD	PLYWOOD		
CLG	CLEARING	HC	HOSE CABINET	PNL	PANEL OR PANNELING		
CLOS	CLOSET	HB	HARDBOARD	POL	POLISHED		
CMU	CONCRETE MASONRY UNIT	HDCP	HANDICAPPED	PREFIN	PREFINISHED		
CO	CLEANOUT	HDW	HARDWARE	PROJ	PROJECTION		
CCL	COLUMN	HOWD	HARDWOOD	PROP	PROPERTY		
CONC	CONCRETE	HGT	HEIGHT	PTD	PAINT(ED)		
CONST	CONSTRUCTION	HM	HOLLOW METAL	PTD	PAPER TOWEL DISPENSER		
CONT	CONTINUOUS	HP	HORIZONTAL	PTDR	PAPER TOWEL DISPENSER & RECEPTOR		
CONTR	CONTRACTOR	HR	HOUR	PVMT	PAVEMENT		
COOR	CORRIDOR	HYD	HYDRANT	Q	QUARRY TILE		
CPT	CARPET	ID	INSIDE DIAMETER	R	RISER OR RADIUS		
CPTB	CARPET BASE	IN	INCH	RA	RETURN AIR		
CRS	COURSE	INSUL	INSULATION	RAD	RADIATION, RADIATOR		
CSWK	COUNTER SINK	INT	INTERIOR	RB	RUBBER BASE		
CW	CASEWORK	INV	INVERT	RCP	REINFORCED CONCRETE PIPE		
CT	CERAMIC TILE	JAN	JANITOR	REC	RECESSED		
CU	CUBIC	JST	JOIST	REF	REFRIGERATOR		
CUH	CABINET UNIT HEATER	JT	JOINT	REF	REINFORCING		
		K PL	KICK PLATE	REQD	REQUIRED		
DEPT	DEPARTMENT	KD	KNOCK DOWN	RES	RESILIENT		
DET	DETAIL	KO	KNOCK OUT	REV	REVERSE(D)		
DF	DRINKING FOUNTAIN	LAB	LABORATORY	RH	RIGHT HAND		
DIA	DIAMETER	LAM	LAMINATED	RM	ROOM		
DM	DIMENSION	LAV	LAVATORY	RO	ROUGH OPENING		
DISP	DISPENSER	LB	POUND	ROT	ROU(T)ED		
DIST	DISTANCE	LH	LEFT HAND	RUB	RUBBER		
DN	DOWN	LIN	LINEAR, LINEAL	RUBT	RUBBER TREAD		
DS	DOWNSPOUT	LOC	LOCATE	RVL	ROOF VENT		
DWG	DRAWING	LP	LOW POINT	RWL	RAIN WATER LEADER		
EA	EACH	LT WT	LIGHTWEIGHT	SA	SUPPLY AIR		
EJ	EXPANSION JOINT	MACH	MACHINE	SCHED	SCHEDULE		
ELEV	VERTICAL ELEVATION	MAS	MASONRY	SD	SOAP DISPENSER		
ELEC	ELECTRICAL			SECT	SECTION		
ELEV	VERTICAL ELEVATION/ELEVATOR						
EM	ENTRY MAT						
ENAM	ENAMEL						
ENT	ENTRANCE						
EQ	EQUAL						

# PARTITION HEAD TYPES



ALL FIRE RATED WALLS, CORRIDOR SMOKE PARTITIONS & SMOKE BARRIER PARTITIONS ARE TO EXTEND TO DECK.  
PROVIDE BACKING/ BLOCKING IN PARTITIONS FOR WALL HUNG ITEMS.

NOT FOR CONSTRUCTION

**POPE ARCHITECTS**

1295 BANDANA BLVD N, SUITE 200  
ST. PAUL, MN 55108-2735  
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**NORTHLAND REAL ESTATE GROUP**

COMMISSION HOUSE RENOVATION  
282 EAST 6TH ST  
SAINT PAUL, MN

PARTITION TYPES, SYMBOLS, ABBREVIATIONS

50% CD ISSUE 4-19-17  
P.V.N. REVISIONS 4-26-17  
PART 2 AMEND. 1 11-30-17  
H.P.C. REVISIONS 2-2-18

Commission No. 55678-17047  
Drawn by LL  
Checked by DTP, GV

SHEET

**A0.2**

SCALE: 1/2" = 1'-0"

LEGEND

Table of symbols and descriptions for accessible means of egress, exit, and fire barriers/walls. Includes symbols for wheelchair access, exit signs, and various fire-rated walls and barriers.

CODE DATA - 2015 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS

NOTE: BUILDING AREAS INDICATED ARE NOT BOMA RENTABLE AREA CALCULATIONS

APPLICABLE CODES:

- List of applicable codes: 2015 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS, 2015 MINNESOTA STATE BUILDING CODE, 2015 MINNESOTA ACCESSIBILITY CODE, 2015 MINNESOTA STATE FIRE CODE, 2015 MINNESOTA MECHANICAL AND FUEL GAS CODE, 2015 MINNESOTA ENERGY CODE, 2014 NATIONAL ELECTRIC CODE, 2012 MINNESOTA PLUMBING CODE 4715.

CODE DATA SUMMARY:

PROJECT SCOPE IS THE RENOVATION OF AN EXISTING 3 STORY BRICK COMMERCIAL BUILDING. BUILT IN 1889, AND LOCATED AT 282 EAST 6TH STREET IN ST. PAUL, MINNESOTA. BUILDING IS LOCATED IN, AND CONTRIBUTES TO, THE LOWERTOWN HISTORIC DISTRICT, WHICH IS LISTED IN THE NATIONAL REGISTER OF HISTORIC PLACES.

SINCE THIS BUILDING IS WITHIN AN HISTORIC DISTRICT, APPROVALS FROM BOTH THE STATE HISTORIC PRESERVATION OFFICE (SHPO), AND THE NATIONAL PARK SERVICE (NPS) ARE REQUIRED, IN ADDITION TO CITY OF ST. PAUL SAFETY AND INSPECTIONS DEPARTMENT CONSTRUCTION PERMITTING AND APPROVAL.

THE EXISTING BUILDING TODAY IS THE HOME OF SEESTEDT CARPET STORE, WHICH OCCUPIES THE ENTIRE BUILDING, INCLUDING THE BASEMENT. MAIN OCCUPANCY TODAY IS GROUP M (MERCANTILE).

BUILDING WILL BE UNDER NEW OWNERSHIP AT THE START OF THIS RENOVATION PROJECT. SEESTEDTS WILL NO LONGER RESIDE WITHIN THE BUILDING. BUILDING IS PROPOSED TO REMAIN GROUP M OCCUPANCY (MERCANTILE) ON THE FIRST FLOOR, HOWEVER, NO RETAIL TENANTS HAVE BEEN DETERMINED AT THIS TIME.

THE SECOND AND THIRD FLOORS WILL HAVE A CHANGE IN OCCUPANCY TO GROUP R-2 (RESIDENTIAL). THERE WILL BE A MIXTURE OF STUDIO AND ONE BEDROOM APARTMENTS, WITH 13 UNITS PER FLOOR, FOR A TOTAL OF 26 APARTMENTS FOR THE BUILDING. SECOND AND THIRD FLOORS WILL HAVE THE SAME IDENTICAL APARTMENT LAYOUT. THE BASEMENT WILL BE A MIXTURE OF TYPE M AND GROUP S-2 OCCUPANCIES. THE MAIN BUILDING OCCUPANCY GROUP TO BE GROUP R-2 (RESIDENTIAL).

THIS RENOVATION WILL INCLUDE A NEW OUTSIDE ROOFTOP DECK. ACCESS TO ROOF WILL BE PROVIDED BY A NEW ROOFTOP ACCESS PENTHOUSE, THAT WILL CONTAIN A NEW STAIR AND ELEVATOR THAT WILL RUN FROM BASEMENT TO ROOF LEVEL. A SECOND EXTERIOR STAIR SYSTEM WILL BE PROVIDED AT THE SW REAR CORNER OF THE BUILDING, WHICH WILL ALSO RUN FROM BASEMENT TO ROOF LEVEL, AS ILLUSTRATED ON THESE CONSTRUCTION DOCUMENTS.

TYPE OF CONSTRUCTION: TYPE III-B, FULLY SPRINKLERED

OCCUPANCY CLASSIFICATIONS: BASEMENT: GROUP M MERCANTILE / GROUP S-2 STORAGE; FIRST FLOOR: GROUP M MERCANTILE; SECOND FLOOR: GROUP R-2 RESIDENTIAL; THIRD FLOOR: GROUP R-2 RESIDENTIAL; ROOF LEVEL: GROUP A-2 ASSEMBLY

MIXED OCCUPANCIES: INCIDENTALS USES (IBC 509): USE, INCIDENTALS USE, OR SEPARATE OCCUPANCY; RETAIL TENANT, APARTMENT RESIDENT, ROOFTOP DECK.

SEPARATED OCCUPANCIES (IBC 508.4): ADJOINING OCCUPANCIES: GROUP M - GROUP R-2, GROUP M - GROUP S-2, GROUP R-2 - GROUP A-2.

ALLOWABLE AREA: BASED ON GROUP B BEING MOST COMMON OCCUPANCY SEE BELOW FOR FORMULAS; MAXIMUM FLOOR AREA (A) = 61,750 S.F.; MAXIMUM BUILDING AREA = 185,250 S.F.

Area Modification Equations: A\_a = A\_t + [A\_t \* I\_f] + [A\_t \* I\_s]; A\_a = 19,000 + [19,000 \* 25%] + [19,000 \* 200%]; A\_a = Allowable area per floor (square feet); A\_t = Tabular area per floor in accordance with Table 503 (square feet); I\_f = Area increase due to frontage as calculated in accordance with sec. 506.2 (%); I\_s = Area increase due to sprinkler protection (%); = 2 for multi-story building; = 3 for single-story building

Frontage Increase (IBC 506.2): I\_f = (F/P - 0.25) \* (W/30); I\_f = (171'/342' - 0.25) \* (30/30) = 25%

I\_f = Area increase due to frontage (%); F = Building perimeter which fronts on a public way or open space having 20 feet open minimum width; P = Perimeter of entire building; W = Minimum width of public way or open space.

PROPOSED AREAS:

Table of proposed areas by floor: FIRST FLOOR (GROUP M, 7,200 S.F.), SECOND FLOOR (GROUP R-2, 7,200 S.F.), THIRD FLOOR (GROUP R-2, 7,200 S.F.), BASEMENT FLOOR (GROUP M, 6,336 S.F.; GROUP S-2, 989 S.F.; PROPOSED BASEMENT FLOOR AREA, 7,200 S.F.), TOTAL BUILDING AREA (FIRST FLOOR AREA: 7,200 S.F.; SECOND FLOOR AREA: 7,200 S.F.; THIRD FLOOR AREA: 7,200 S.F.; ROOF LEVEL PENTHOUSE: 818 S.F.E.; TOTAL BUILDING AREA: 22,118 S.F.), AREAS NOT INCLUDED IN NUMBERS ABOVE (BASEMENT FLOOR AREA: 7,200 S.F.; OUTSIDE ROOF DECK: 1,761 S.F.).

ALLOWABLE HEIGHT (IBC TABLE 503): 4 STORIES, 55 FEET; BASED ON MOST COMMON OCCUPANCY: GROUP R-2 (RESIDENTIAL)

PROPOSED HEIGHT: 3 STORIES, 49'-4"

FIRE-RESISTANCE RATINGS (IBC TABLE 601):

Table of fire-resistance ratings by construction type: TYPE III-B, FULLY SPRINKLERED; STRUCTURAL FRAME: 0 HOUR(S); BEARING WALLS: EXTERIOR (2 HOUR(S)), INTERIOR (0 HOUR(S)); FLOOR CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS): 0 HOUR(S); ROOF CONSTRUCTION (INCLUDING SUPPORTING BEAMS AND JOISTS): 0 HOUR(S).

FIRE-RESISTANCE RATINGS, EXTERIOR WALLS (IBC TABLE 602): BASED ON MOST COMMON OCCUPANCY: GROUP R-2 (RESIDENTIAL); <5' 1 HOUR (≥10' <-30' 1 HOUR); ≥5' 1 HOUR (<30' ≥30' 0 HOURS).

OCCUPANT LOAD CALCULATIONS:

Table of occupant load calculations: BASEMENT (7,200 S.F.): GROUP M (@ 30 S.F./OCC) 128 OCC, GROUP A-2 (@ 30 S.F./OCC) 4 OCC, GROUP S-2 (@ 300 S.F./OCC) 3 OCC, TOTAL BASEMENT 135 OCC; FIRST FLOOR (7,200 S.F.): GROUP M (@ 30 S.F./OCC) 6,115 SF., 204 OCC, TOTAL FIRST FLOOR 204 OCC; SECOND FLOOR (7,200 S.F.): GROUP R-2 (@ 200 S.F./OCC) 36 OCC, TOTAL SECOND FLOOR 36 OCC; THIRD FLOOR (7,200 S.F.): GROUP R-2 (@ 200 S.F./OCC) 36 OCC, TOTAL THIRD FLOOR 36 OCC; ROOF LEVEL (1,761 S.F.): GROUP A-2 DECK (@ 15 S.F./OCC) 117 OCC, TOTAL ROOF LEVEL 117 OCC; TOTAL BUILDING OCCUPANTS 528 OCC.

EXITS REQUIRED/PROVIDED:

Table of exits required and provided: BASEMENT (GROUP M) 2 exits required, 2 provided; FIRST FLOOR (GROUP M) 2 exits required, 5 provided; SECOND FLOOR (GROUP R-2) 2 exits required, 2 provided; THIRD FLOOR (GROUP R-2) 2 exits required, 2 provided; ROOF LEVEL (GROUP A-2) 2 exits required, 2 provided.

EXIT WIDTH REQUIRED/PROVIDED:

Table of exit width requirements: BASEMENT (GROUP M) 135 occupants at 0.2"/OCC, 27" required, 67.26" provided; FIRST FLOOR (GROUP M) 204 occupants at 0.2"/OCC, 40.8" required; FIRST FLOOR (GROUP R-2) 4 doors at 33.63" = 134.52", 1 door at 68.5" = 68.5", 203.02" provided; SECOND FLOOR (GROUP R-2) 36 occupants at 0.2"/OCC, 7.2" required, 67.26" provided; THIRD FLOOR (GROUP R-2) 36 occupants at 0.2"/OCC, 7.2" required, 67.26" provided; ROOF LEVEL (GROUP A-2) 117 occupants at 0.2"/OCC, 23.4" required, 67.26" provided.

Table of basement stair requirements: BASEMENT (STAIRS): 135 occupants at 0.3"/OCC, 40.5" required, 96" provided; SECOND FLOOR (STAIRS): 36 occupants at 0.3"/OCC, 10.8" required, 96" provided; THIRD FLOOR (STAIRS): 36 occupants at 0.3"/OCC, 10.8" required, 96" provided.

ROOF (STAIRS): 117 occupants at 0.3"/OCC, 35.1" required, 96" provided

PLUMBING FIXTURE REQUIREMENTS:

BASEMENT: ASSUME 58 MEN, 56 WOMEN; 135 TOTAL OCCUPANTS

Table of plumbing fixture requirements for basement: FIXTURE: MEN, W.C., MEN, URINAL, MEN, LAV., WOMEN, W.C., WOMEN, LAV., DRINKING FOUNTAINS.

FIRST FLOOR: GROUP M (MERCANTILE); ASSUME 68 MEN, 67 WOMEN; 135 TOTAL OCCUPANTS

Table of plumbing fixture requirements for first floor: FIXTURE: MEN, W.C., MEN, URINAL, MEN, LAV., WOMEN, W.C., WOMEN, LAV., DRINKING FOUNTAINS.

SECOND FLOOR: GROUP R-2 (RESIDENTIAL); ASSUME 18 MEN, 18 WOMEN; 36 TOTAL OCCUPANTS

Table of plumbing fixture requirements for second floor: FIXTURE: MEN, W.C., MEN, URINAL, MEN, LAV., WOMEN, W.C., WOMEN, LAV., DRINKING FOUNTAINS.

THIRD FLOOR: GROUP R-2 (RESIDENTIAL); ASSUME 18 MEN, 18 WOMEN; 36 TOTAL OCCUPANTS

Table of plumbing fixture requirements for third floor: FIXTURE: MEN, W.C., MEN, URINAL, MEN, LAV., WOMEN, W.C., WOMEN, LAV., DRINKING FOUNTAINS.

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COMMISSION HOUSE RENOVATION 282 EAST 6TH ST SAINT PAUL, MN

CODE DATA

HPC REVISIONS 2-2-18

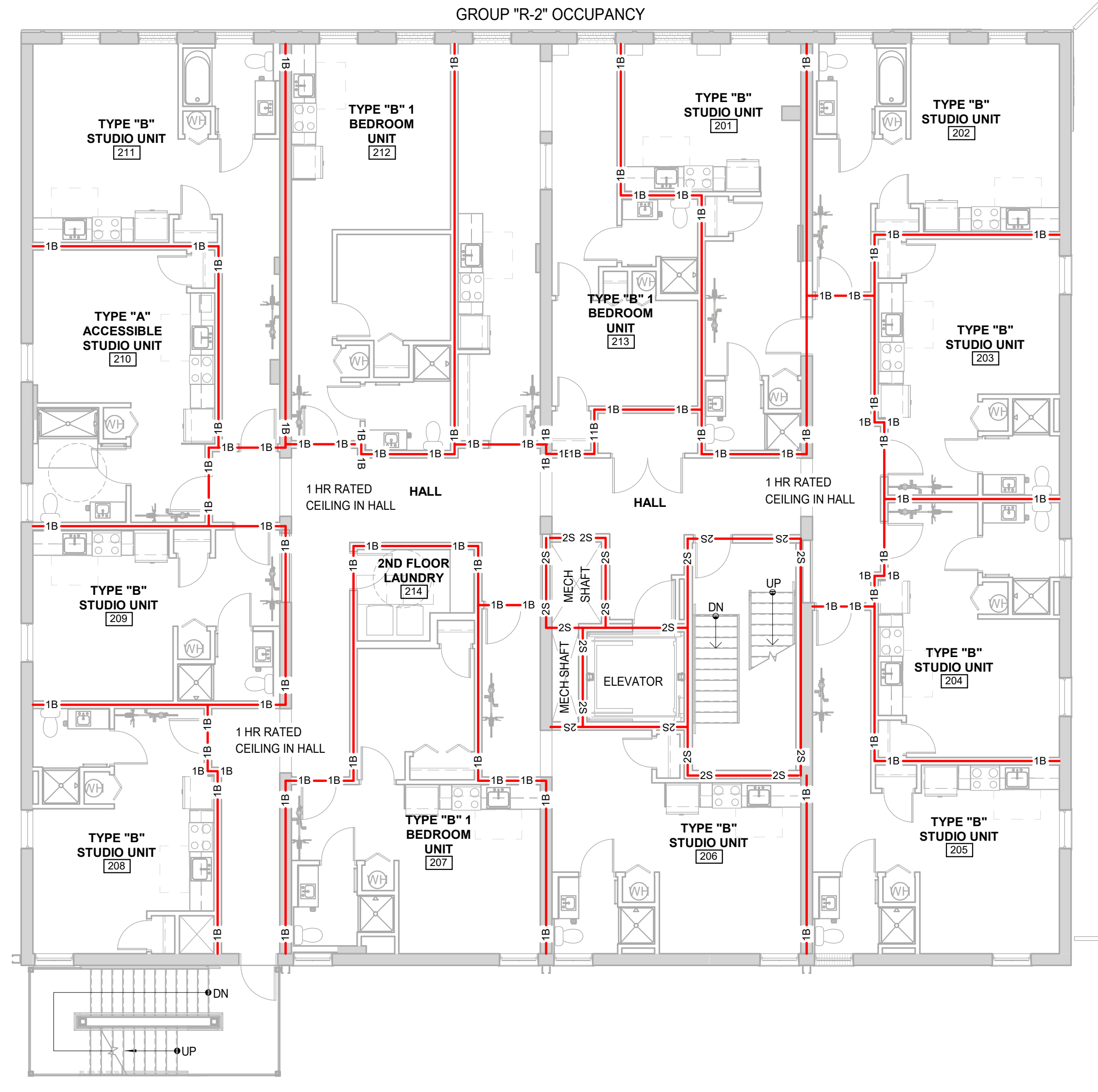
Commission No: 55678-17047; Drawn by: LL; Checked by: DTP, GV

SHEET

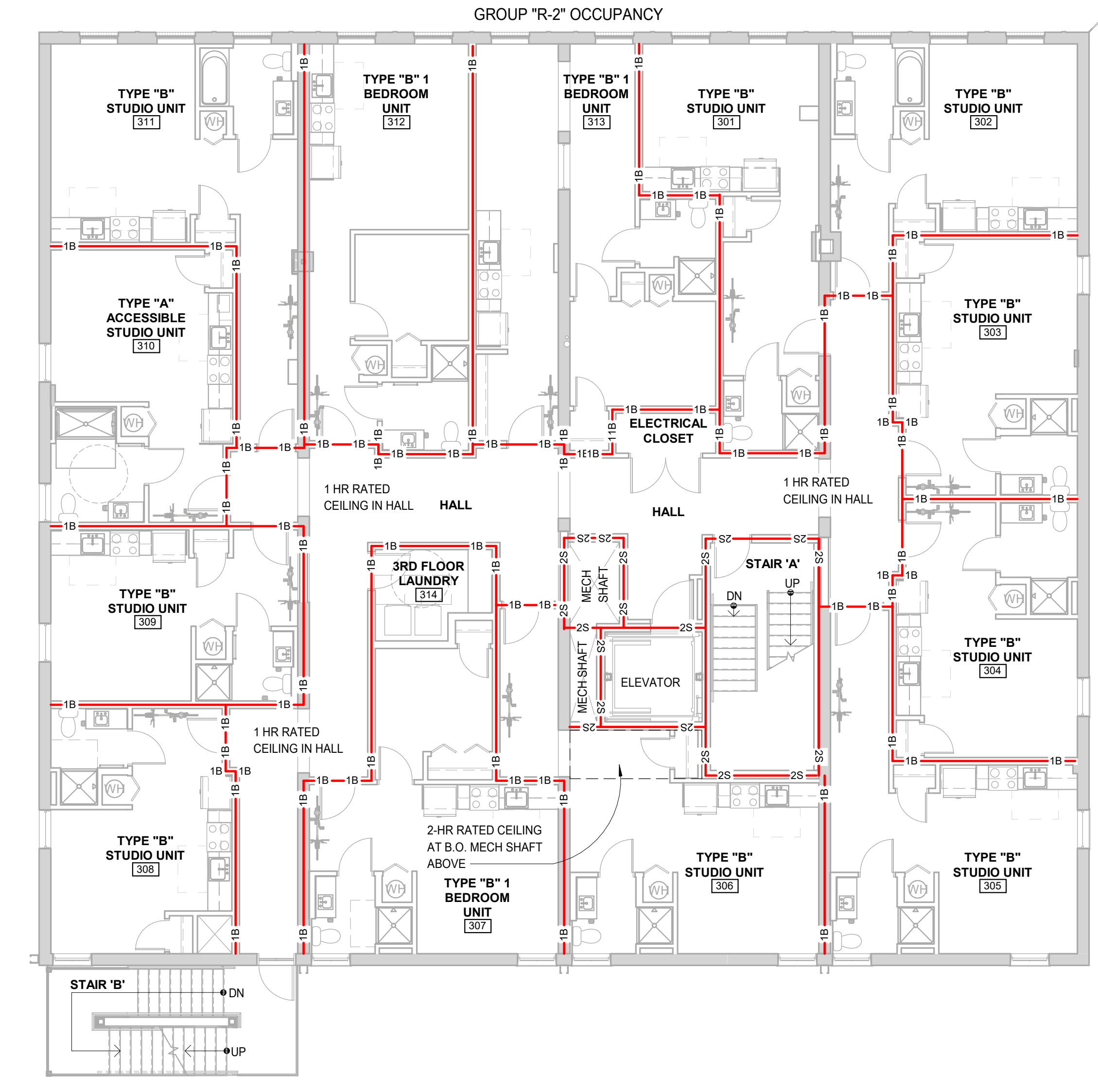
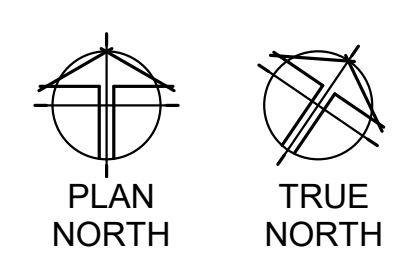
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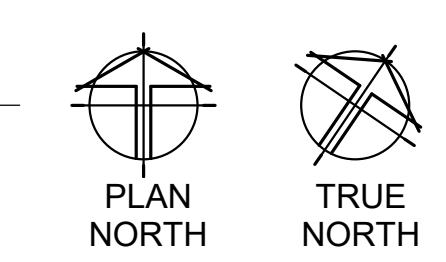
LEGEND	
	ACCESSIBLE MEANS OF EGRESS
	EXIT
	EXIT ACCESS
	2 HOUR FIRE WALL (IBC 705)
	3 HOUR FIRE WALL (IBC 705)
	4 HOUR FIRE WALL (IBC 705)
	1 HOUR FIRE BARRIER (IBC 706)
	2 HOUR FIRE BARRIER (IBC 706)
	3 HOUR FIRE BARRIER (IBC 706)
	4 HOUR FIRE BARRIER (IBC 706)
	1 HOUR SHAFT ENCLOSURE (IBC 707)
	2 HOUR SHAFT ENCLOSURE (IBC 707)
	1 HOUR FIRE PARTITION (IBC 708)
	1 HOUR SMOKE BARRIER (IBC 709)
	SMOKE PARTITION (IBC 710)



1  
A0.5  
SECOND LEVEL CODE PLAN  
1/8" = 1'-0"



2  
A0.5  
THIRD LEVEL CODE PLAN  
1/8" = 1'-0"



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SECOND AND THIRD  
LEVEL CODE PLAN

Revised Per Revisions:

NO.	REVISIONS	DATE
1	HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	LL
Checked by	DTP, GV

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**LEGEND**

	ACCESSIBLE MEANS OF EGRESS
	EXIT
	EXIT
	EXIT ACCESS
	2 HOUR FIRE WALL (IBC 705)
	3 HOUR FIRE WALL (IBC 705)
	4 HOUR FIRE WALL (IBC 705)
	1 HOUR FIRE BARRIER (IBC 706)
	2 HOUR FIRE BARRIER (IBC 706)
	3 HOUR FIRE BARRIER (IBC 706)
	4 HOUR FIRE BARRIER (IBC 706)
	1 HOUR SHAFT ENCLOSURE (IBC 707)
	2 HOUR SHAFT ENCLOSURE (IBC 707)
	1 HOUR SMOKE PARTITION (IBC 708)
	1 HOUR SMOKE BARRIER (IBC 709)
	SMOKE PARTITION (IBC 710)

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**ROOF LEVEL CODE PLAN**

Revised Revisions:

HPC REVISIONS	2-2-18

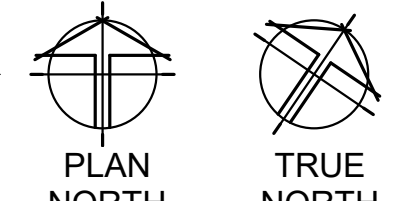
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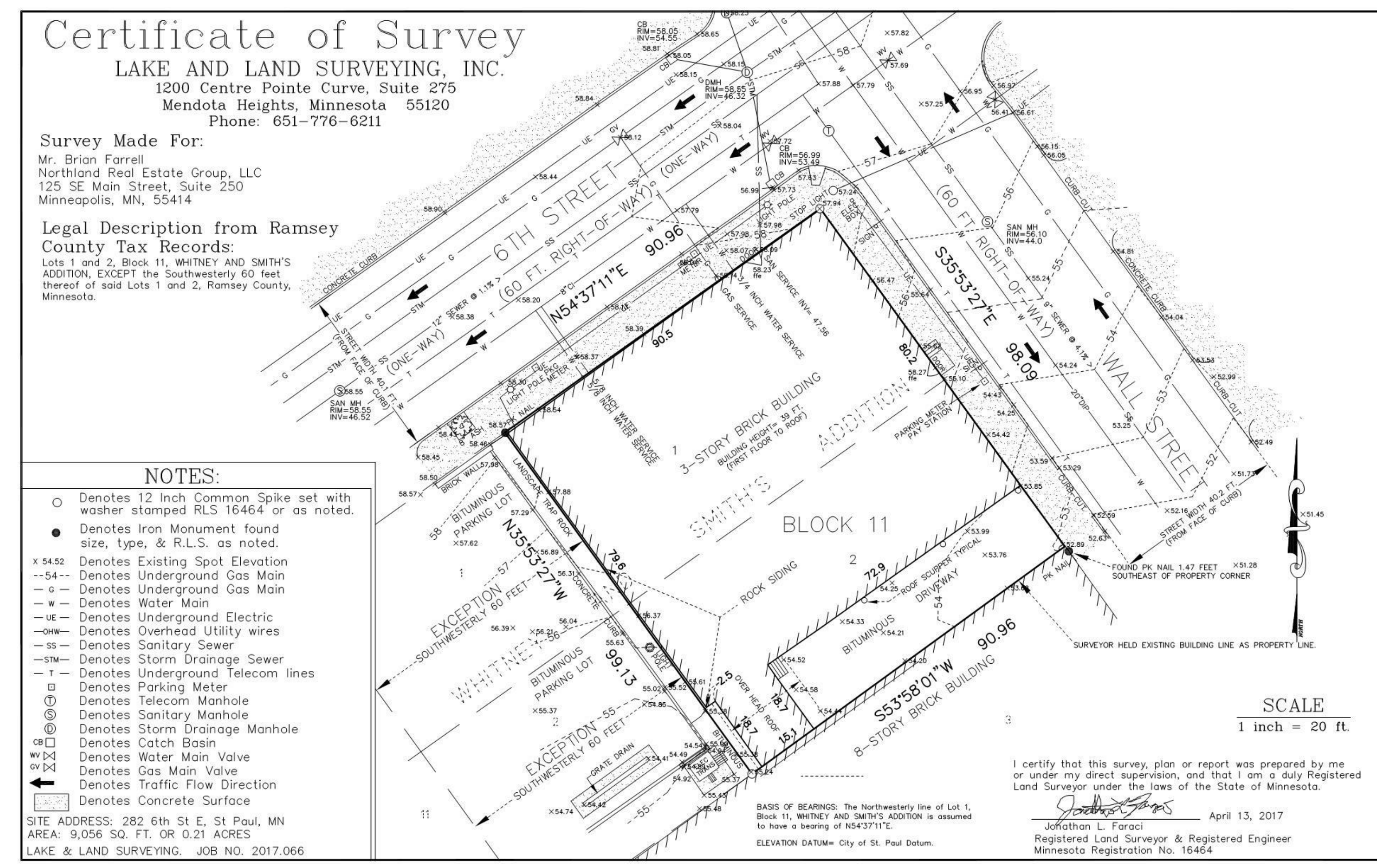
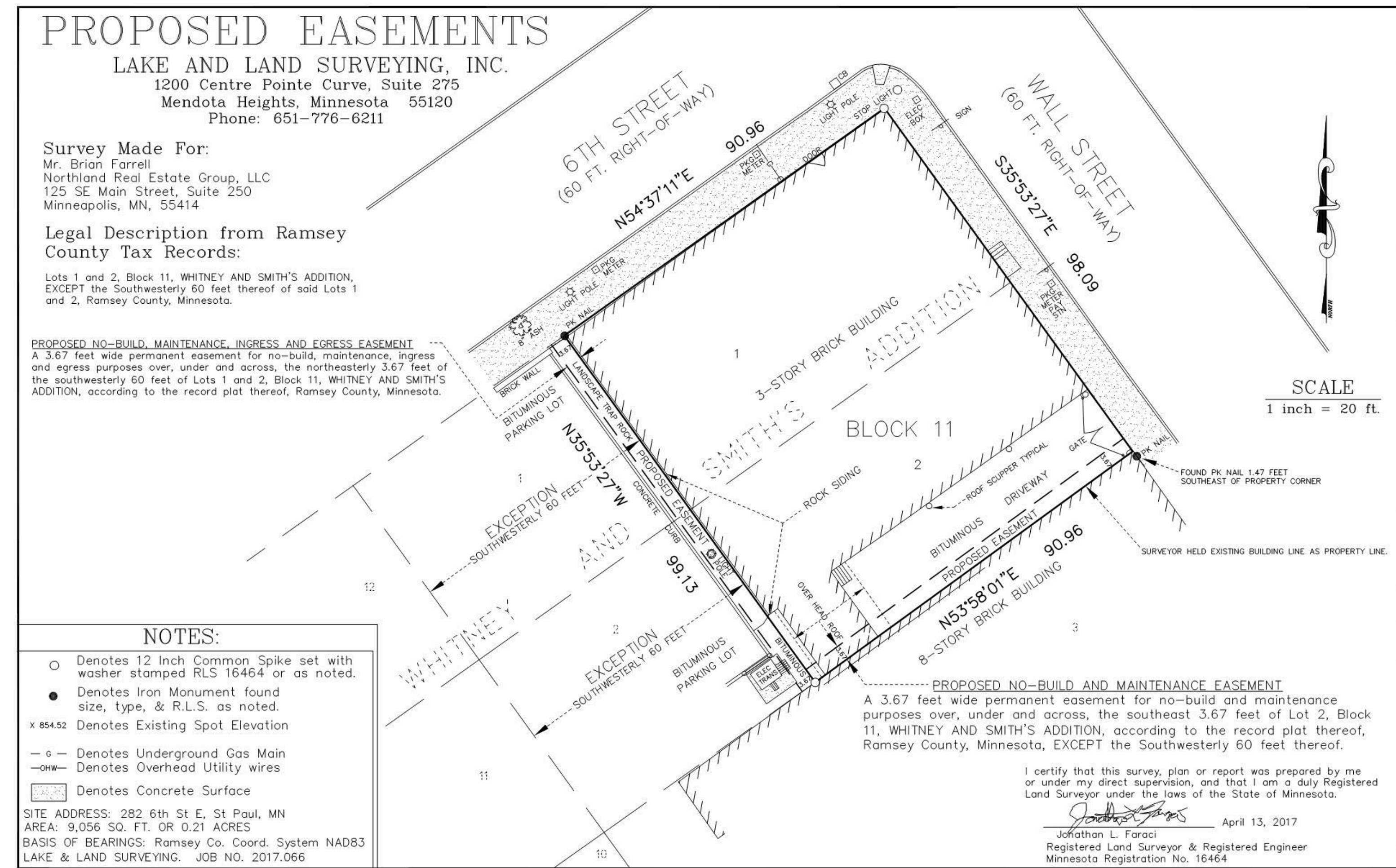
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GRAPHIC SCALE  
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**1** A0.6 **ROOF LEVEL CODE PLAN**  
1/8" = 1'-0"



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EXISTING  
CERTIFICATE OF  
SURVEY AND  
PROPOSED  
EASEMENTS

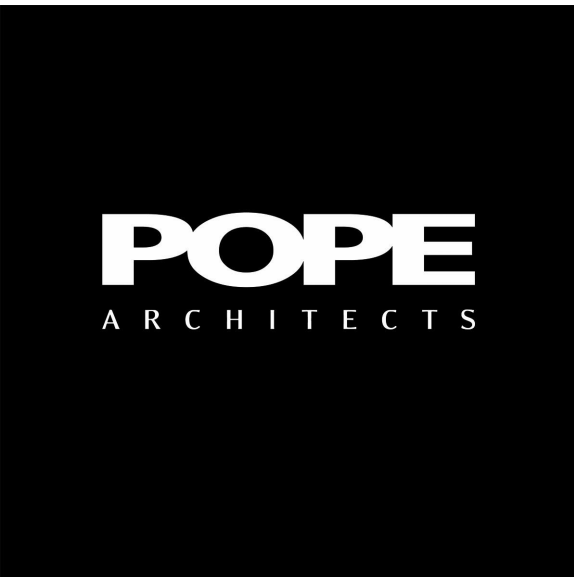
Revision	Date
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No. 55678-17047  
Drawn by LL  
Checked by DTP

SHEET

A1.1



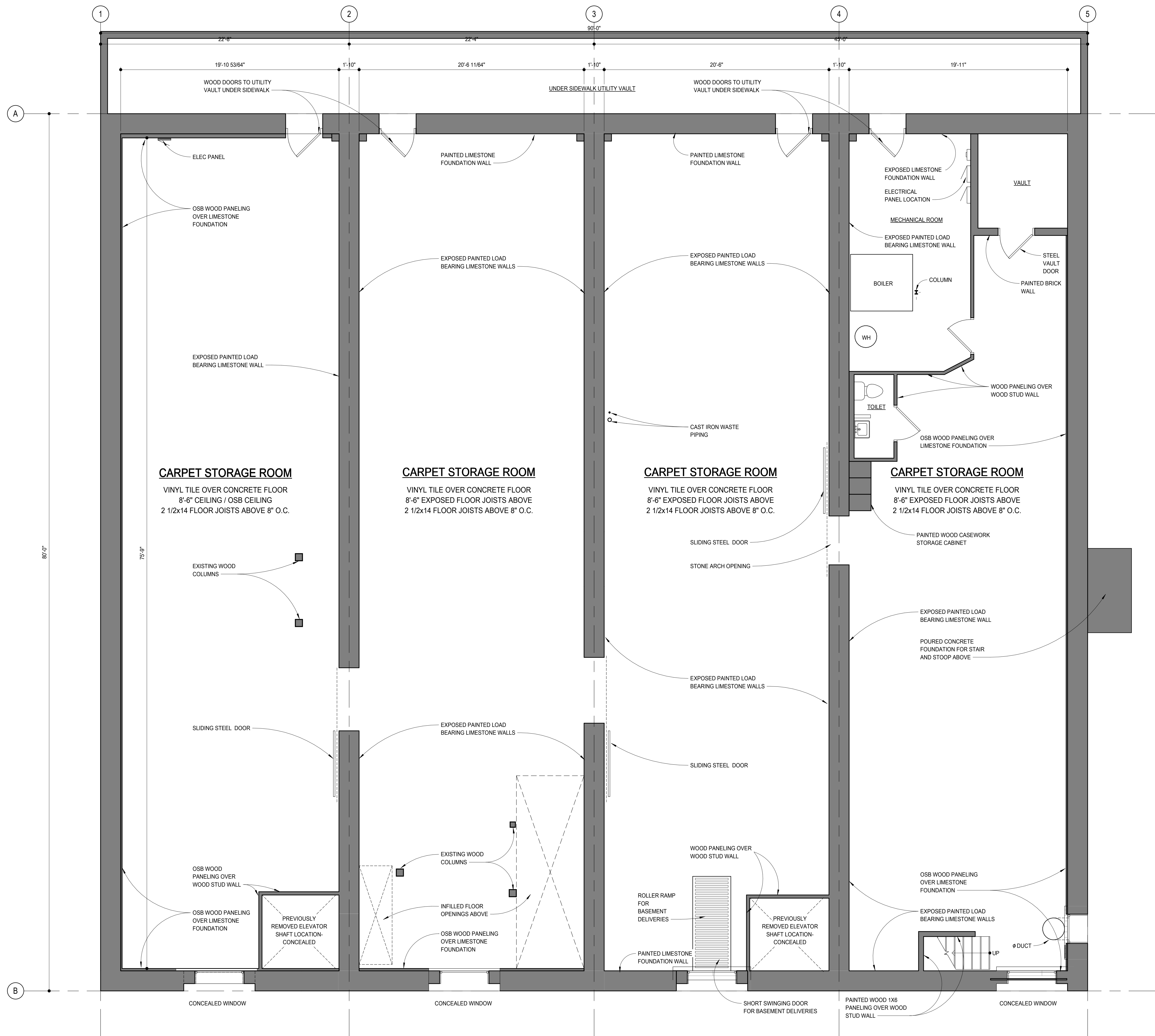


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EXISTING  
CONDITIONS  
BASEMENT LEVEL  
FLOOR PLAN

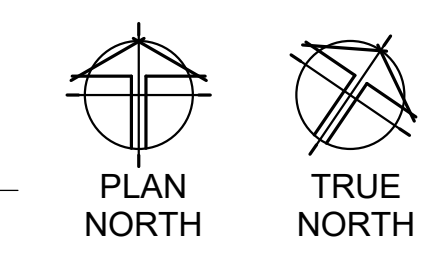
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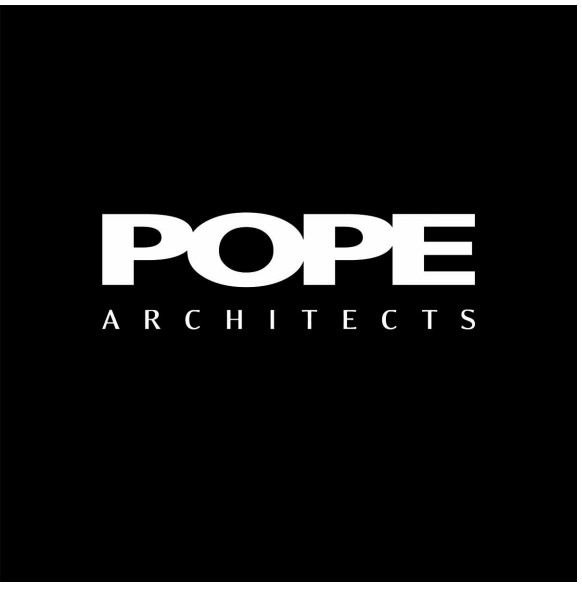
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

SHEET

**A2.00**



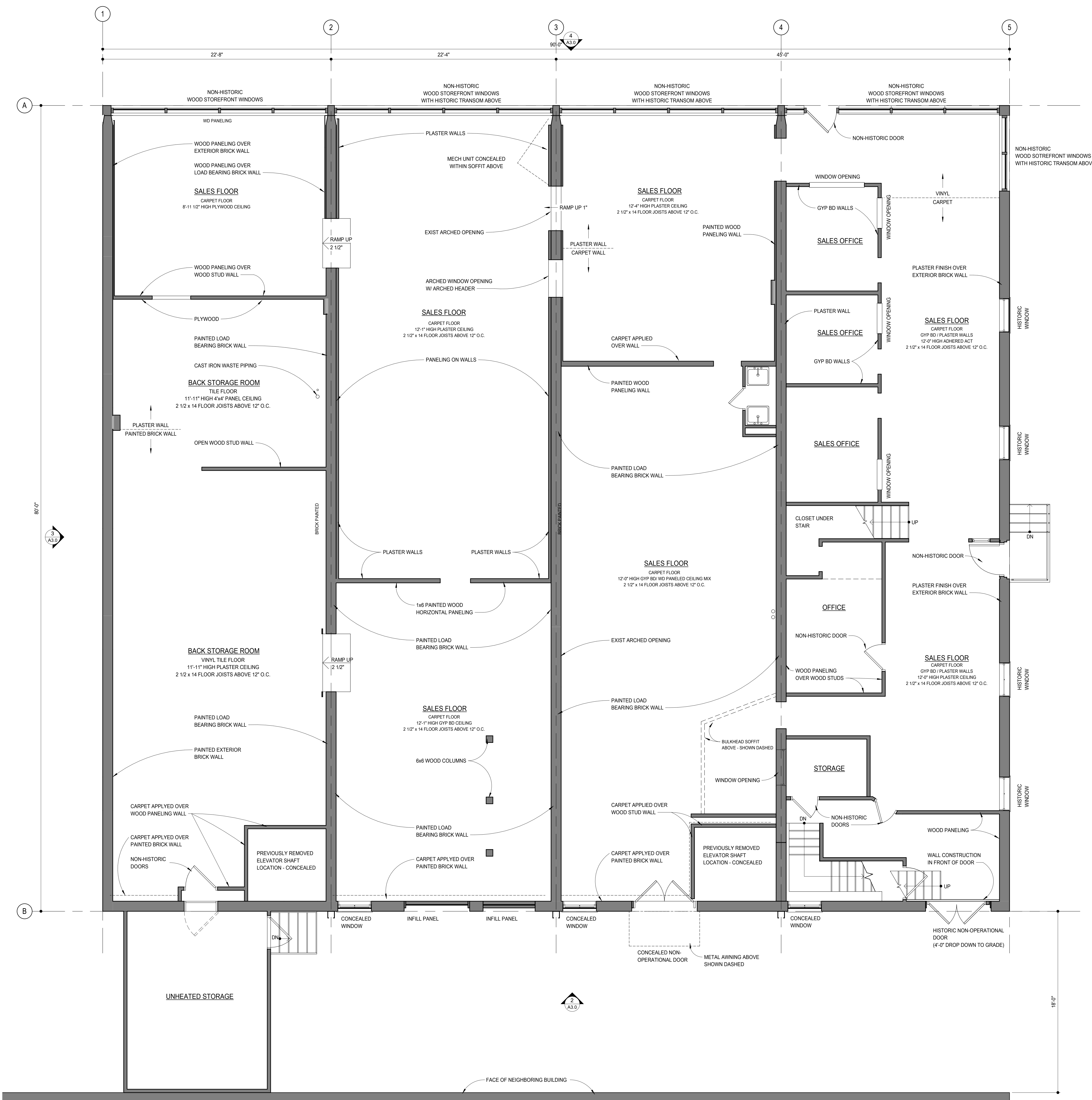


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**EXISTING  
CONDITIONS FIRST  
LEVEL FLOOR PLAN**

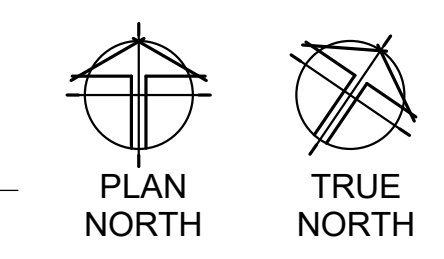
Revisions	
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
 Drawn by: DD, LL  
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SHEET

**A2.01**

**1** EXISTING CONDITIONS FIRST LEVEL FLOOR PLAN  
1/4" = 1'-0"



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EXISTING  
CONDITIONS SECOND  
LEVEL FLOOR PLAN

Issue and Revisions:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

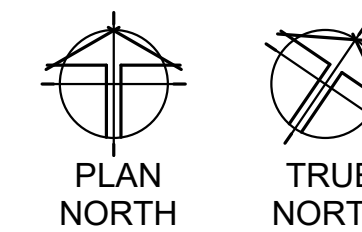
Commission No: 55678-17047  
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SHEET

A2.02

1/4" = 1'-0"

1 A2.02 EXISTING CONDITIONS SECOND LEVEL FLOOR PLAN  
1/4" = 1'-0"



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EXISTING  
CONDITIONS THIRD  
LEVEL FLOOR PLAN

Revision	Date
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

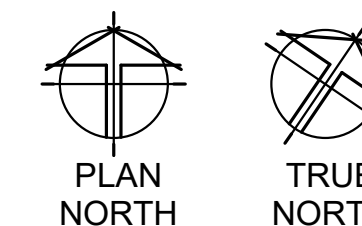
Commission No.	55678-17047
Drawn by	DD, LL
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SHEET

**A2.03**



1  
A2.03  
EXISTING CONDITIONS THIRD LEVEL FLOOR PLAN  
1/4" = 1'-0"





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EXISTING  
CONDITIONS ROOF  
LEVEL PLAN

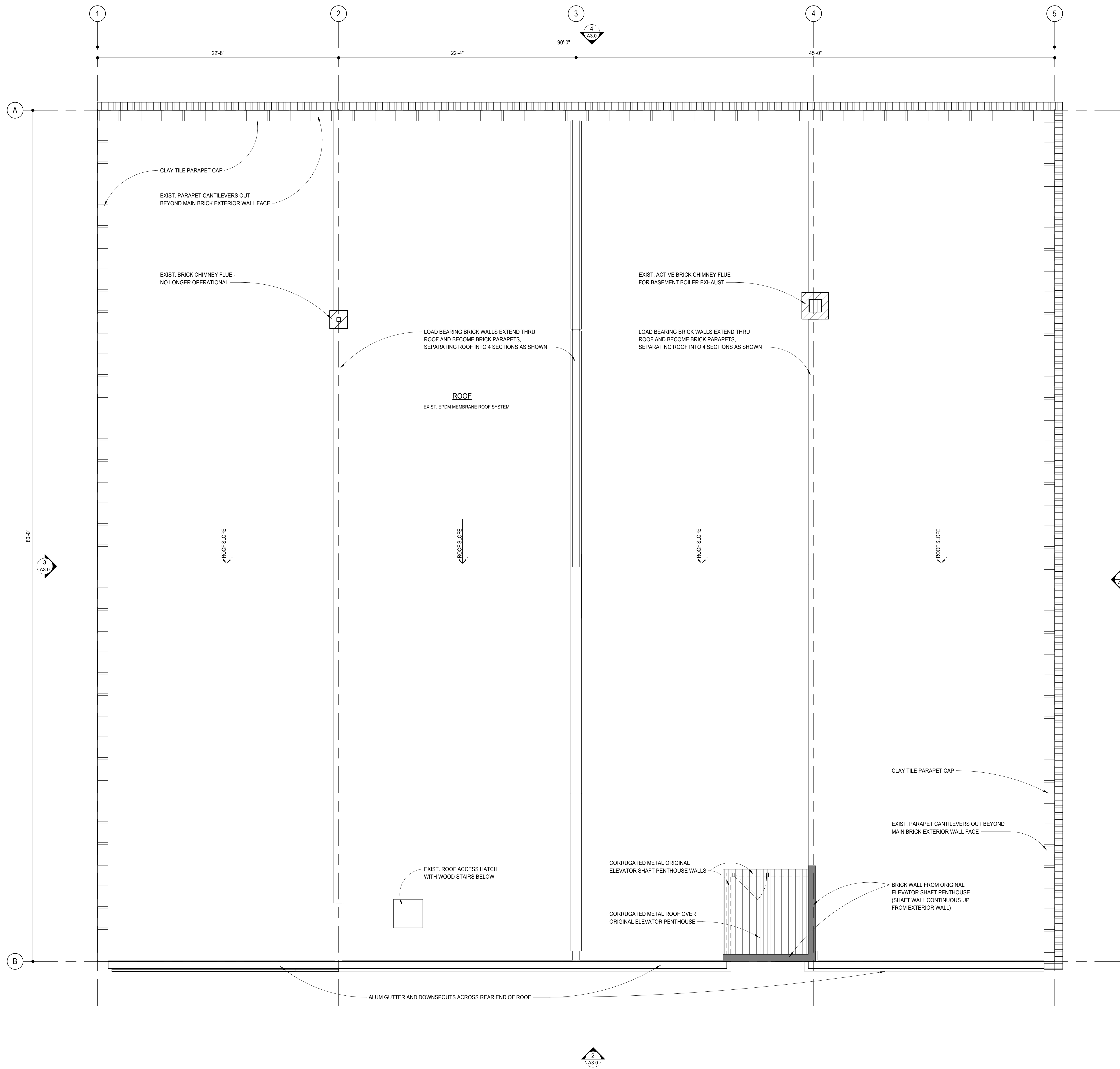
Issue no	Revision	Date
50% CD ISSUE		4-19-17
PVN REVISIONS		4-26-17
PART 2 AMEND. 1		11-30-17
HPC REVISIONS		2-2-18

Commission No: 55678-17047  
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Checked by: DTP

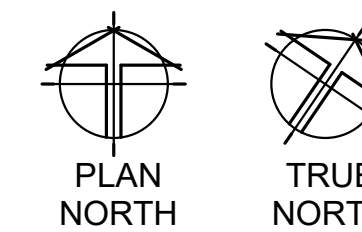
SHEET

**A2.04**

1" = 12'-0"  
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1  
A2.04  
EXISTING CONDITIONS ROOF LEVEL PLAN  
1/4" = 1'-0"

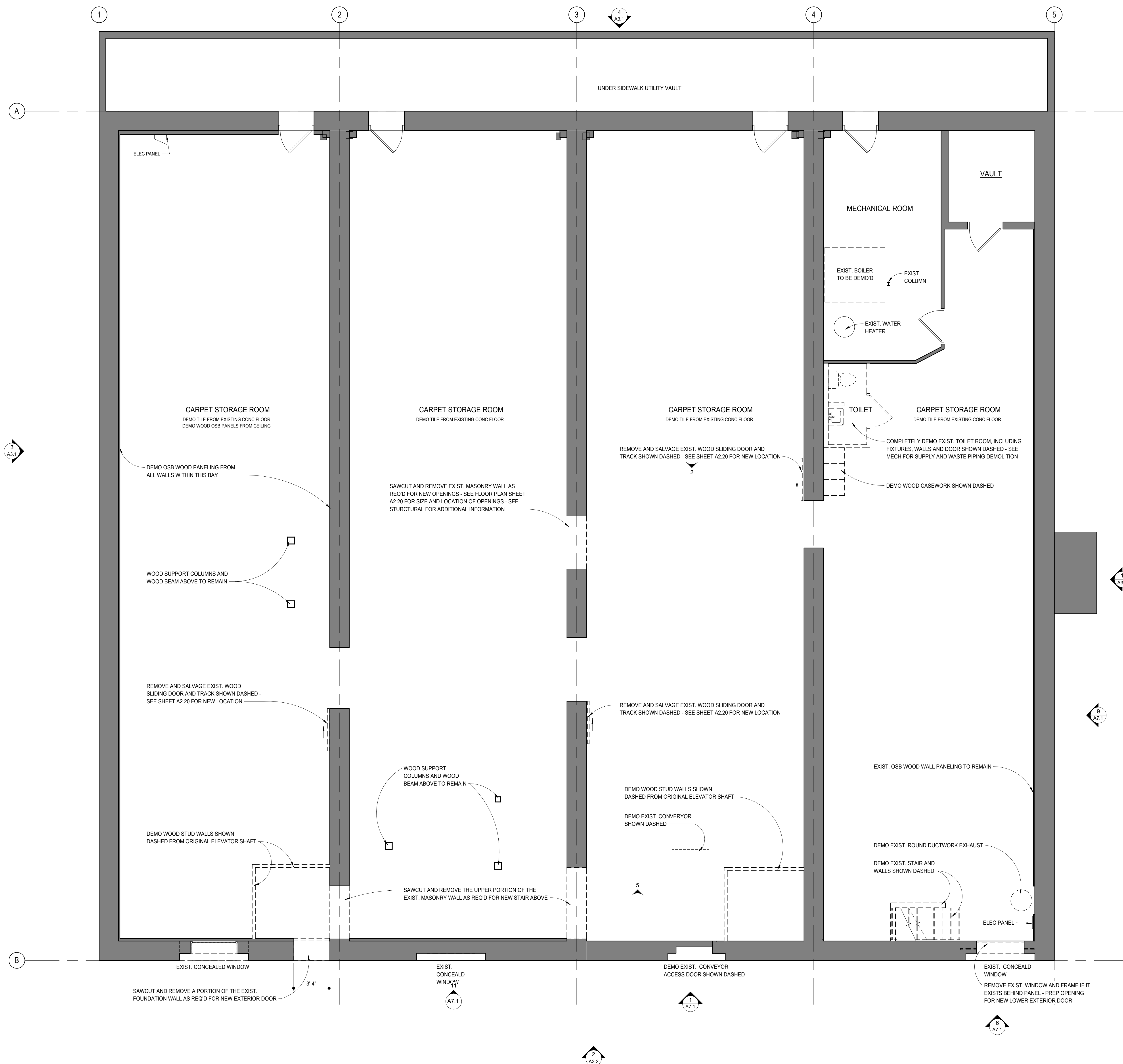


**DEMOLITION PLAN GENERAL NOTES**

- A) THE OWNER RESERVES THE RIGHT TO SALVAGE ANY EXISTING MATERIAL, EQUIPMENT, ETC. PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL VERIFY THOSE ITEMS TO BE SALVAGED WITH OWNER.
- B) ALL EXISTING CONSTRUCTION INDICATED TO REMAIN THAT IS DAMAGED OR AFFECTED BY THE DEMOLITION SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION.
- C) CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE OCCUPANT TO AVOID DISRUPTION OF THE FACILITY OPERATIONS. MAINTAIN REQUIRED EGRESS DURING CONSTRUCTION. PROVIDE TEMPORARY BARRICADES, ENCLOSURES AND PROTECTION AS NECESSARY DURING CONSTRUCTION.
- D) WHERE WALLS OR PARTITIONS ARE SHOWN TO BE REMOVED, ALSO REMOVE ALL ITEMS ATTACHED, CONNECTED OR INTERNAL TO THE WALLS INCLUDING TRIM, SHELVING, ACCESSORIES, CABINETS, BLOCKING EQUIPMENT, ETC. REMOVE IN THEIR ENTIRETY. FASTENERS AND WALL ATTACHMENT DEVICES. PATCH AND REPAIR AS NEEDED TO COMPLETE WORK.
- E) CONTRACTOR TO VERIFY EXACT LOCATION AND IDENTIFY, LABEL AND PROTECT EXISTING MECHANICAL AND ELECTRICAL SERVICES WHICH MAY BE AFFECTED BY DEMOLITION.
- F) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.
- G) REMOVE ALL EXISTING CEILING AND GRIDS THROUGHOUT AREA OF WORK.
- H) REMOVE ALL EXISTING FLOOR FINISHES THROUGHOUT. PREP SUBFLOOR FOR NEW MATERIALS.
- I) SALVAGE ALL EXISTING DOORS TO BE REMOVED. COORDINATE WITH LANDLORD FOR STORAGE.
- J) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE ANY NEW PENETRATIONS OF EXISTING FLOOR STRUCTURES WITH THE OWNER & 1ST FLOOR TENANTS, ARCHITECT AND/OR STRUCTURAL ENGINEER TO CONFIRM THE IMPACT ON THE EXISTING BUILDING SYSTEMS AND STRUCTURES.

**DEMOLITION PLAN SYMBOLS**

- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- EXISTING FLOOR STRUCTURE TO BE REMOVED
- EXISTING HARDWOOD FLOORING TO REMAIN



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**BASEMENT LEVEL  
DEMOLITION PLAN**

Issue and Revision:	
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

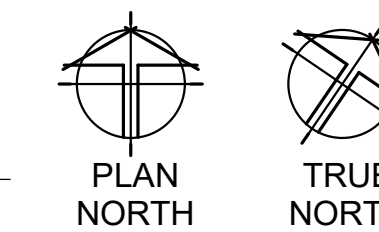
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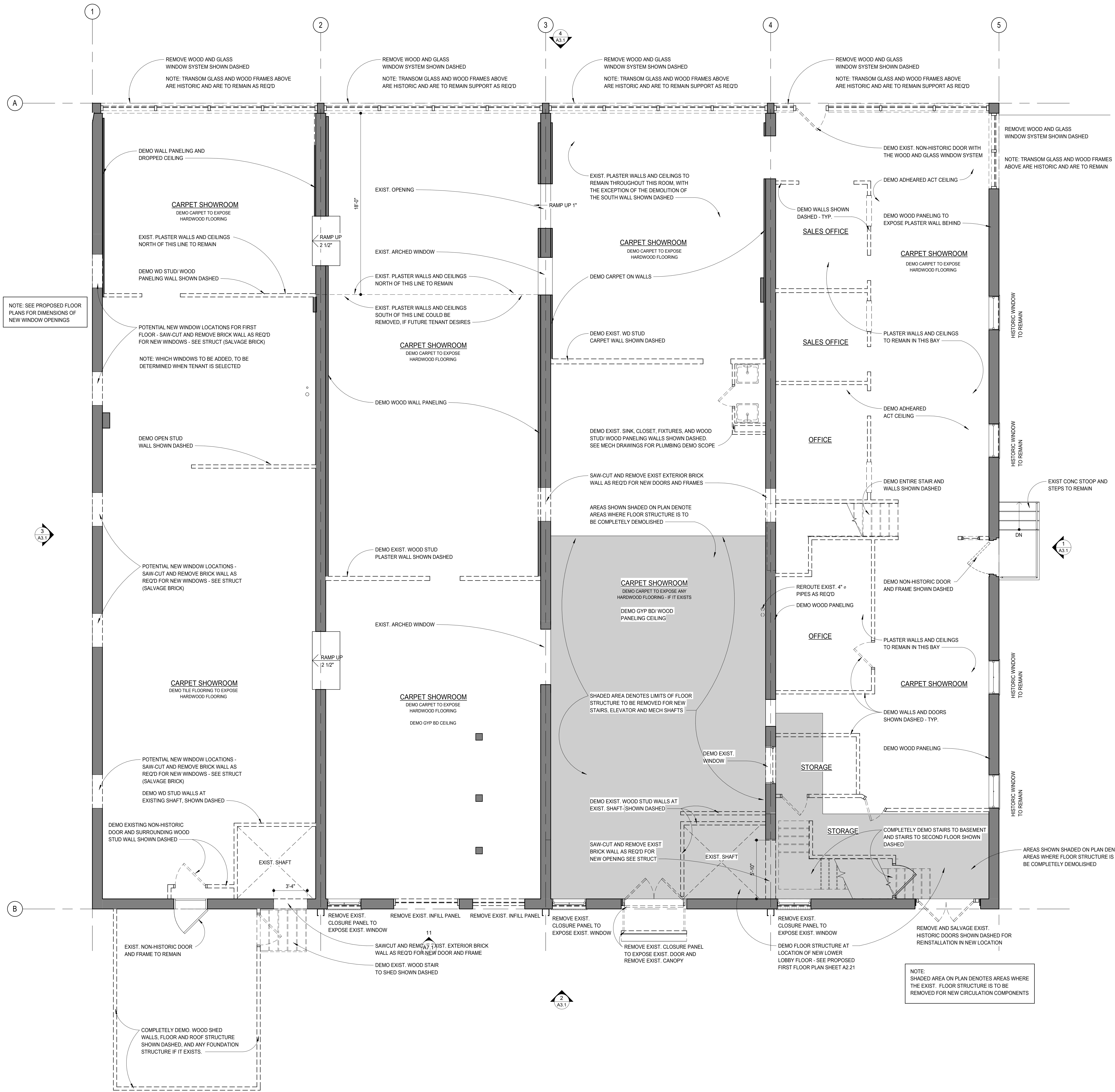
SHEET

**A2.10**

SCALE: 1/4" = 1'-0"  
DATE: 02/01/2018 11:02:17 AM  
C:\Users\jgarcia\OneDrive\Documents\020718-A2.10-Rev02.dwg

**1**  
**A2.10** BASEMENT LEVEL DEMOLITION PLAN  
1/4" = 1'-0"





### DEMOLITION PLAN GENERAL NOTES

A) THE OWNER RESERVES THE RIGHT TO SALVAGE ANY EXISTING MATERIAL, EQUIPMENT, ETC. PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL VERIFY THOSE ITEMS TO BE SALVAGED WITH OWNER.

B) ALL EXISTING CONSTRUCTION INDICATED TO REMAIN THAT IS DAMAGED OR AFFECTED BY THE DEMOLITION SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION.

C) CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE OCCUPANT TO AVOID DISRUPTION OF THE FACILITY OPERATIONS. MAINTAIN REQUIRED EGRESS DURING CONSTRUCTION. PROVIDE TEMPORARY BARRICADES, ENCLOSURES AND PROTECTION AS NECESSARY DURING CONSTRUCTION.

D) WHERE WALLS OR PARTITIONS ARE SHOWN TO BE REMOVED, ALSO REMOVE ALL ITEMS ATTACHED, CONNECTED OR INTERNAL TO THE WALLS INCLUDING TRIM, SHELVING, ACCESSORIES, CABINETS, BLOCKING, EQUIPMENT, ETC. REMOVE IN THEIR ENTIRETY. FASTENERS AND WALL ATTACHMENT DEVICES. PATCH AND REPAIR AS NEEDED TO COMPLETE WORK.

E) CONTRACTOR TO VERIFY EXACT LOCATION AND IDENTIFY, LABEL AND PROTECT EXISTING MECHANICAL AND ELECTRICAL SERVICES WHICH MAY BE AFFECTED BY DEMOLITION.

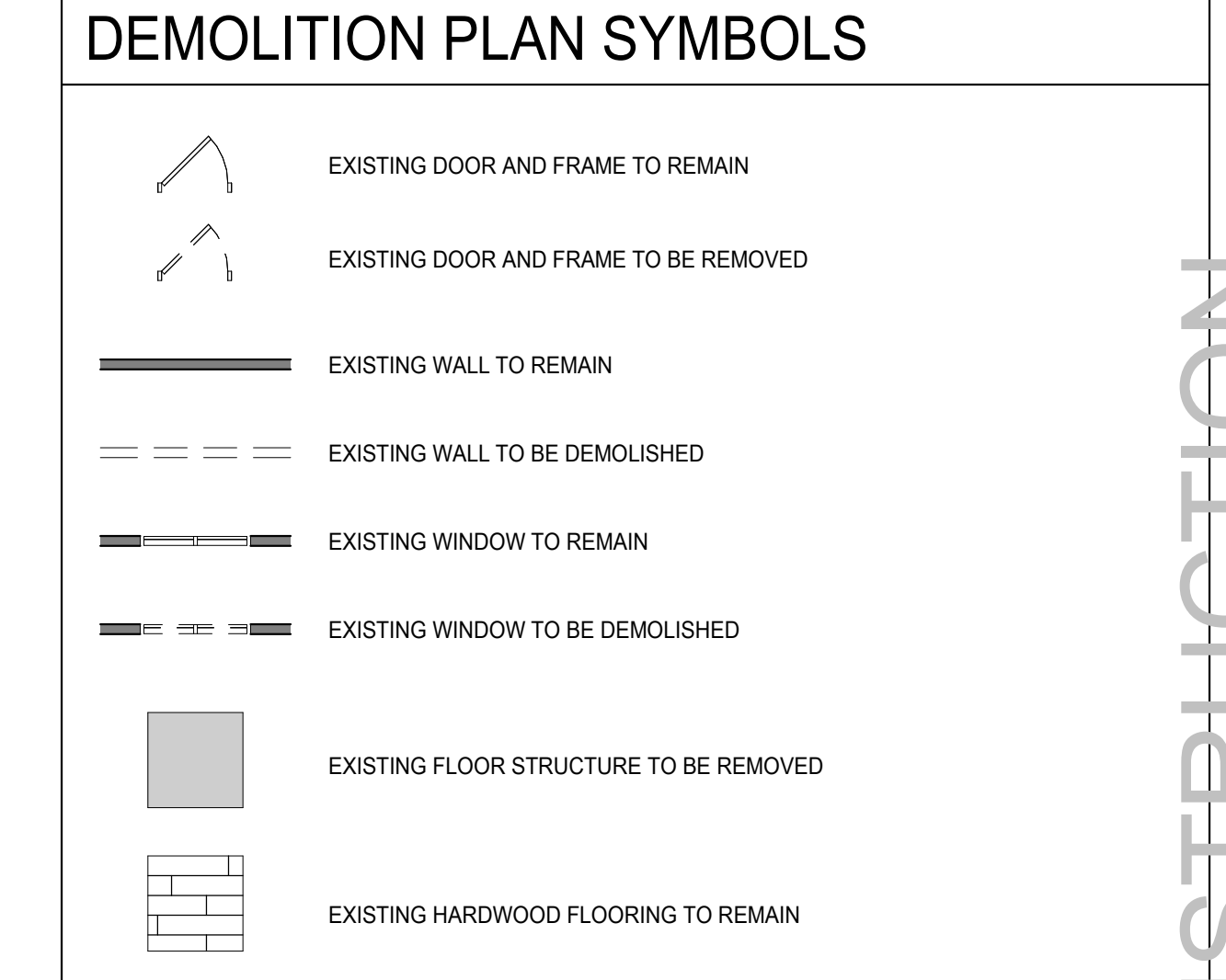
F) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.

G) REMOVE ALL EXISTING CEILINGS AND GRIDS THROUGHOUT AREA OF WORK.

H) REMOVE ALL EXISTING FLOOR FINISHES THROUGHOUT. PREP SUBFLOOR FOR NEW MATERIALS.

I) SALVAGE ALL EXISTING DOORS TO BE REMOVED. COORDINATE WITH LANDLORD FOR STORAGE.

J) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE ANY NEW PENETRATIONS OF EXISTING FLOOR STRUCTURES WITH THE OWNER & 1ST FLOOR TENANTS, ARCHITECT AND/OR STRUCTURAL ENGINEER TO CONFIRM THE IMPACT ON THE EXISTING BUILDING SYSTEMS AND STRUCTURES.



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### FIRST LEVEL DEMOLITION PLAN

Revisions:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

SHEET

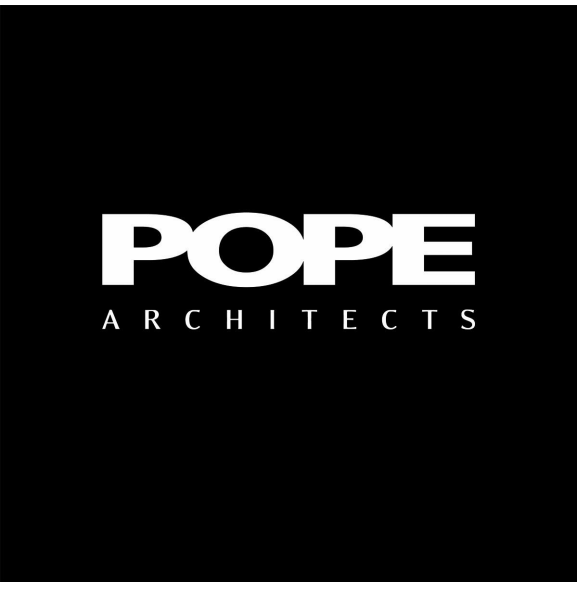
# A2.11

1/4" = 1'-0"

PLAN NORTH TRUE NORTH

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1 A2.11 FIRST LEVEL DEMOLITION PLAN  
1/4" = 1'-0"



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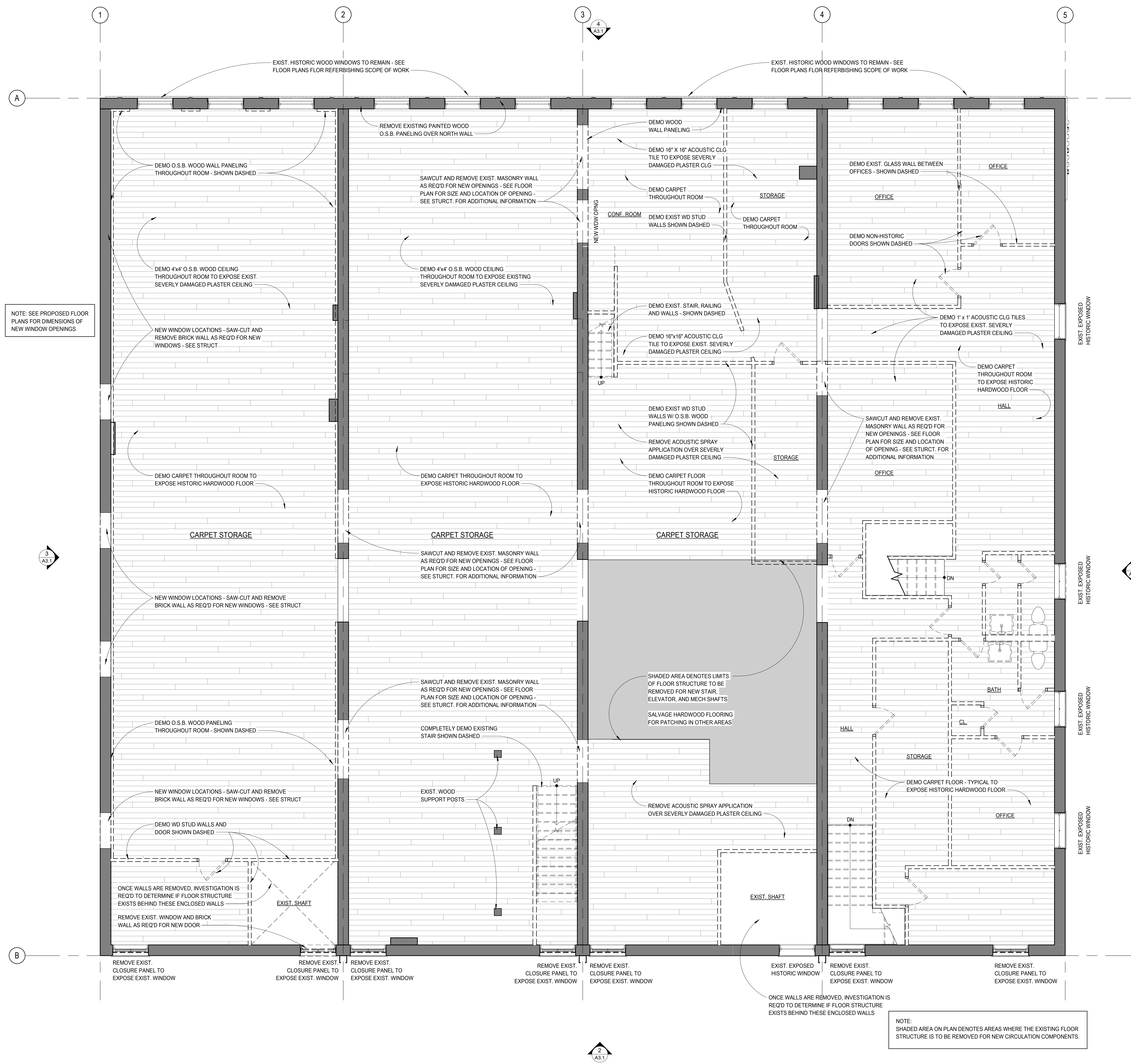
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RENOVATION  
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SAINT PAUL, MN

### DEMOLITION PLAN GENERAL NOTES

- A) THE OWNER RESERVES THE RIGHT TO SALVAGE ANY EXISTING MATERIAL, EQUIPMENT, ETC. PRIOR TO THE START OF DEMOLITION. THE CONTRACTOR SHALL VERIFY THOSE ITEMS TO BE SALVAGED WITH OWNER.
- B) ALL EXISTING CONSTRUCTION INDICATED TO REMAIN THAT IS DAMAGED OR AFFECTED BY THE DEMOLITION SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION.
- C) CONTRACTOR SHALL COORDINATE CONSTRUCTION WITH THE OCCUPANT TO AVOID DISRUPTION OF THE FACILITY OPERATIONS. MAINTAIN REQUIRED EGRESS DURING CONSTRUCTION. PROVIDE TEMPORARY BARRICADES, ENCLOSURES AND PROTECTION AS NECESSARY DURING CONSTRUCTION.
- D) WHERE WALLS OR PARTITIONS ARE SHOWN TO BE REMOVED, ALSO REMOVE ALL ITEMS ATTACHED, CONNECTED OR INTERNAL TO THE WALLS INCLUDING TRIM, SHELVING, ACCESSORIES, CABINETS, BLOCKING, EQUIPMENT, ETC. REMOVE IN THEIR ENTIRETY. FASTENERS AND WALL ATTACHMENT DEVICES. PATCH AND REPAIR AS NEEDED TO COMPLETE WORK.
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- F) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.
- G) REMOVE ALL EXISTING CEILINGS AND GRIDS THROUGHOUT AREA OF WORK.
- H) REMOVE ALL EXISTING FLOOR FINISHES THROUGHOUT. PREP SUBFLOOR FOR NEW MATERIALS.
- I) SALVAGE ALL EXISTING DOORS TO BE REMOVED. COORDINATE WITH LANDLORD FOR STORAGE.
- J) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE ANY NEW PENETRATIONS OF EXISTING FLOOR STRUCTURES WITH THE OWNER & 1ST FLOOR TENANTS, ARCHITECT AND/OR STRUCTURAL ENGINEER TO CONFIRM THE IMPACT ON THE EXISTING BUILDING SYSTEMS AND STRUCTURES.

### DEMOLITION PLAN SYMBOLS

- EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- EXISTING FLOOR STRUCTURE TO BE REMOVED
- EXISTING HARDWOOD FLOORING TO REMAIN



NOTE: SEE PROPOSED FLOOR PLANS FOR DIMENSIONS OF NEW WINDOW OPENINGS

NOTE: SHADED AREA ON PLAN DENOTES AREAS WHERE THE EXISTING FLOOR STRUCTURE IS TO BE REMOVED FOR NEW CIRCULATION COMPONENTS.

NOT FOR CONSTRUCTION

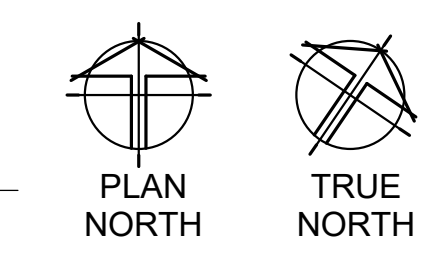
### SECOND LEVEL DEMOLITION PLAN

Issue no	Revision	Date
50% CD ISSUE	4-19-17	
PVN REVISIONS	4-26-17	
PART 2 AMEND. 1	11-30-17	
HPC REVISIONS	2-2-18	

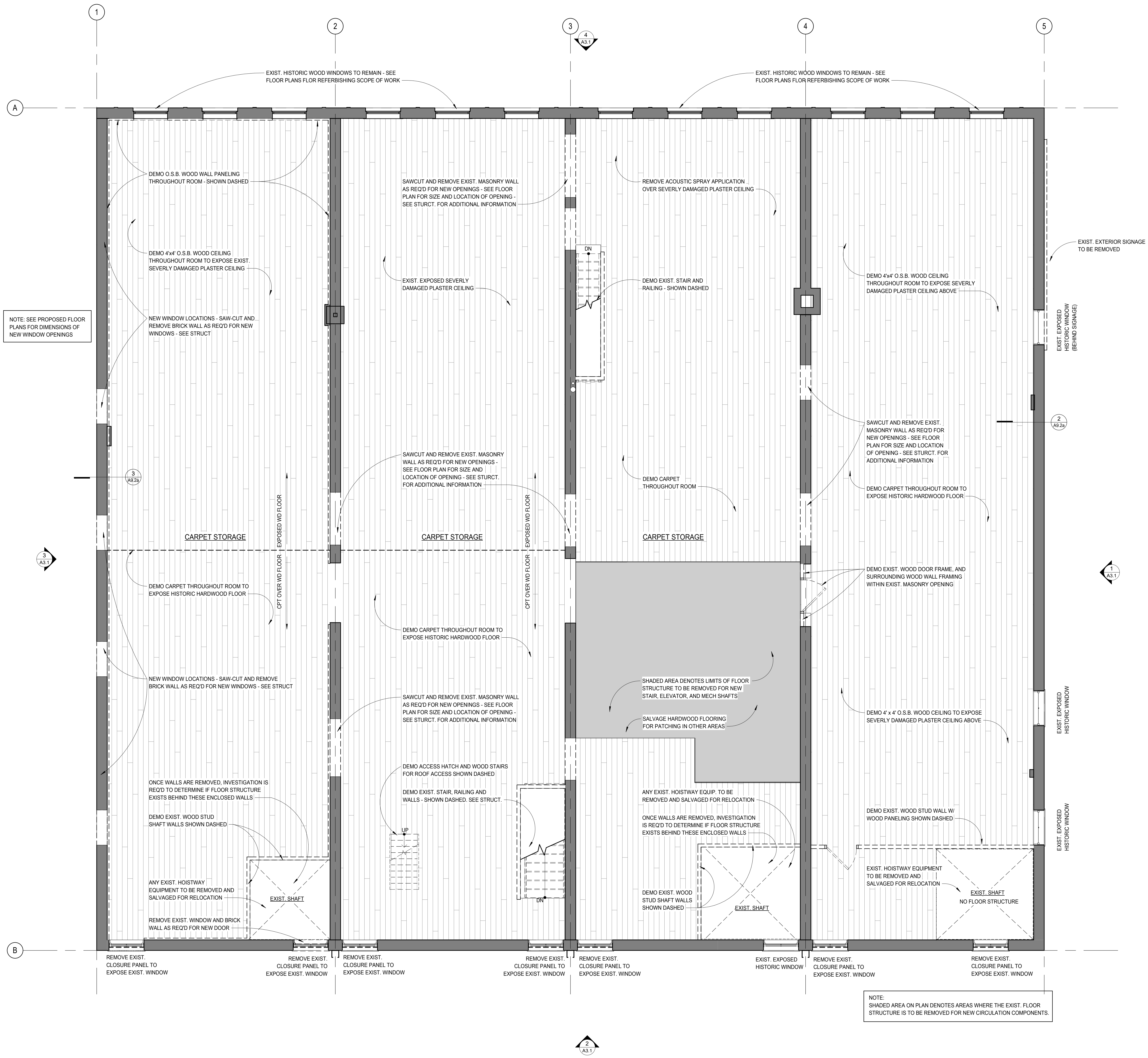
Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

SHEET

# A2.12







NOTE: SEE PROPOSED FLOOR PLANS FOR DIMENSIONS OF NEW WINDOW OPENINGS

NOTE: SHADED AREA ON PLAN DENOTES AREAS WHERE THE EXIST. FLOOR STRUCTURE IS TO BE REMOVED FOR NEW CIRCULATION COMPONENTS.

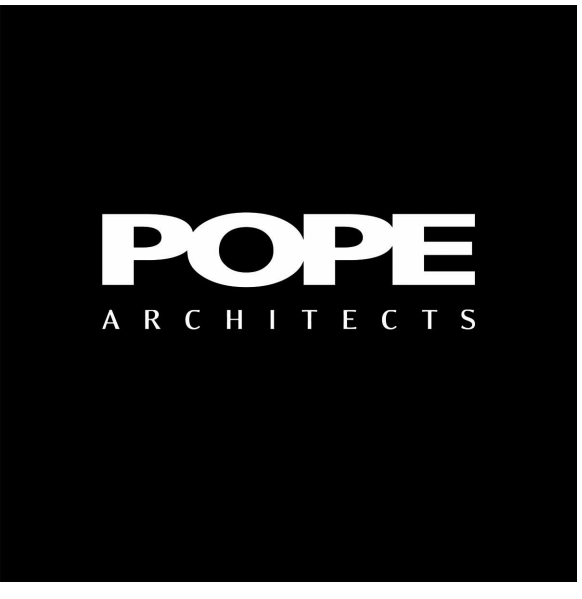
**DEMOLITION PLAN GENERAL NOTES**

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- B) ALL EXISTING CONSTRUCTION INDICATED TO REMAIN THAT IS DAMAGED OR AFFECTED BY THE DEMOLITION SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION.
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**DEMOLITION PLAN SYMBOLS**

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- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- EXISTING FLOOR STRUCTURE TO BE REMOVED
- EXISTING HARDWOOD FLOORING TO REMAIN

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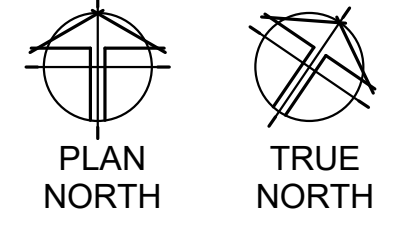
**THIRD LEVEL  
DEMOLITION PLAN**

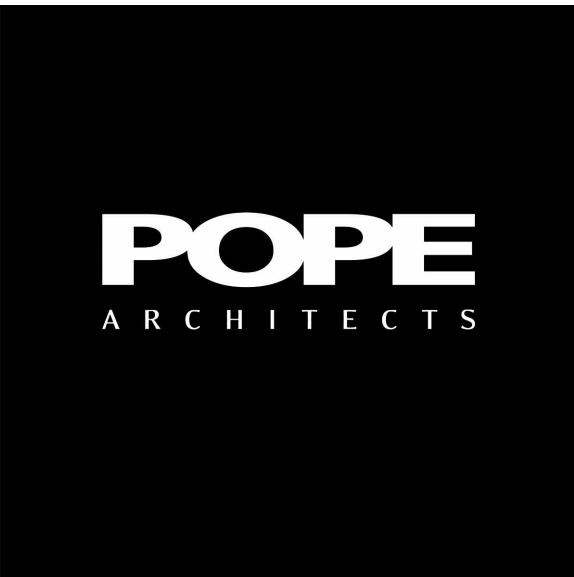
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

SHEET

**A2.13**





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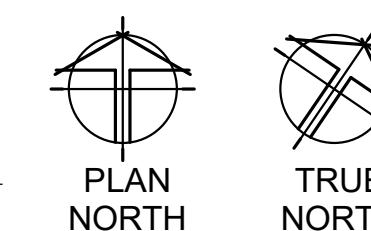
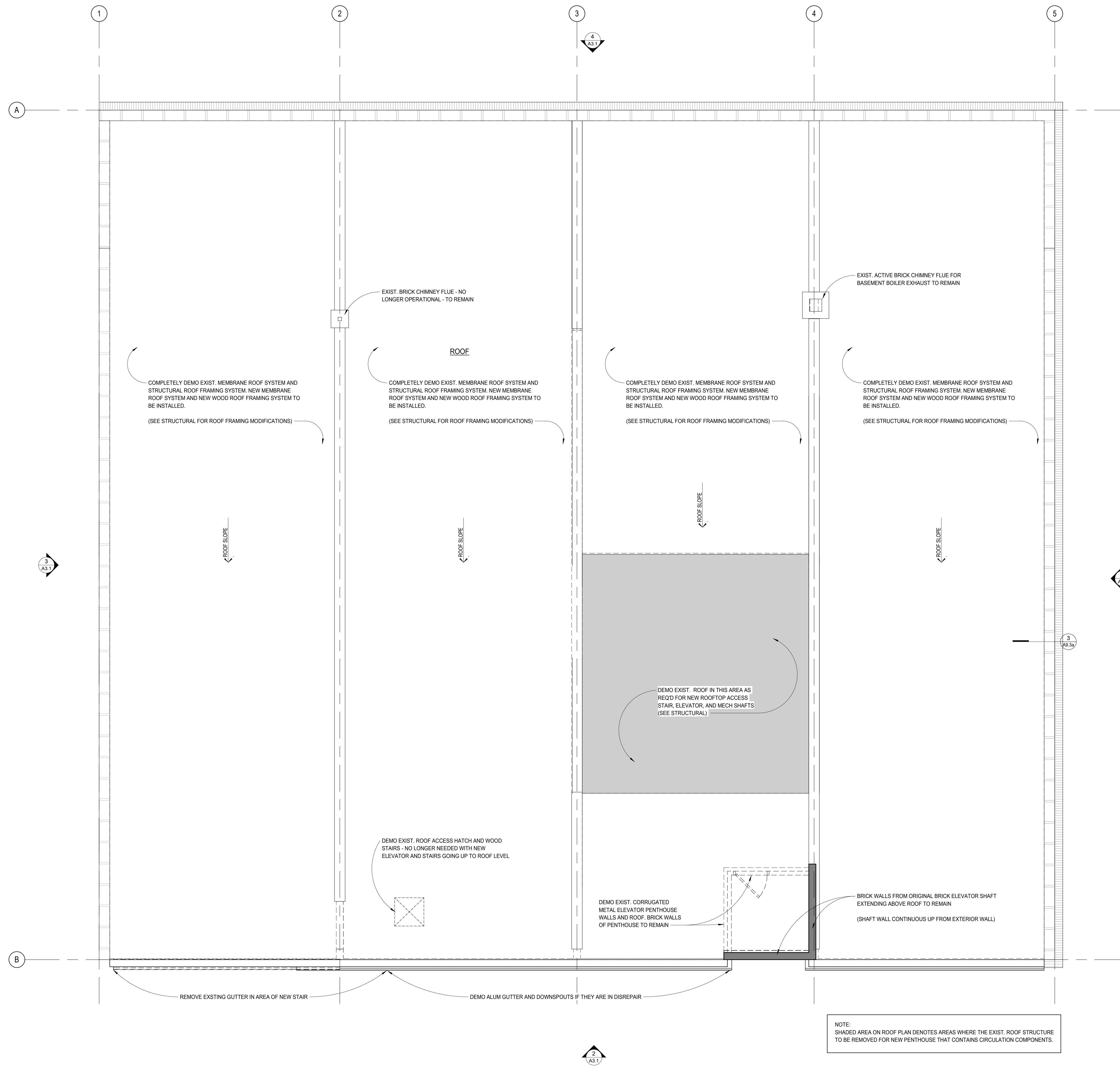
NOT FOR CONSTRUCTION

### DEMOLITION PLAN GENERAL NOTES

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### DEMOLITION PLAN SYMBOLS

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- EXISTING DOOR AND FRAME TO BE REMOVED
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO REMAIN
- EXISTING WINDOW TO BE DEMOLISHED
- EXISTING FLOOR STRUCTURE TO BE REMOVED
- EXISTING HARDWOOD FLOORING TO REMAIN



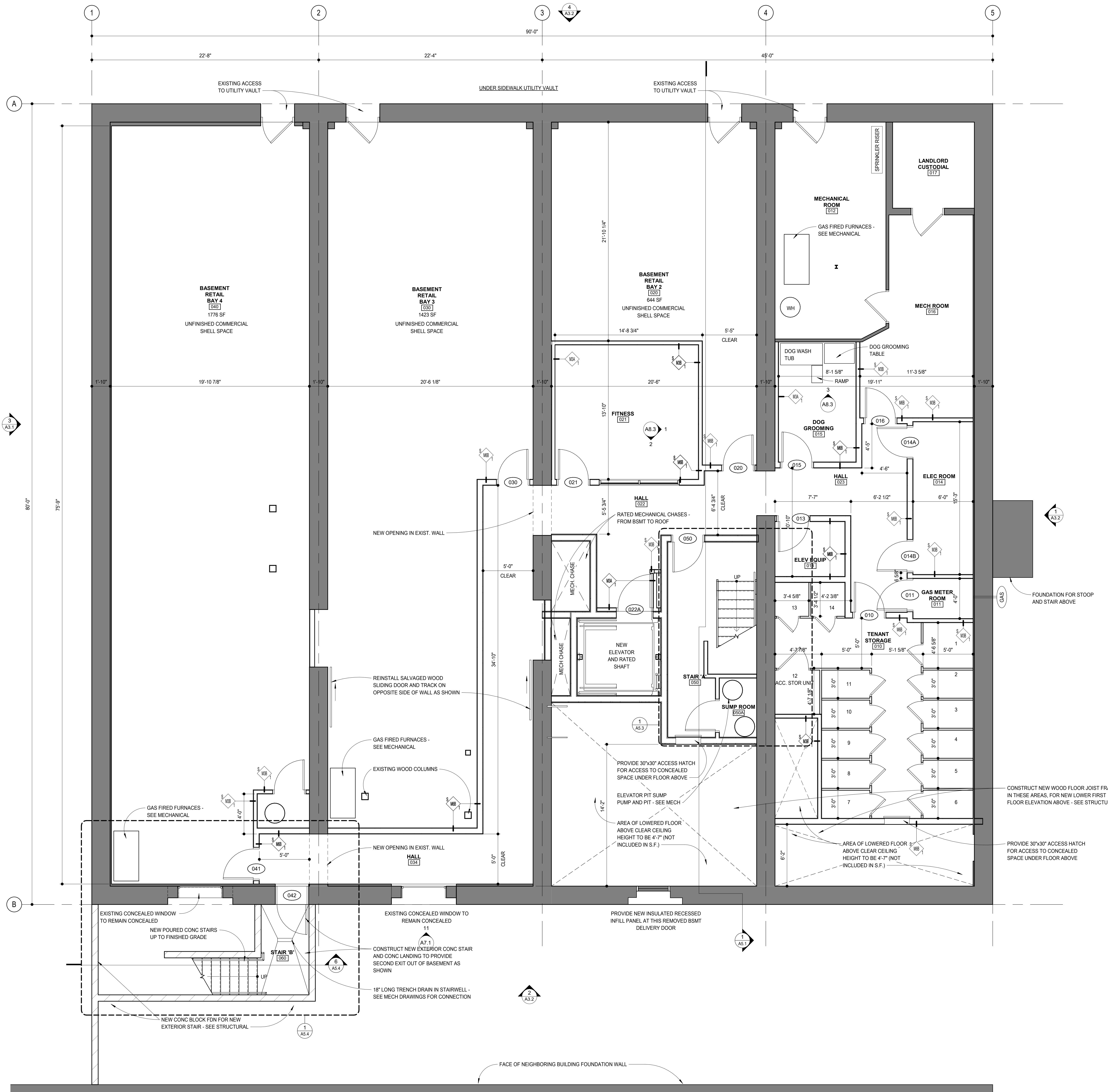
### ROOF LEVEL DEMOLITION PLAN

Issue no	Revision	Date
50% CD ISSUE	4-19-17	
PVN REVISIONS	4-26-17	
PART 2 AMEND. 1	11-30-17	
HPC REVISIONS	2-2-18	

Commission No.	55678-17047
Drawn by	Author
Checked by	Checker

SHEET

A2.14



**FLOOR PLAN GENERAL NOTES**

- A) DO NOT SCALE DRAWINGS.
- B) NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- C) IN THE CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- D) IN ALL CONSTRUCTION TYPES, ALL WOOD USED IN THE FOLLOWING LOCATIONS IS TO BE PRESERVATIVE-TREATED:
  1. WOOD IN CONTACT WITH THE GROUND OR WATER.
  2. WOOD IN EXTERIOR FOUNDATION WALLS.
  3. WOOD IN CONTACT WITH CONCRETE SLABS-ON-GRADE, OR IN CONTACT WITH CONCRETE OR MASONRY FOUNDATION WALLS.
  4. WOOD WITHIN A CRAWL SPACE OVER EXPOSED EARTH.
  5. AT OTHER LOCATIONS NOTED ON THE CONSTRUCTION DOCUMENTS.
- F) SEE SHEET A0.2 FOR SYMBOLS, INDICATION OF MATERIALS, PARTITION TYPE DETAILS & ABBREVIATIONS.
- G) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND STANDARDS AS AMENDED BY LOCAL CODES.
- H) INSTALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- J) A CONTRACTOR SHALL NOT PROCEED WITH THEIR WORK UNTIL THEY ACCEPT THE QUALITY OF PRIOR WORK BY OTHERS THAT IS IN CONTACT WITH THEIR WORK. THE OTHER TRADE SHALL CONSTRUCTURE PROCEEDING AS ACCEPTANCE OF THE WORK.
- K) WHEN WORK IS COMPLETED IN AN AREA, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE AREA, WITHOUT DAMAGING THE MATERIALS AND SURFACES INVOLVED. RESTRICT UNNECESSARY CONSTRUCTION TRAFFIC IN FINISHED AREAS. PROTECT SURFACES, FLOORS AND WALLS FROM DAMAGE UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
- L) DELIVER, STORE, AND HANDLE MATERIALS IN A MANNER THAT WILL PREVENT DAMAGE. STORE MATERIALS PER RECOMMENDATION OF SUPPLIER AND MANUFACTURER. REPLACE DAMAGED MATERIALS.
- M) CONTRACTOR SHALL PROVIDE CEILING AND WALL ACCESS PANELS AS REQUIRED. VERIFY EXACT LOCATION WITH THE ARCHITECT.
- O) REQUESTS FOR SUBSTITUTIONS FOR ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT FOR APPROVAL. THE BURDEN OF PROOF OF MERIT OF A SUBSTITUTION IS UPON THE PROPOSER. THE REQUEST SHALL IDENTIFY AND INCLUDE WITHIN THE SCOPE OF WORK FOR THE SUBSTITUTION ANY AND ALL ADJUSTMENTS REQUIRED TO THE ADJACENT CONSTRUCTION TO IMPLEMENT THE SUBSTITUTION REQUESTED. THE ARCHITECT'S DECISION OF APPROVAL OR DISAPPROVAL OF A SUBSTITUTION SHALL BE FINAL.
- P) SEE SHEETS A6.1 AND A6.2 FOR EXISTING HISTORIC WINDOW DOCUMENTATION, MODIFICATIONS, AND NEW WINDOW HEAD, JAMB, AND SILL DETAILS.

**BASEMENT LEVEL S.F. BREAKDOWN**

Room / Area	Square Feet (S.F.)
TOTAL BASEMENT LEVEL	7,200 G.S.F.
RETAIL BAY 2	644 S.F.
RETAIL BAY 3	1,423 S.F.
RETAIL BAY 4	1,776 S.F.
APARTMENT AMENITY	885 S.F.
COMMON / CIRCULATION	2,492 S.F.

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**PROPOSED BASEMENT LEVEL FLOOR PLAN**

Issue and Revisions:

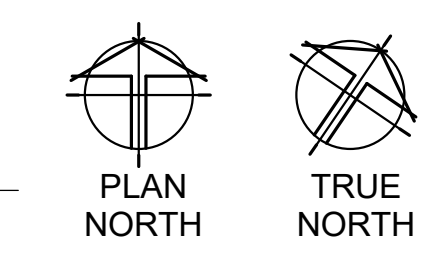
Revision	Date
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

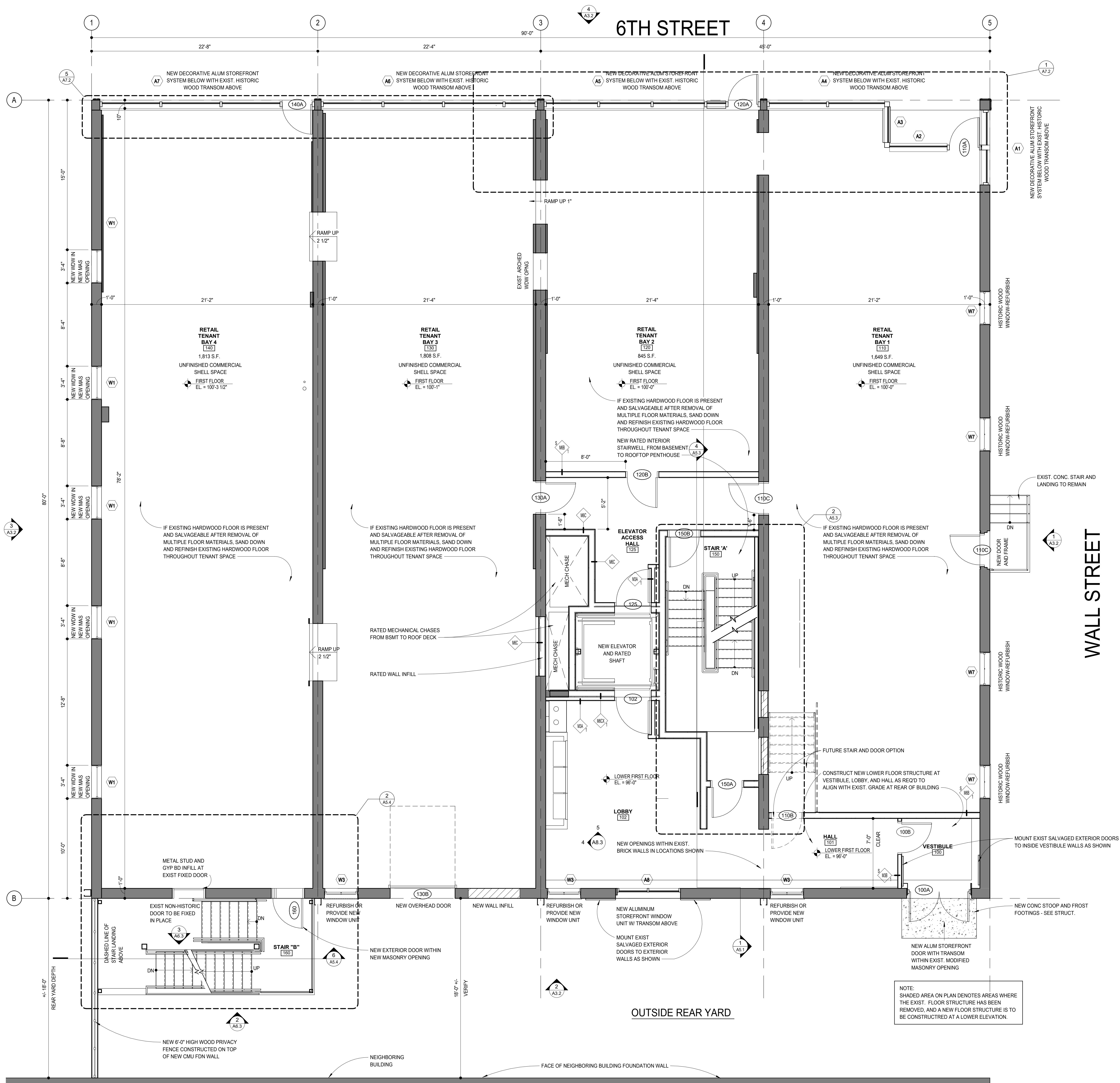
Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

SHEET

**A2.20**

1 A2.20 PROPOSED BASEMENT LEVEL FLOOR PLAN  
1/4" = 1'-0"





**FLOOR PLAN GENERAL NOTES**

- A) DO NOT SCALE DRAWINGS.
- B) NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- C) IN THE CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- D) IN ALL CONSTRUCTION TYPES, ALL WOOD USED IN THE FOLLOWING LOCATIONS IS TO BE PRESERVATIVE-TREATED:
  1. WOOD IN CONTACT WITH THE GROUND OR WATER.
  2. WOOD IN EXTERIOR FOUNDATION WALLS.
  3. WOOD IN CONTACT WITH CONCRETE SLABS ON-GRADE, OR IN CONTACT WITH CONCRETE OR MASONRY FOUNDATION WALLS.
  4. WOOD WITHIN A CRAWL SPACE OVER EXPOSED EARTH.
  5. AT OTHER LOCATIONS NOTED ON THE CONSTRUCTION DOCUMENTS.
- F) SEE SHEET A0.2 FOR SYMBOLS, INDICATION OF MATERIALS, PARTITION TYPE DETAILS & ABBREVIATIONS.
- G) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND STANDARDS AS AMENDED BY LOCAL CODES.
- H) INSTALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- J) A CONTRACTOR SHALL NOT PROCEED WITH THEIR WORK UNTIL THEY ACCEPT THE QUALITY OF PRIOR WORK BY OTHERS THAT IS IN CONTACT WITH THEIR WORK. THE OTHER TRADE SHALL CONSTRUCT PROCEEDING AS ACCEPTANCE OF THE WORK BY THE OWNER.
- K) WHEN WORK IS COMPLETED IN AN AREA, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE AREA, WITHOUT DAMAGING THE MATERIALS AND SURFACES INVOLVED. RESTRICT UNNECESSARY CONSTRUCTION TRAFFIC IN FINISHED AREAS. PROTECT SURFACES, FLOORS AND WALLS FROM DAMAGE UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
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FIRST LEVEL S.F. BREAKDOWN	
TOTAL FIRST LEVEL	7,200 S.F.
RETAIL TENANT BAY 1	1,649 S.F.
RETAIL TENANT BAY 2	845 S.F.
RETAIL TENANT BAY 3	1,808 S.F.
RETAIL TENANT BAY 4	1,813 S.F.
COMMON / CIRCULATION	1,085 S.F.

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**PROPOSED FIRST  
LEVEL FLOOR PLAN -  
SHELL WORK**

Issue on Schedule:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

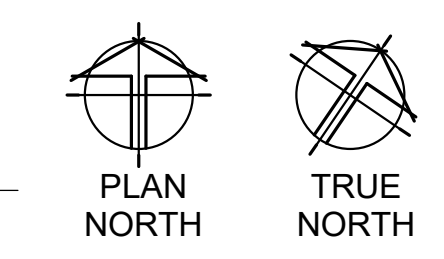
Commission No: 55678-17047  
Design by: DD, LL  
Checked by: DTP

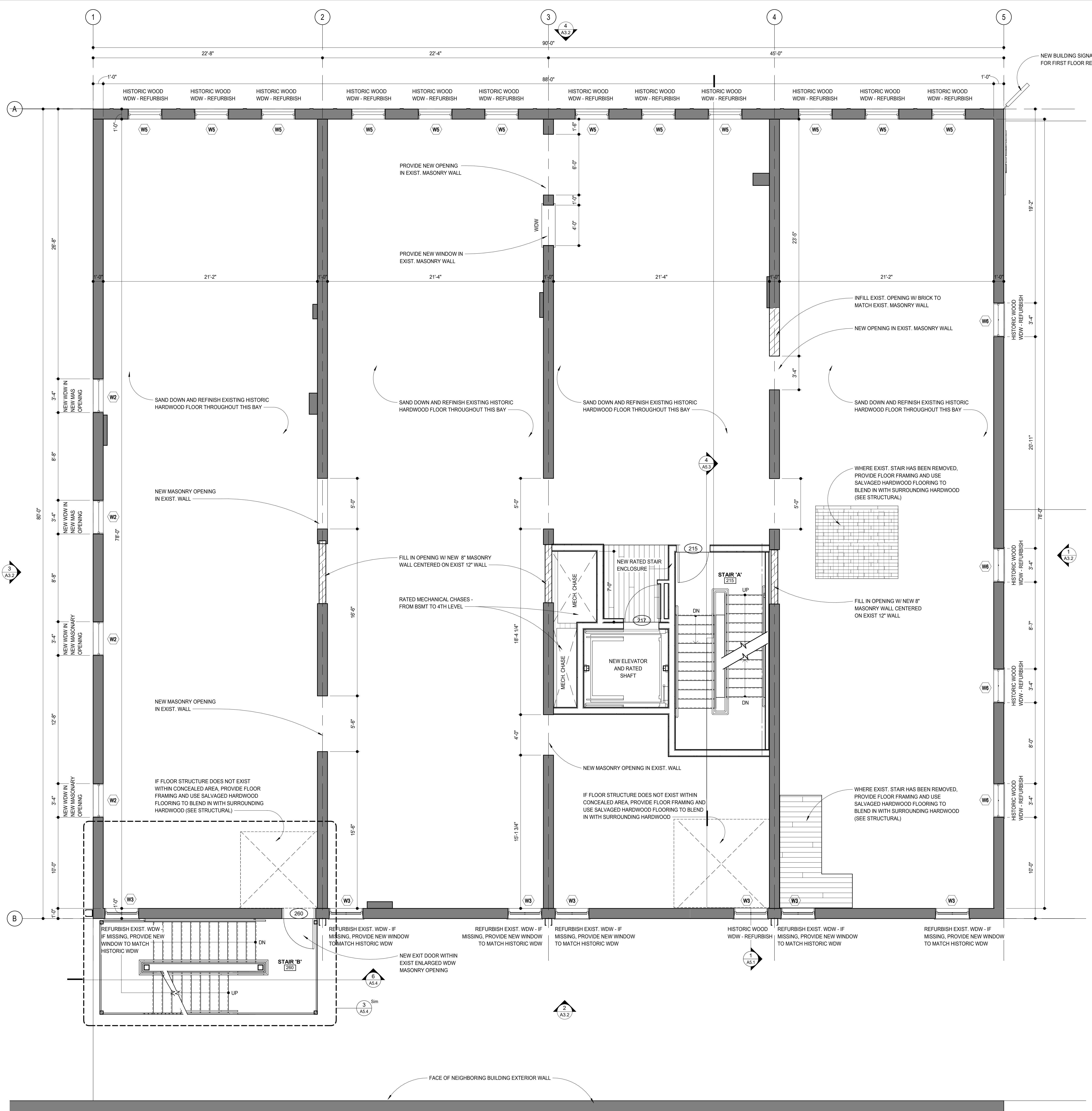
SHEET

**A2.21**

0" 12" 1"  
C:\Revol Projects\05078-17047\_Serviced\_Renovation  
02/07/2018 09:42:02 AM

1 A2.21 PROPOSED FIRST LEVEL FLOOR PLAN - SHELL WORK  
1/4" = 1'-0"





**FLOOR PLAN GENERAL NOTES**

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  4. WOOD WITHIN A CRAWL SPACE OVER EXPOSED EARTH.
  5. AT OTHER LOCATIONS NOTED ON THE CONSTRUCTION DOCUMENTS.
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- P) SEE SHEETS A6.1 AND A6.2 FOR EXISTING HISTORIC WINDOW DOCUMENTATION, MODIFICATIONS, AND NEW WINDOW HEAD, JAMB, AND SILL DETAILS.

NOT FOR CONSTRUCTION



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**COMMISSION HOUSE  
RENOVATION**  
282 EAST 6TH ST  
SAINT PAUL, MN

**PROPOSED SECOND  
LEVEL FLOOR PLAN -  
SHELL WORK**

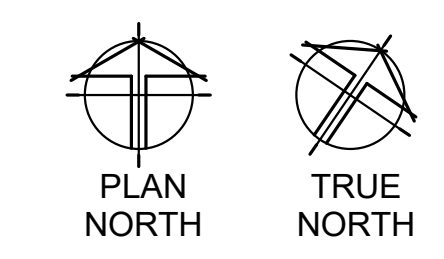
Issue No.	Description	Date
1	ISSUE FOR REVIEW	8-25-17
2	PART 2 AMEND. 1	11-30-17
3	HPC REVISIONS	2-2-18

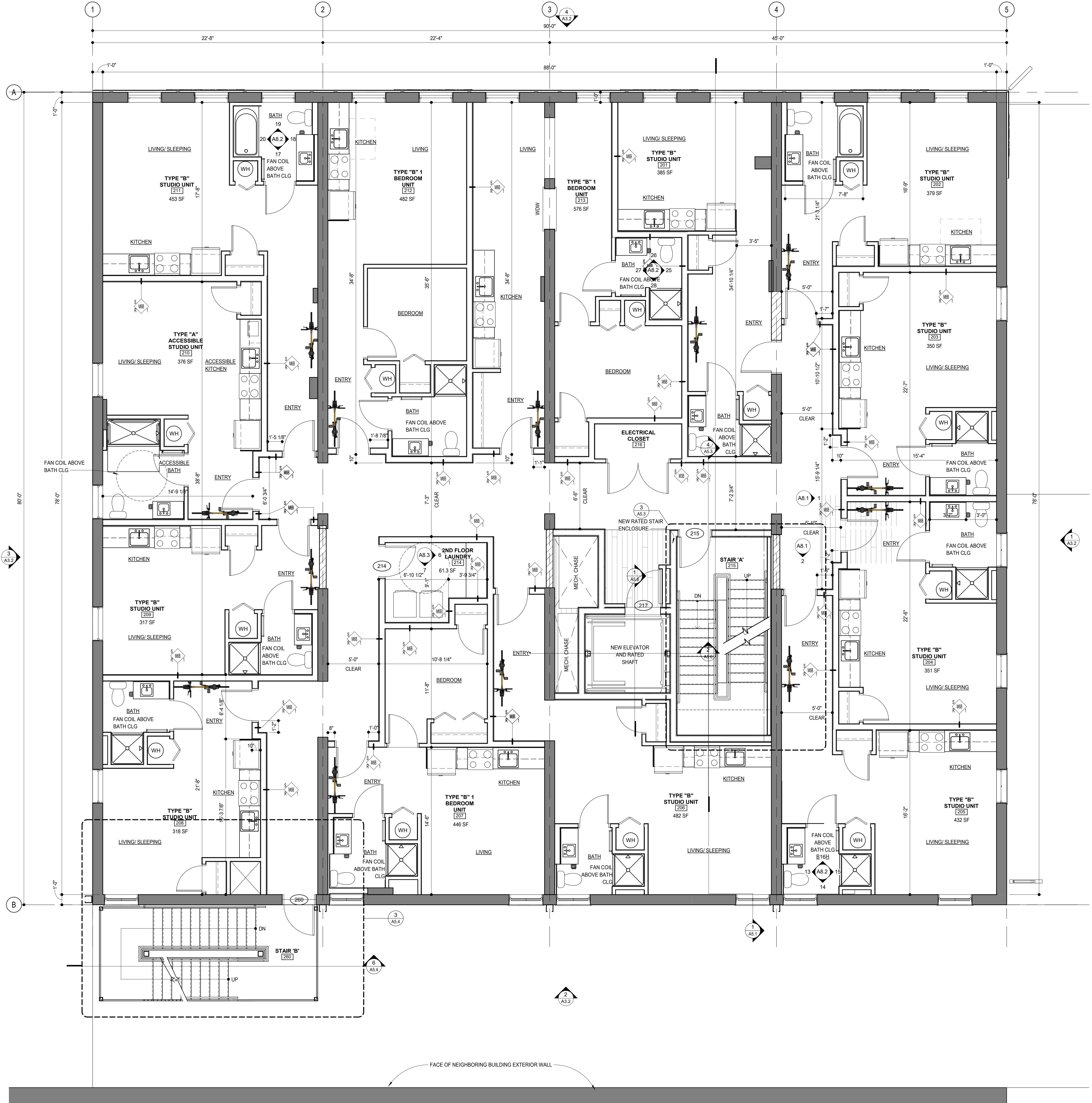
Commission No. 55678-17047  
Drawn by DD, LL  
Checked by DTP

SHEET

**A2.22**

**1** PROPOSED SECOND LEVEL FLOOR PLAN - SHELL WORK  
1/4" = 1'-0"





- ### FLOOR PLAN GENERAL NOTES
- A) DO NOT SCALE DRAWINGS.
  - B) NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
  - C) IN THE CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - D) IN ALL CONSTRUCTION TYPES, ALL WOOD USED IN THE FOLLOWING LOCATIONS IS TO BE PRESERVATIVE-TREATED:
    1. WOOD IN CONTACT WITH THE GROUND OR WATER.
    2. WOOD IN EXTERIOR FOUNDATION WALLS.
    3. WOOD IN CONTACT WITH CONCRETE SLABS-ON-GRADE, OR IN CONTACT WITH CONCRETE OR MASONRY FOUNDATION WALLS.
    4. WOOD WITHIN A CRAWL SPACE OVER EXPOSED EARTH.
    5. AT OTHER LOCATIONS NOTED ON THE CONSTRUCTION DOCUMENTS.
  - F) SEE SHEET A0.2 FOR SYMBOLS, INDICATION OF MATERIALS, PARTITION TYPE DETAILS & ABBREVIATIONS.
  - G) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND STANDARDS AS AMENDED BY LOCAL CODES.
  - H) INSTALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
  - J) A CONTRACTOR SHALL NOT PROCEED WITH THEIR WORK UNTIL THEY ACCEPT THE QUALITY OF PRIOR WORK BY OTHERS THAT IS IN CONTACT WITH THEIR WORK. THE OTHER TRADE SHALL CONSTITUTE PROCEEDING AS ACCEPTANCE OF THE WORK.
  - K) WHEN WORK IS COMPLETED IN AN AREA, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE AREA, WITHOUT DAMAGING THE MATERIALS AND SURFACES INVOLVED. RESTRICT UNNECESSARY CONSTRUCTION TRAFFIC IN FINISHED AREAS. PROTECT SURFACES, FLOORS AND WALLS FROM DAMAGE UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
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  - P) SEE SHEETS A6.1 AND A6.2 FOR EXISTING HISTORIC WINDOW DOCUMENTATION, MODIFICATIONS AND NEW WINDOW HEAD, JAMB, AND SILL DETAILS.

NOT FOR CONSTRUCTION

### SECOND LEVEL S.F. BREAKDOWN

TOTAL SECOND LEVEL		7,200 S.F.
UNIT 201	STUDIO	385 S.F.
UNIT 202	STUDIO	376 S.F.
UNIT 203	STUDIO	350 S.F.
UNIT 204	STUDIO	350 S.F.
UNIT 205	STUDIO	417 S.F.
UNIT 206	STUDIO	448 S.F.
UNIT 207	1 BEDROOM	446 S.F.
UNIT 208	STUDIO	318 S.F.
UNIT 209	STUDIO	317 S.F.
ACCESSIBLE UNIT 210	STUDIO	376 S.F.
UNIT 211	STUDIO	453 S.F.
UNIT 212	1 BEDROOM	481 S.F.
UNIT 213	1 BEDROOM	578 S.F.
COMMON / CIRCULATION		1,905 S.F.



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### PROPOSED SECOND LEVEL FLOOR PLAN - APARTMENT LAYOUT

Revision System:  
PART 2 AMEND. 1 11-30-17  
HPC REVISIONS 2-2-18

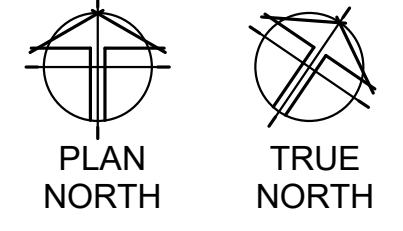
Commission No: 55678-17047  
Drawn by: LL  
Checked by: DTP

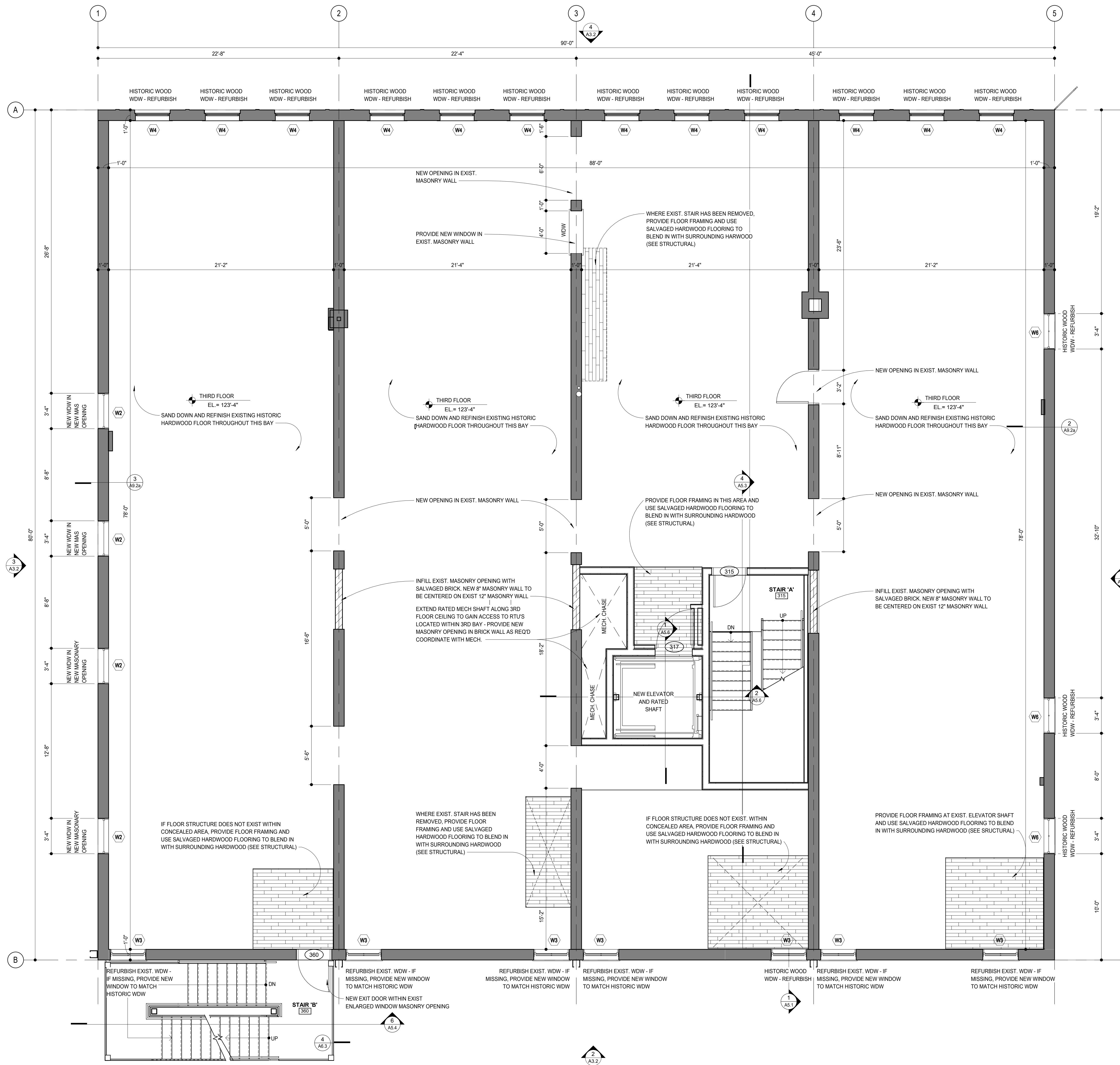
SHEET

# A2.22a

GRAPHIC SCALE  
0' 12' 1"  
C:\Revised Projects\05078-17047\_Second Renovation\05078-17047-02.dwg 2/2/18

1 PROPOSED SECOND LEVEL FLOOR PLAN - APARTMENT LAYOUT  
A2.22a 1/4" = 1'-0"





### FLOOR PLAN GENERAL NOTES

- A) DO NOT SCALE DRAWINGS.
- B) NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- C) IN THE CASE OF AMBIGUITIES, DISCREPANCIES, OR IRREGULARITIES IN THE DRAWINGS AND/OR SPECIFICATIONS, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- D) IN ALL CONSTRUCTION TYPES, ALL WOOD USED IN THE FOLLOWING LOCATIONS IS TO BE PRESERVATIVE-TREATED:
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  3. WOOD IN CONTACT WITH CONCRETE SLABS-ON-GRADE, OR IN CONTACT WITH CONCRETE OR MASONRY FOUNDATION WALLS.
  4. WOOD WITHIN A CRAWL SPACE OVER EXPOSED EARTH.
  5. AT OTHER LOCATIONS NOTED ON THE CONSTRUCTION DOCUMENTS.
- F) SEE SHEET A0.2 FOR SYMBOLS, INDICATION OF MATERIALS, PARTITION TYPE DETAILS & ABBREVIATIONS.
- G) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND STANDARDS AS AMENDED BY LOCAL CODES.
- H) INSTALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS.
- J) A CONTRACTOR SHALL NOT PROCEED WITH THEIR WORK UNTIL THEY ACCEPT THE QUALITY OF PRIOR WORK BY OTHERS THAT IS IN CONTACT WITH THEIR WORK. THE OTHER TRADE SHALL CONSTRUCTIVE PROCEEDING AS ACCEPTANCE OF THE WORK.
- K) WHEN WORK IS COMPLETED IN AN AREA, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE AREA, WITHOUT DAMAGING THE MATERIALS AND SURFACES INVOLVED. RESTRICT UNNECESSARY CONSTRUCTION TRAFFIC IN FINISHED AREAS. PROTECT SURFACES, FLOORS AND WALLS FROM DAMAGE UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
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NOT FOR CONSTRUCTION



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### PROPOSED THIRD LEVEL FLOOR PLAN - SHELL WORK

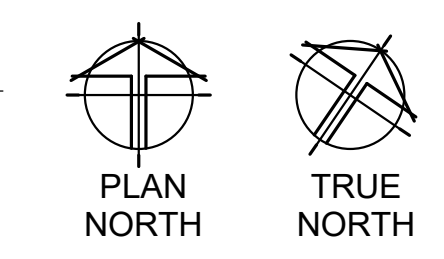
Issue No	Description	Date
50% CD ISSUE		4-19-17
PVN REVISIONS		4-26-17
PART 2 AMEND. 1		11-30-17
HPC REVISIONS		2-2-18

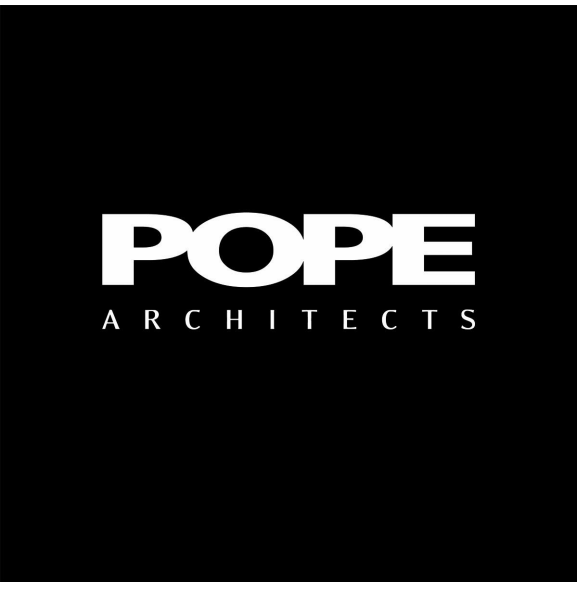
Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

SHEET

# A2.23

1 A2.23 PROPOSED THIRD LEVEL FLOOR PLAN - SHELL WORK  
1/4" = 1'-0"





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**FLOOR PLAN GENERAL NOTES**

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- P) SEE SHEETS A6.1 AND A6.2 FOR EXISTING HISTORIC WINDOW DOCUMENTATION, MODIFICATION, AND NEW WINDOW HEAD, JAMB, AND SILL DETAILS.

NOT FOR CONSTRUCTION

**PROPOSED THIRD LEVEL FLOOR PLAN - APARTMENT LAYOUT**

**THIRD LEVEL S.F. BREAKDOWN**

TOTAL THIRD LEVEL		7,200 S.F.
UNIT 301	STUDIO	385 S.F.
UNIT 302	STUDIO	376 S.F.
UNIT 303	STUDIO	350 S.F.
UNIT 304	STUDIO	350 S.F.
UNIT 305	STUDIO	417 S.F.
UNIT 306	STUDIO	448 S.F.
UNIT 307	1 BEDROOM	446 S.F.
UNIT 308	STUDIO	318 S.F.
UNIT 309	STUDIO	317 S.F.
ACCESSIBLE UNIT 310	STUDIO	376 S.F.
UNIT 311	STUDIO	453 S.F.
UNIT 312	1 BEDROOM	481 S.F.
UNIT 313	1 BEDROOM	578 S.F.
COMMON / CIRCULATION		1,905 S.F.

Revision System:  
PART 2 AMEND. 1 11-30-17  
HPC REVISIONS 2-2-18

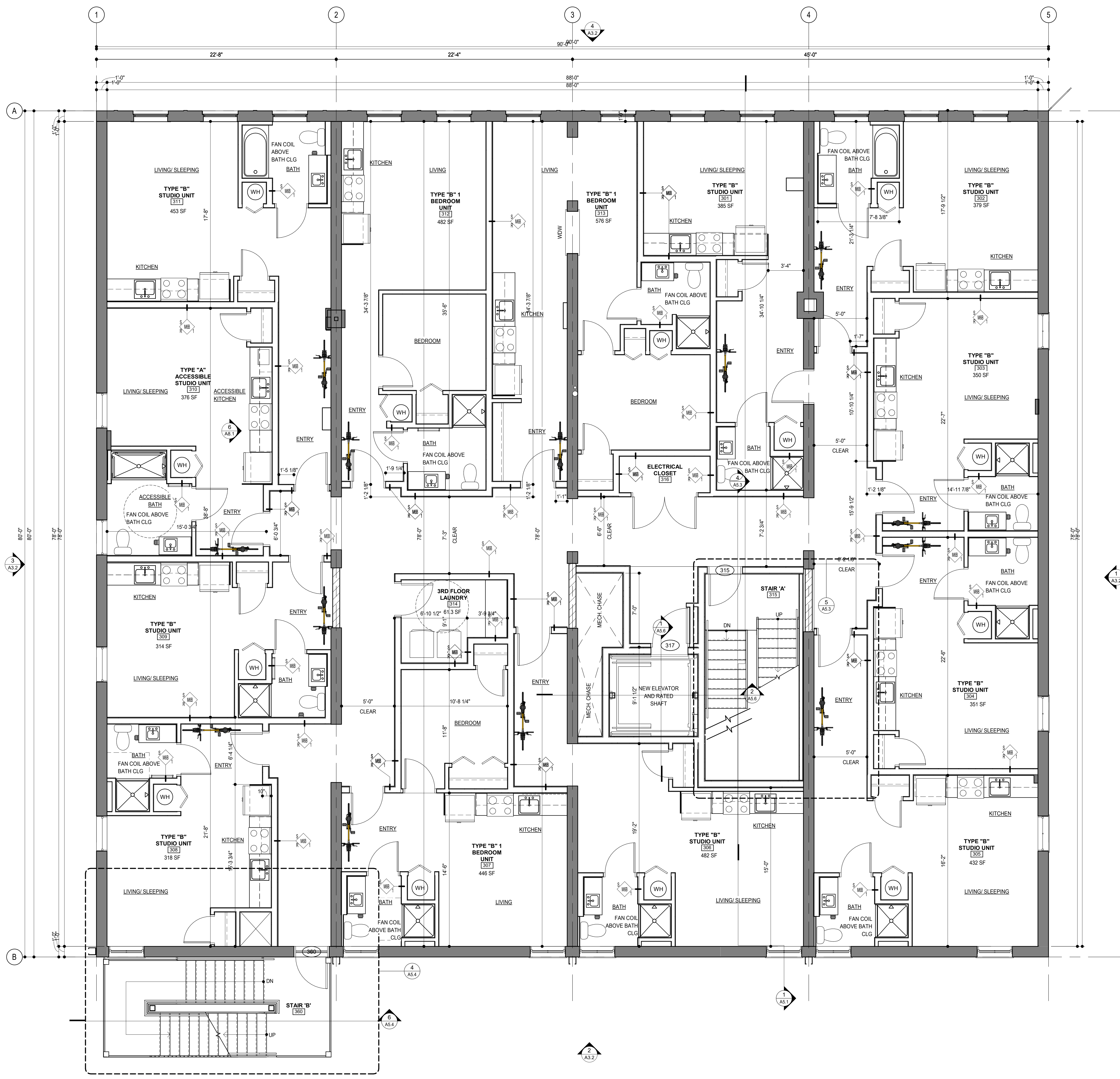
Commission No: 55678-17047  
Drawn by: LL  
Checked by: DTP

SHEET

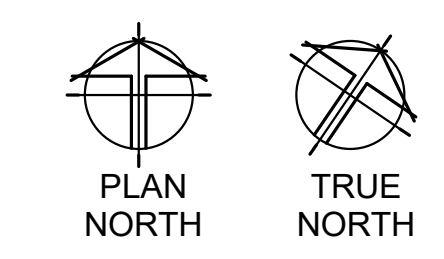
**A2.23a**

PROJECT SCALE  
1" = 12'-0"

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1 PROPOSED THIRD LEVEL FLOOR PLAN  
A2.23a 1/4" = 1'-0"





**FLOOR PLAN GENERAL NOTES**

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- P) SEE SHEETS A6.1 AND A6.2 FOR EXISTING HISTORIC WINDOW DOCUMENTATION, MODIFICATIONS, AND NEW WINDOW HEAD, JAMB, AND SILL DETAILS.

NOT FOR CONSTRUCTION

**ROOF LEVEL S.F. BREAKDOWN**

TOTAL ROOF LEVEL AREAS	1,761 S.F.
ELEVATED WALKWAY DECK	83 S.F.
OUTSIDE ROOF DECK	1,160 S.F.
ROOFTOP ACCESS SHELL	518 S.F.

**PROPOSED ROOF LEVEL FLOOR PLAN**

Issue on Revisions:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No. 55678-17047

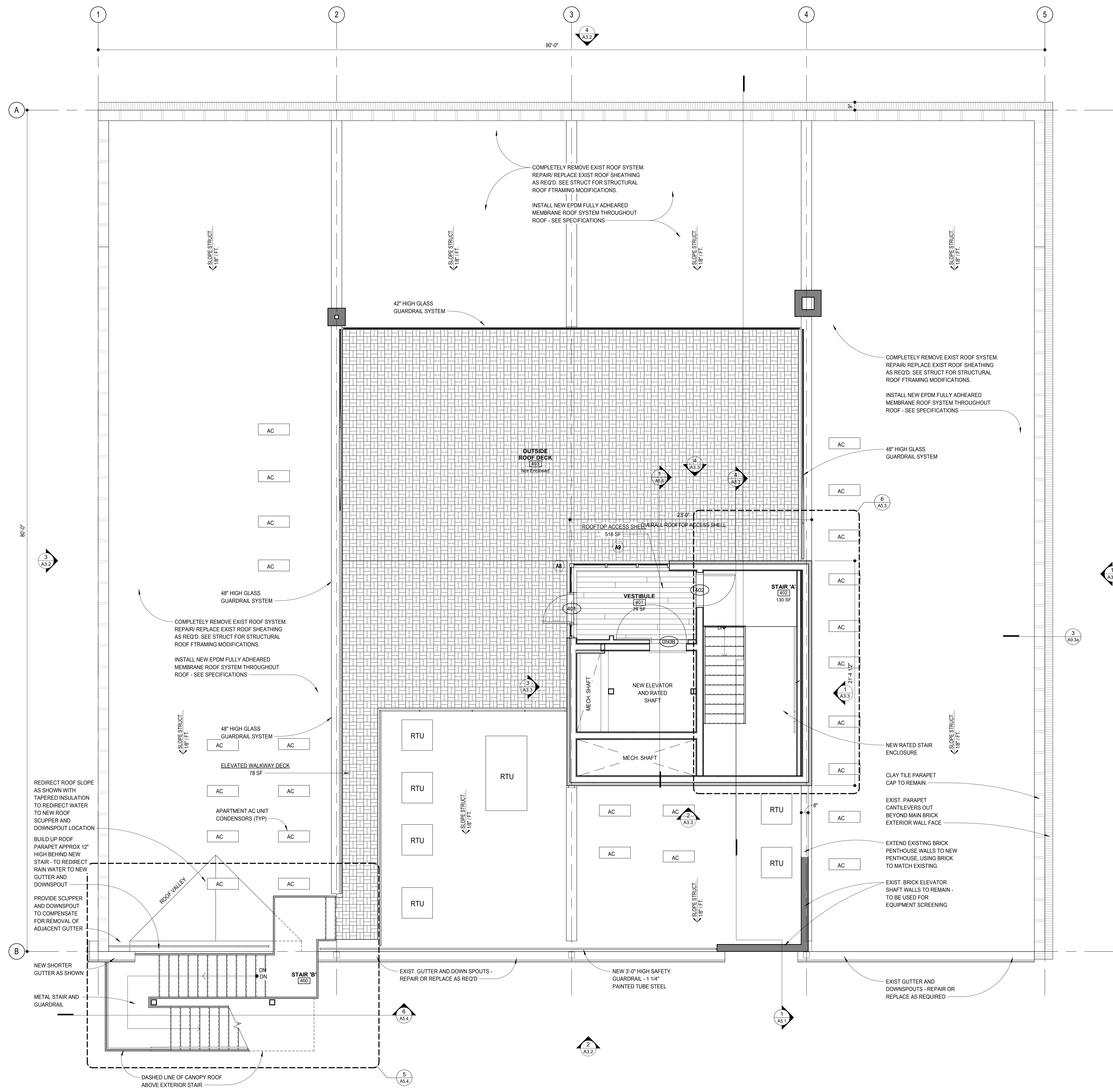
Drawn by LL

Checked by DTP

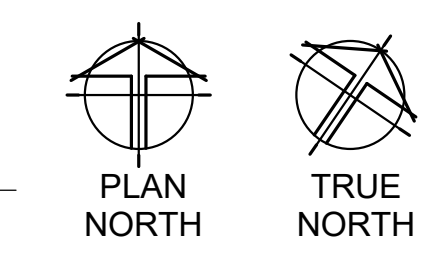
SHEET

**A2.24**

GRAPHIC SCALE  
0' 12" 1'

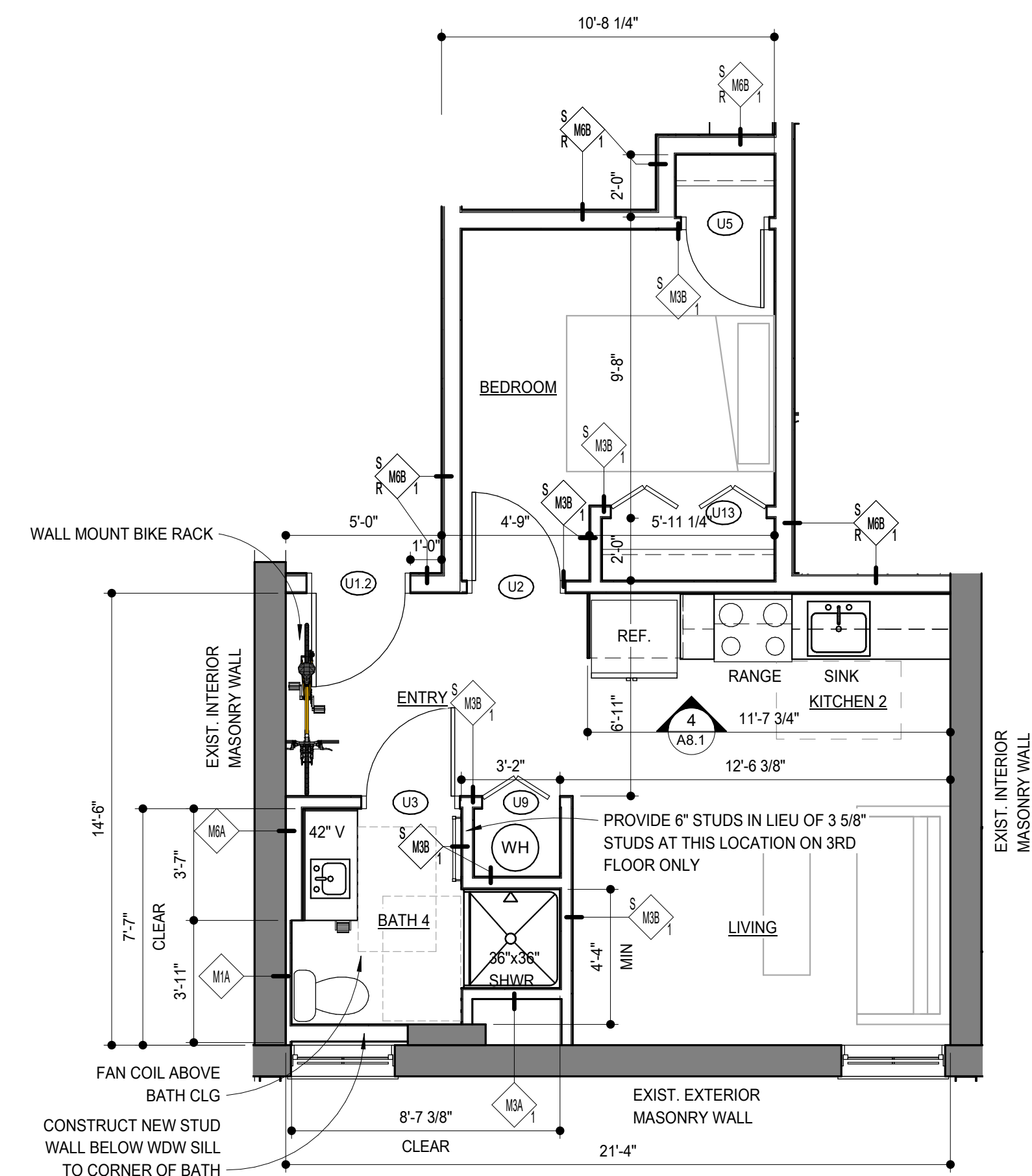


1  
A2.24  
**PROPOSED ROOF LEVEL FLOOR PLAN**  
1/4" = 1'-0"

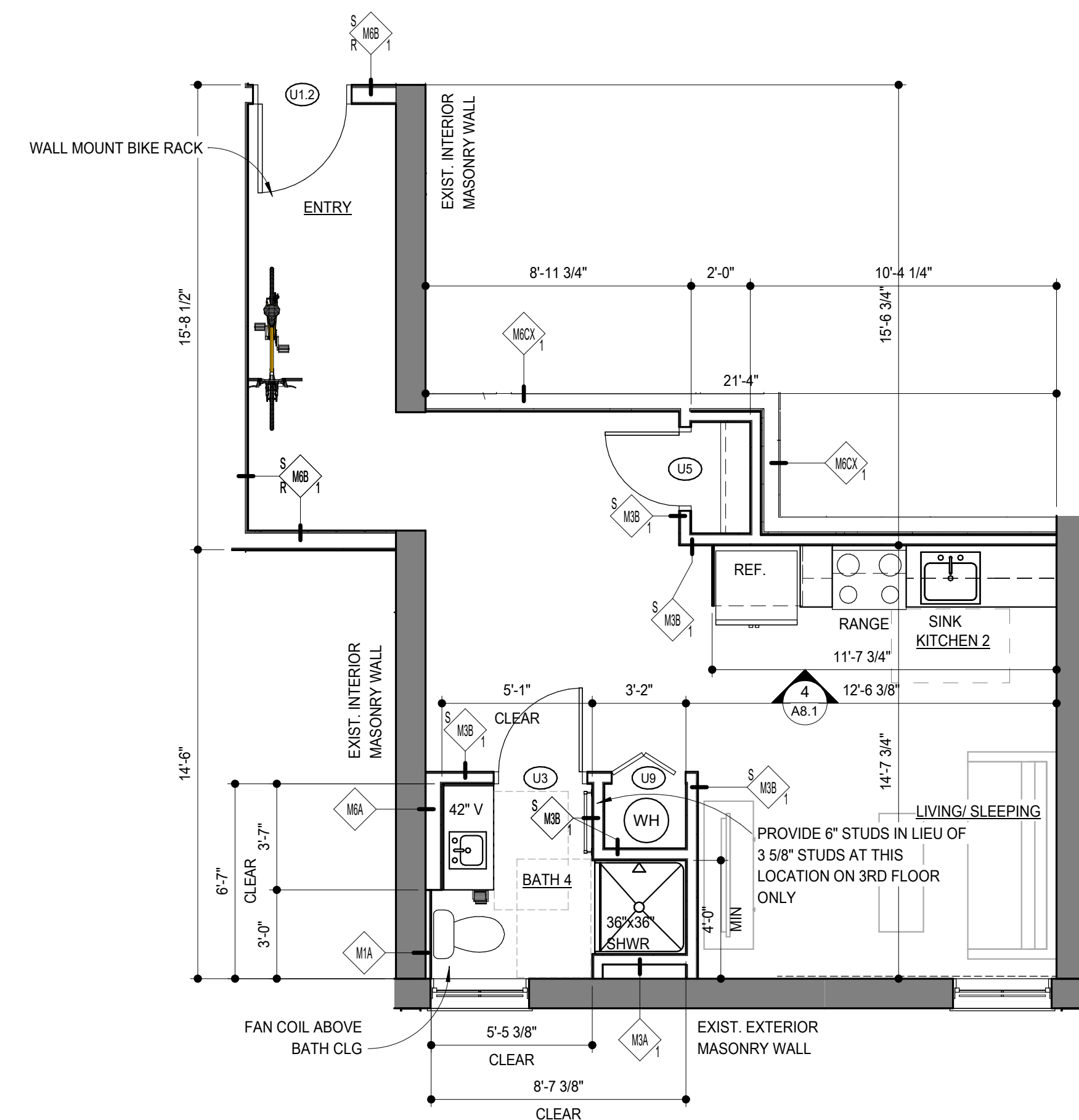
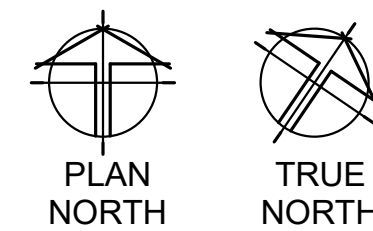


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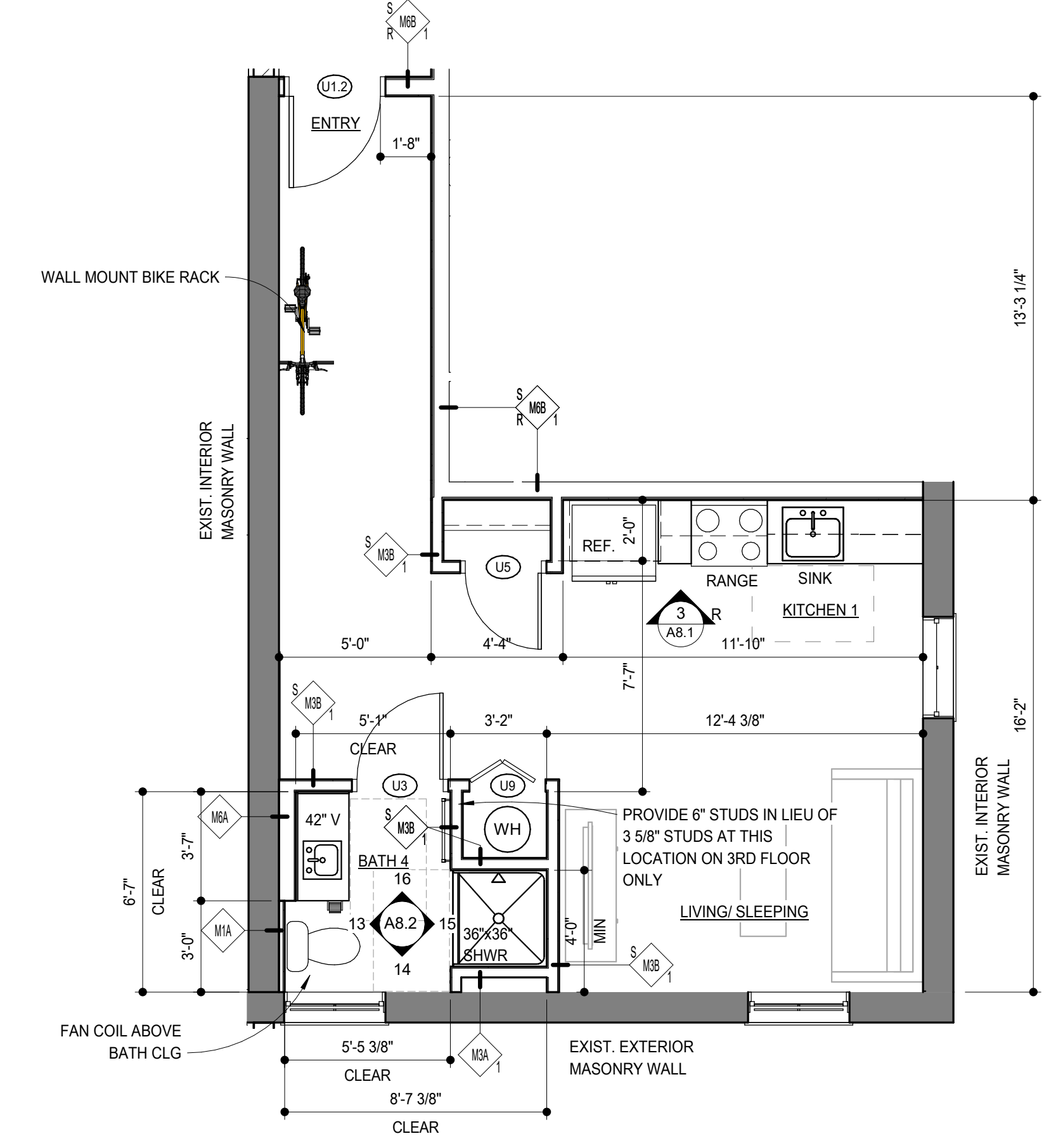
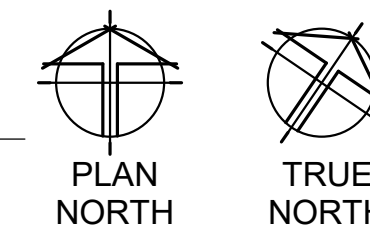
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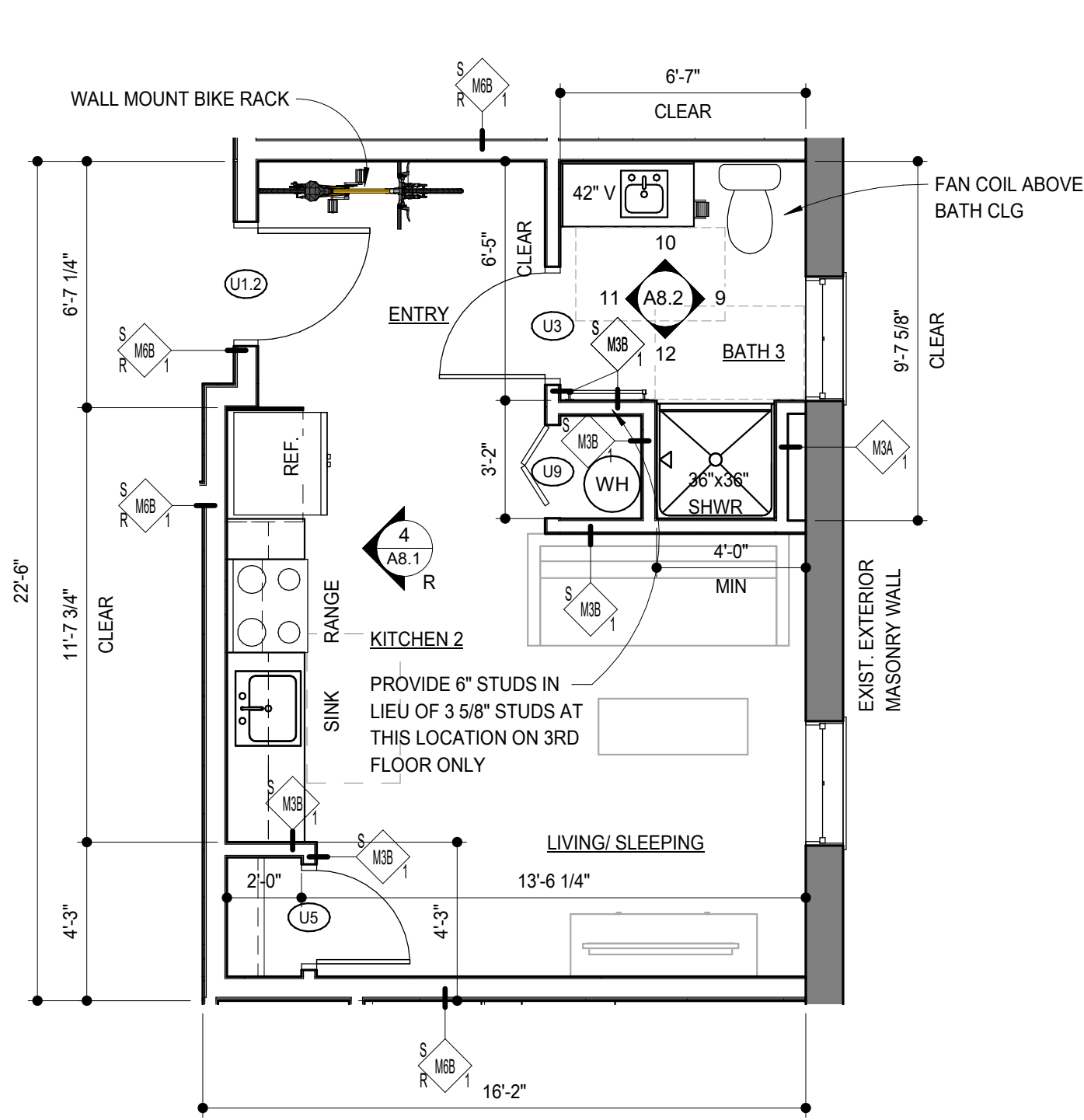
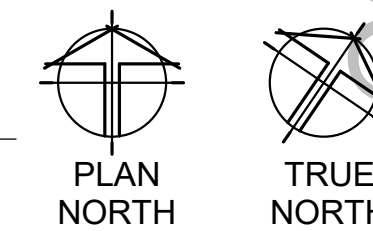
**7**  
A2.25 **1 BEDROOM UNIT 207/ 307**  
1/4" = 1'-0"



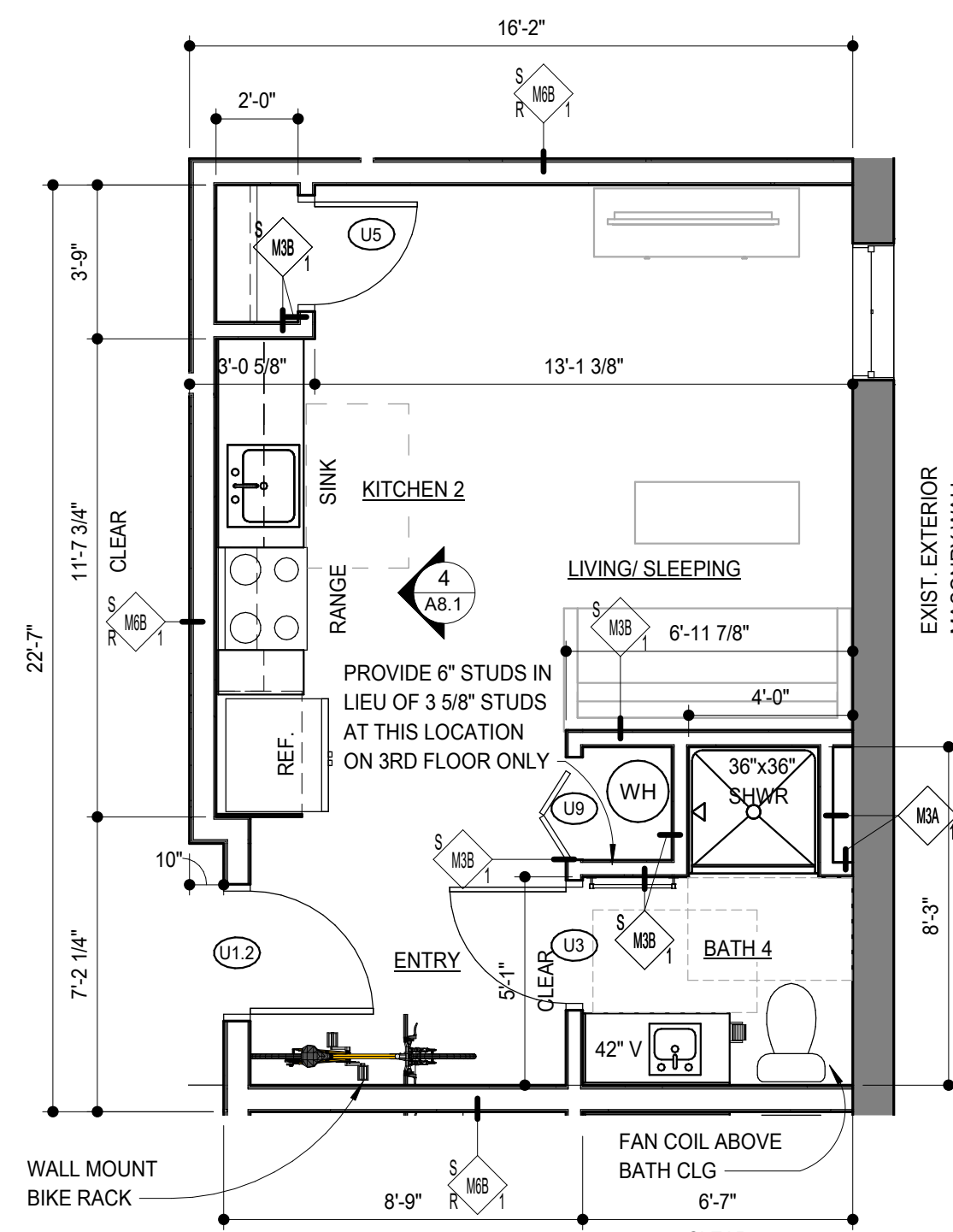
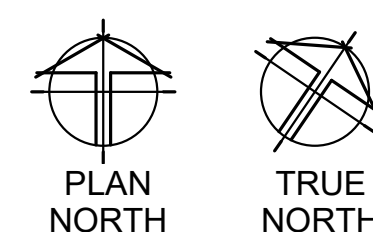
**6**  
A2.25 **STUDIO UNIT 206/ 306**  
1/4" = 1'-0"



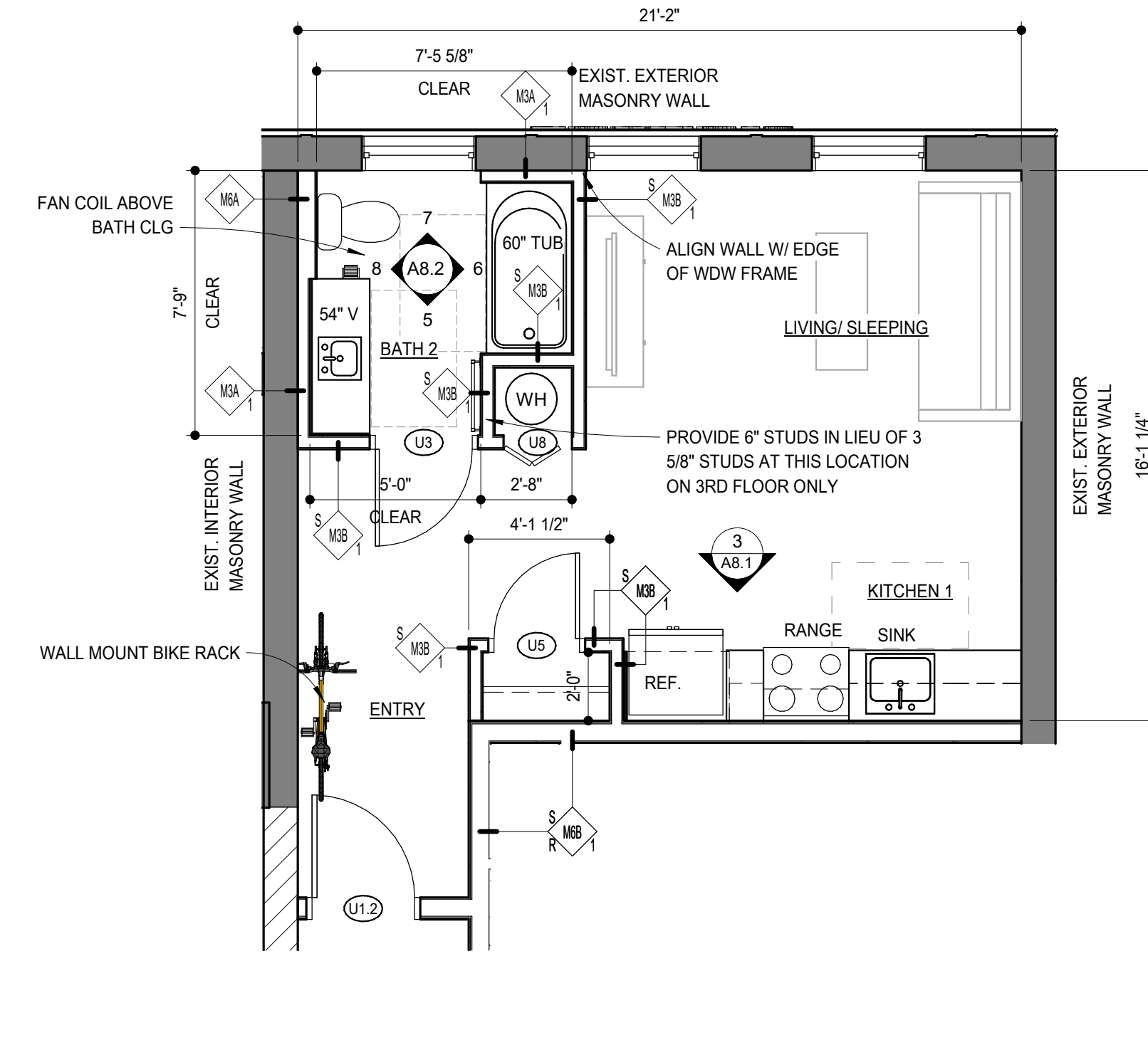
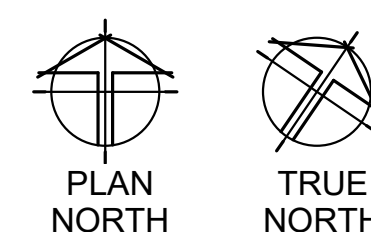
**5**  
A2.25 **STUDIO UNIT 205/ 305**  
1/4" = 1'-0"



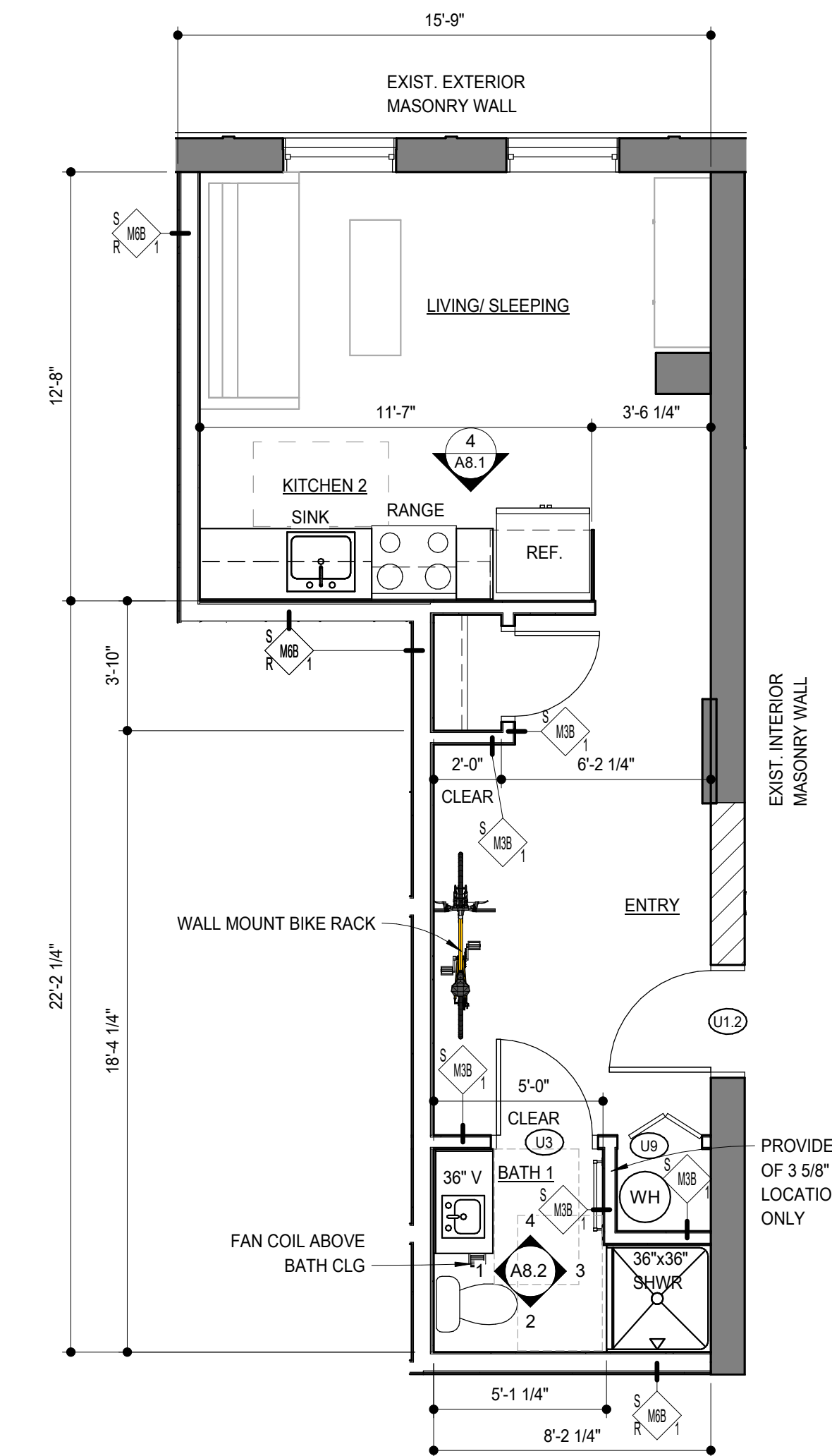
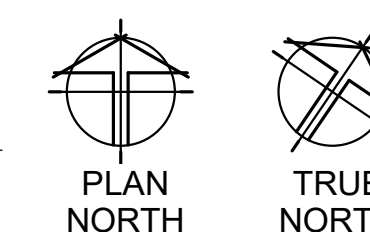
**4**  
A2.25 **STUDIO UNIT 204/ 304**  
1/4" = 1'-0"



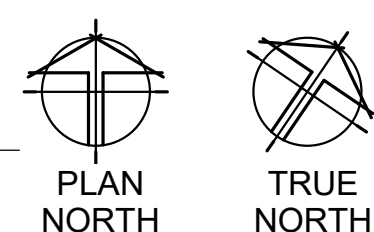
**3**  
A2.25 **STUDIO UNIT 203/ 303**  
1/4" = 1'-0"



**2**  
A2.25 **STUDIO UNIT 202/ 302**  
1/4" = 1'-0"



**1**  
A2.25 **STUDIO UNIT 201/ 301**  
1/4" = 1'-0"



**ENLARGED UNIT PLANS**

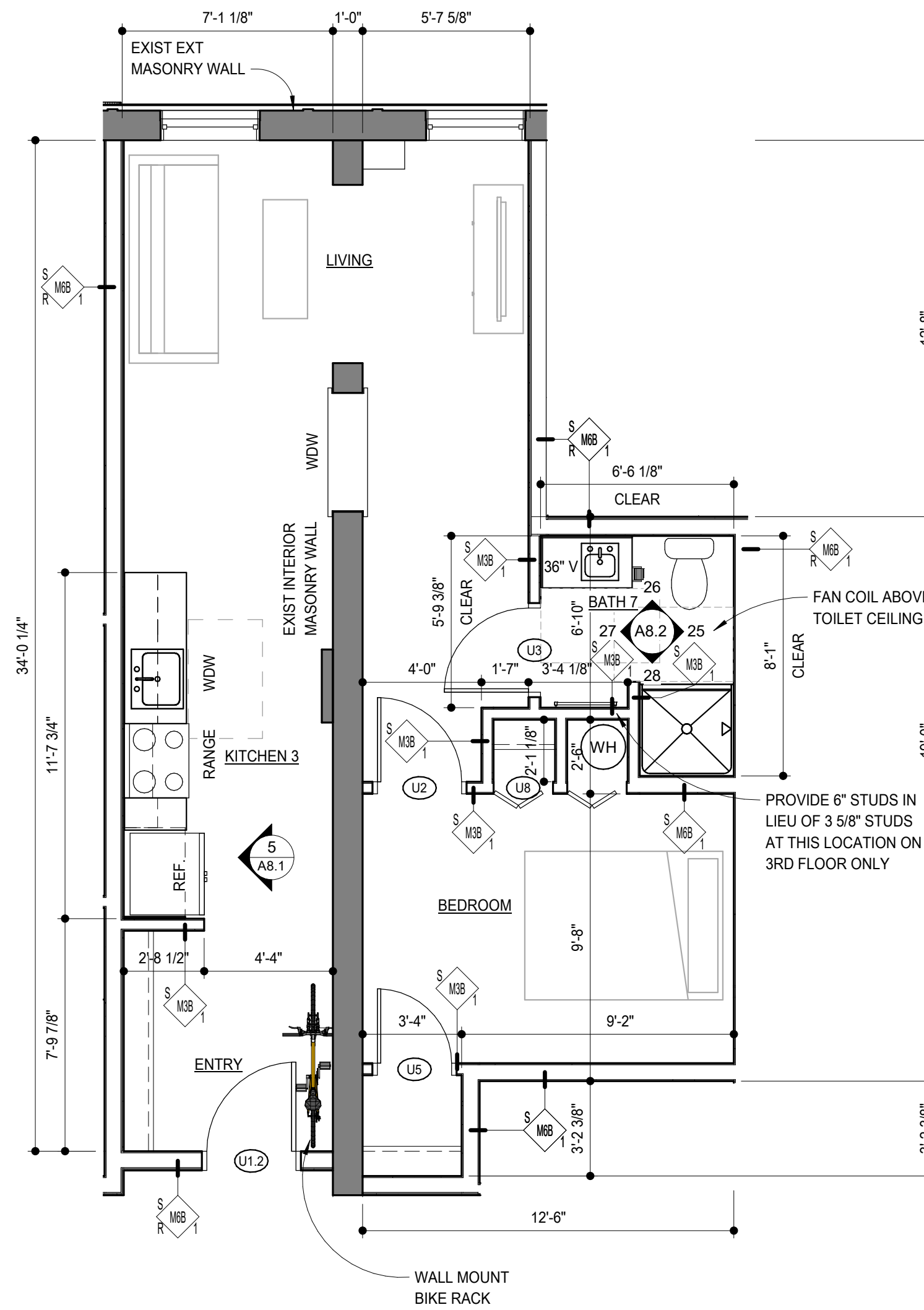
HPC REVISIONS 2-2-18

Commission No: 55678-17047  
Drawn by: LL  
Checked by: DTP

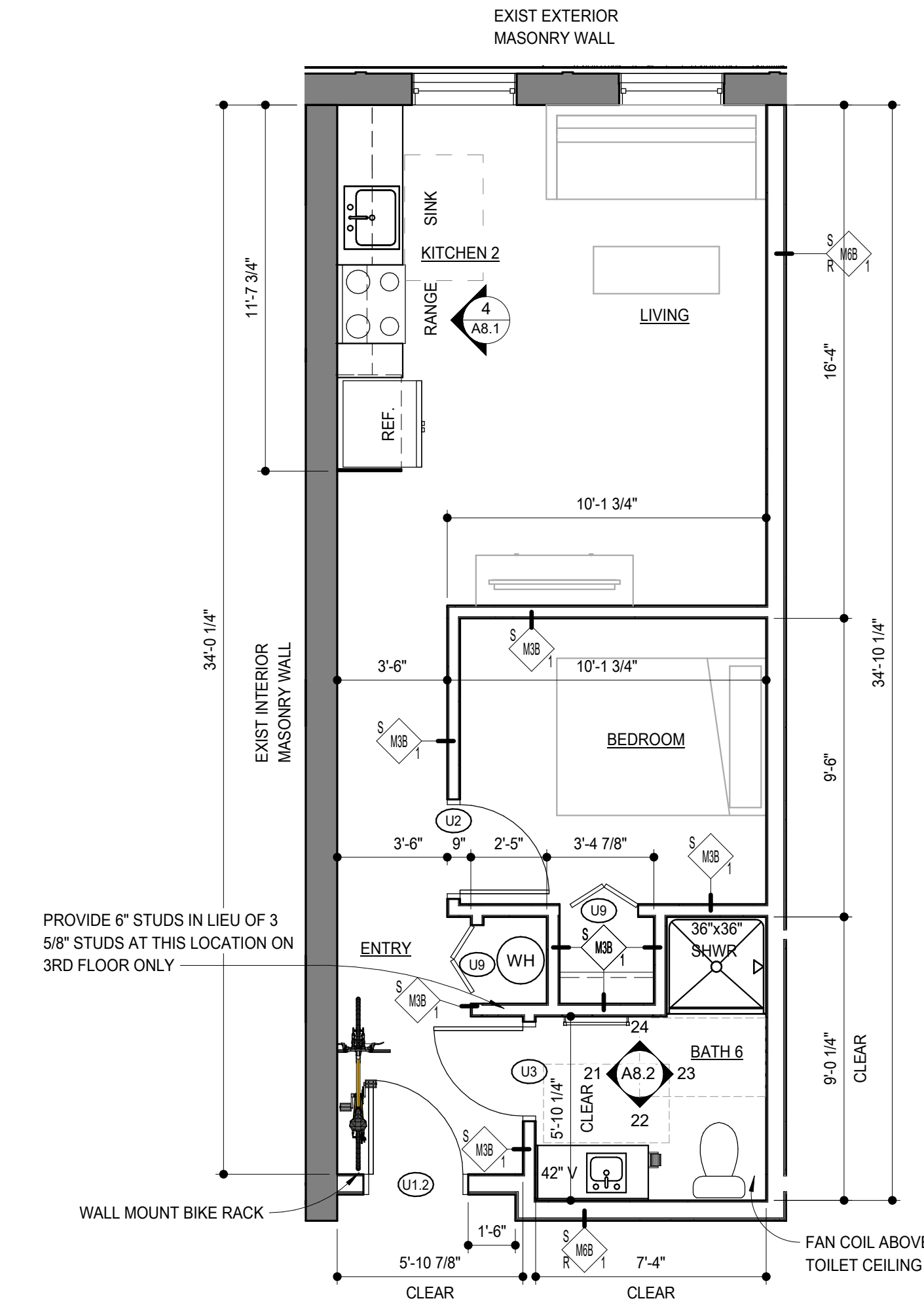
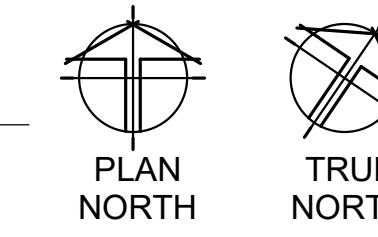
SHEET

**A2.25**

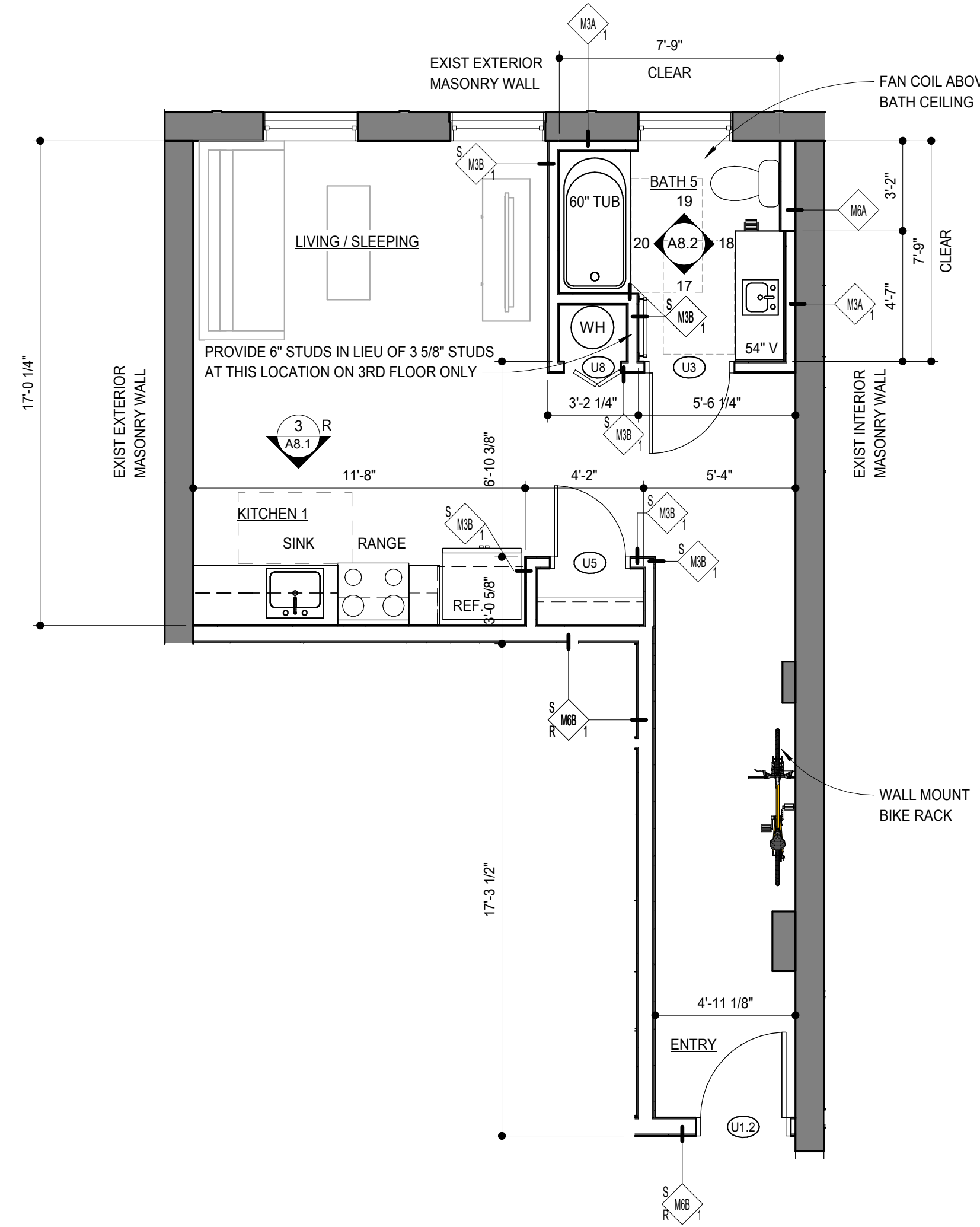
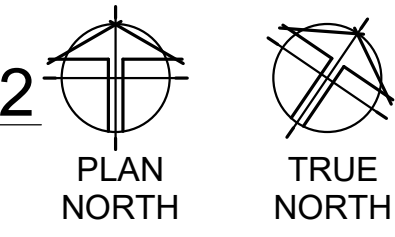
NOT FOR CONSTRUCTION



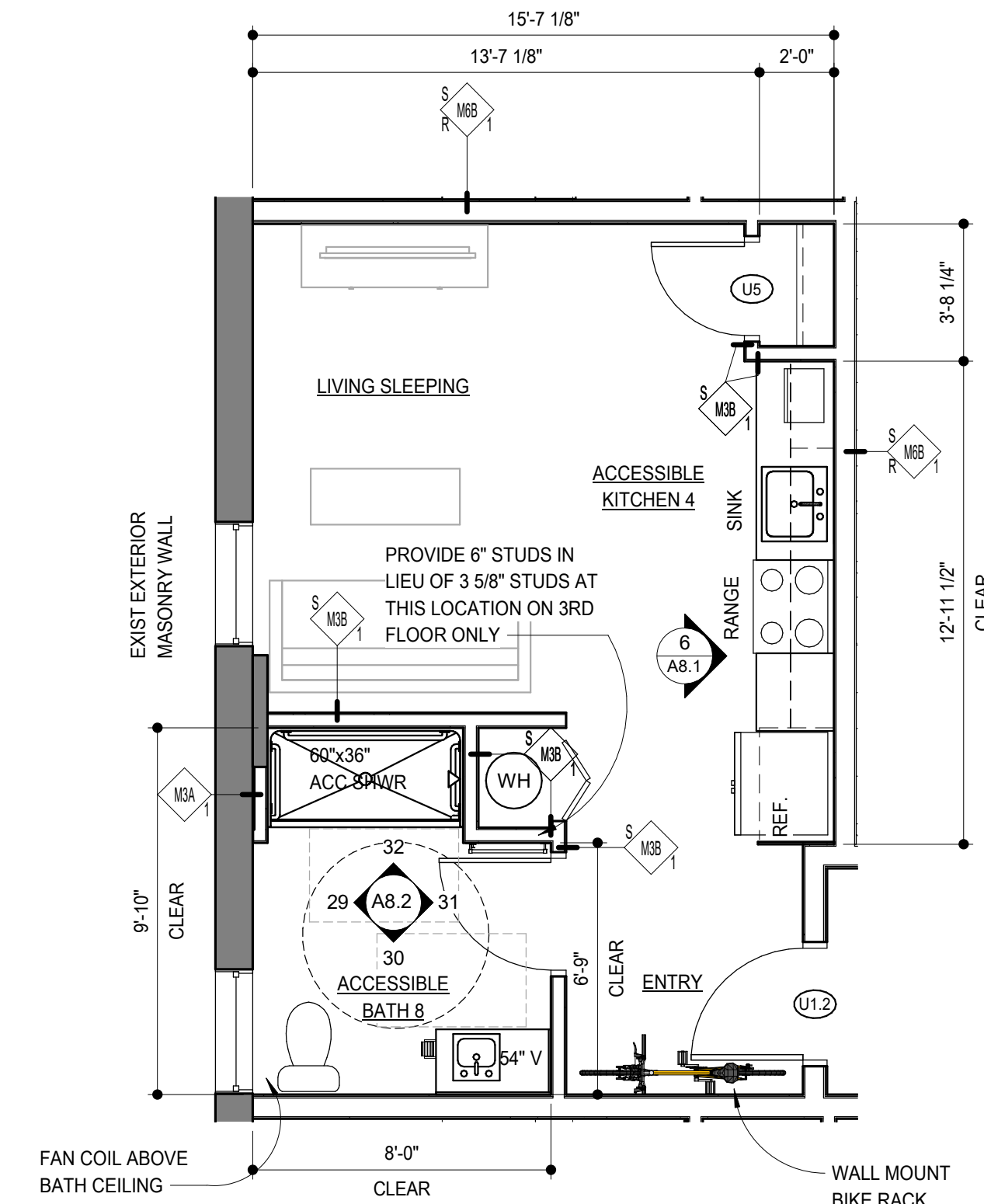
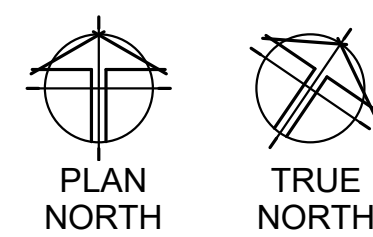
6 1 BEDROOM UNIT 213/ 313  
A2.26 1/4" = 1'-0"



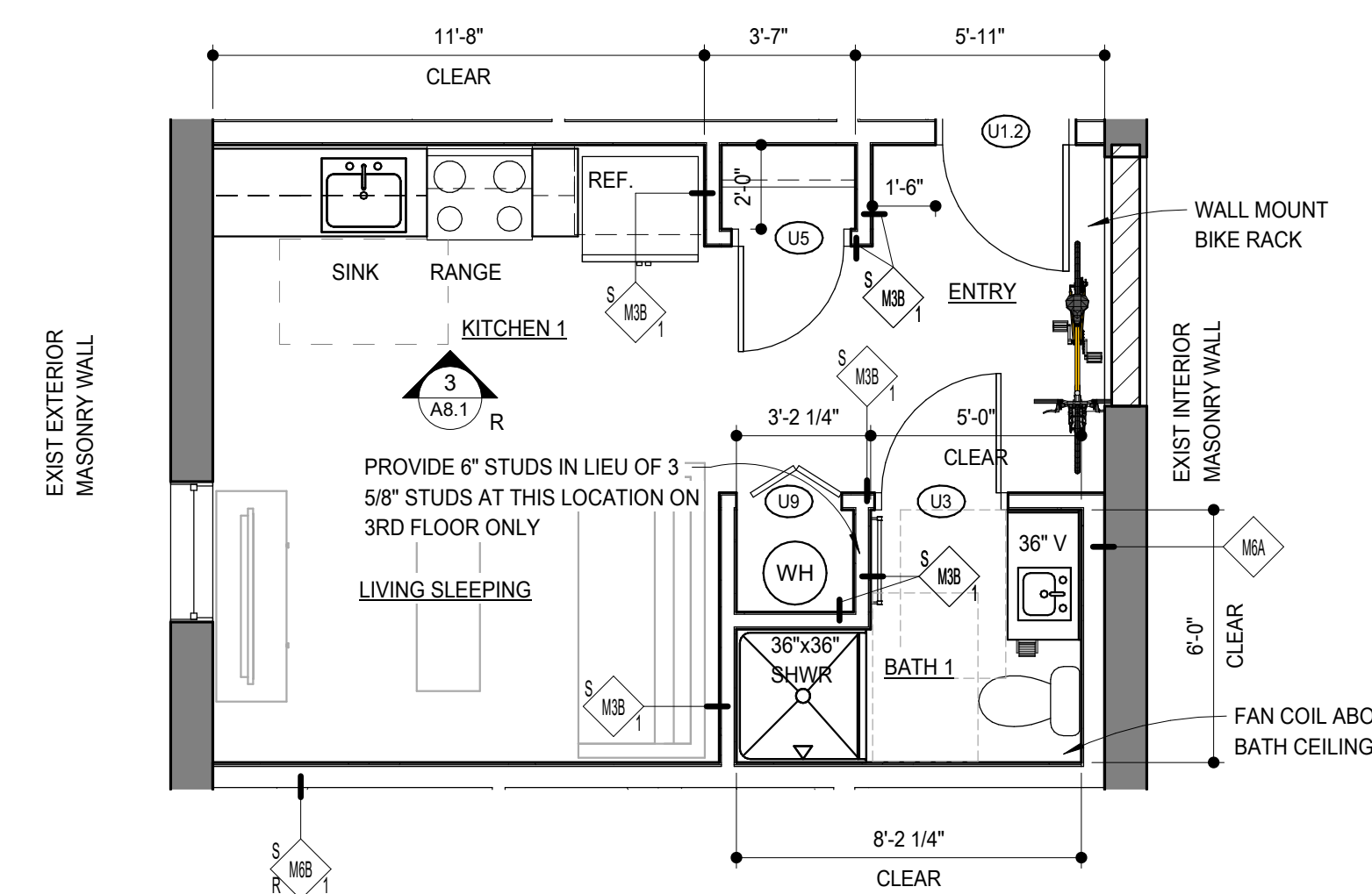
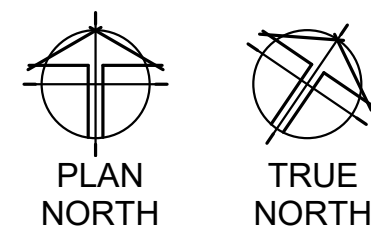
5 1 BEDROOM UNIT 212/ 312  
A2.26 1/4" = 1'-0"



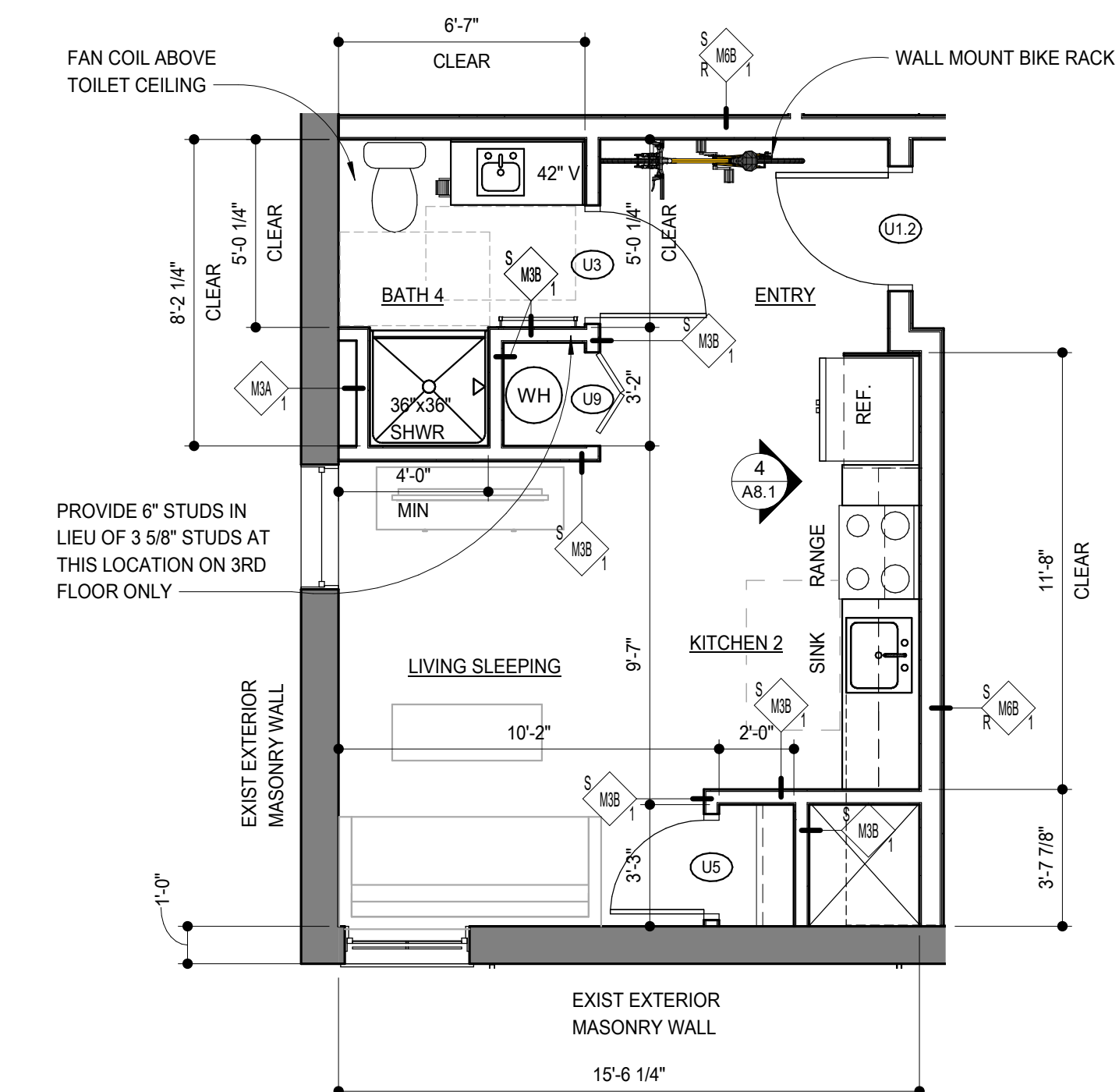
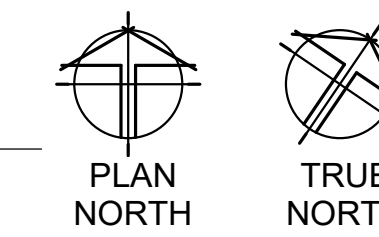
4 STUDIO UNIT 211/ 311  
A2.26 1/4" = 1'-0"



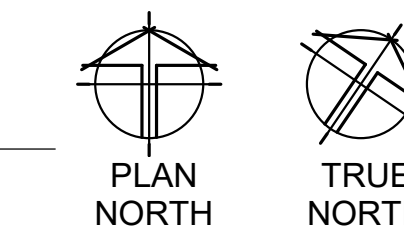
3 ACCESSIBLE STUDIO UNIT 210/ 310  
A2.26 1/4" = 1'-0"



2 STUDIO UNIT 209/ 309  
A2.26 1/4" = 1'-0"



1 STUDIO UNIT 208/ 308  
A2.26 1/4" = 1'-0"



ENLARGED UNIT  
PLANS

Based on Revision:

HPC REVISIONS 2-2-18

Commission No: 55678-17047

Drawn by: LL

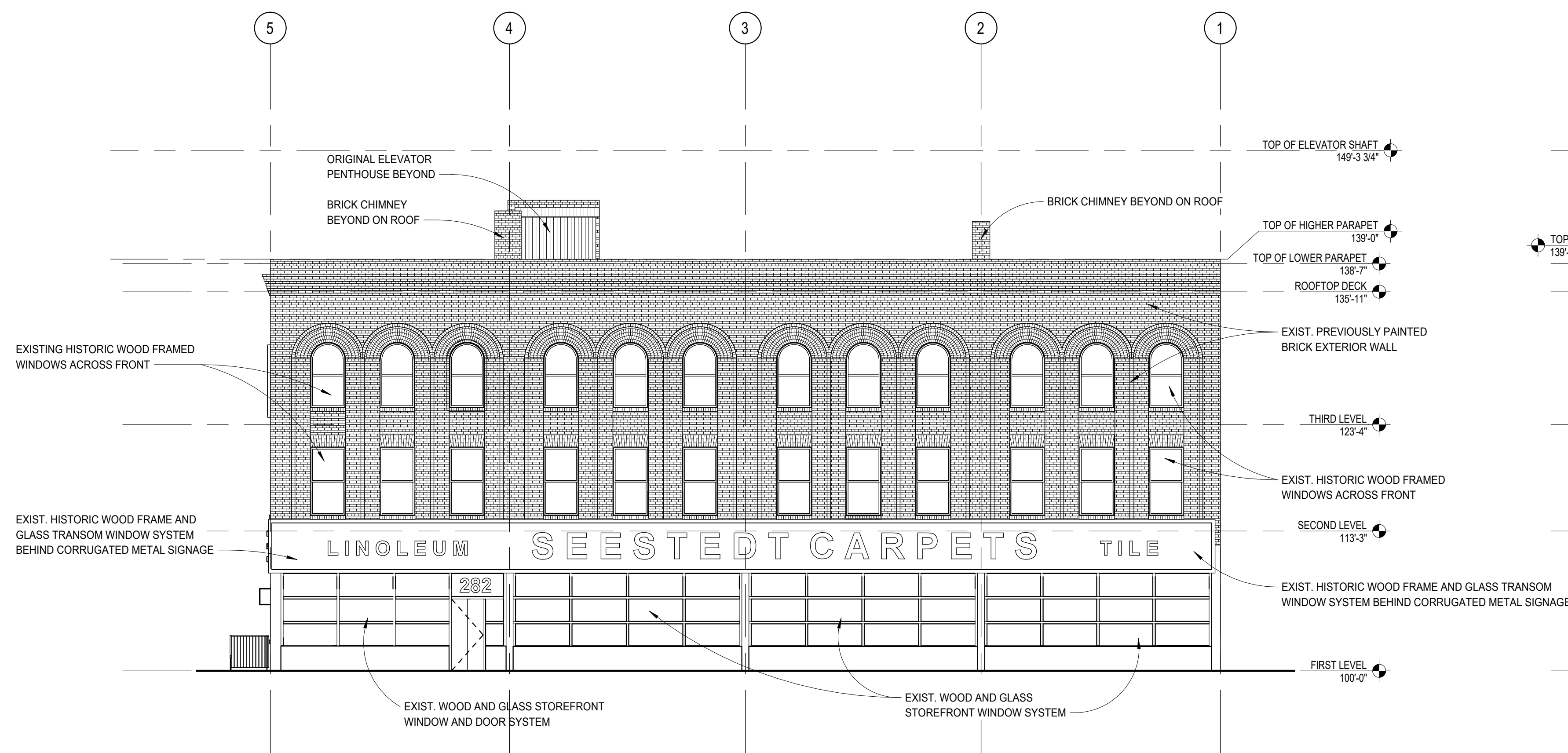
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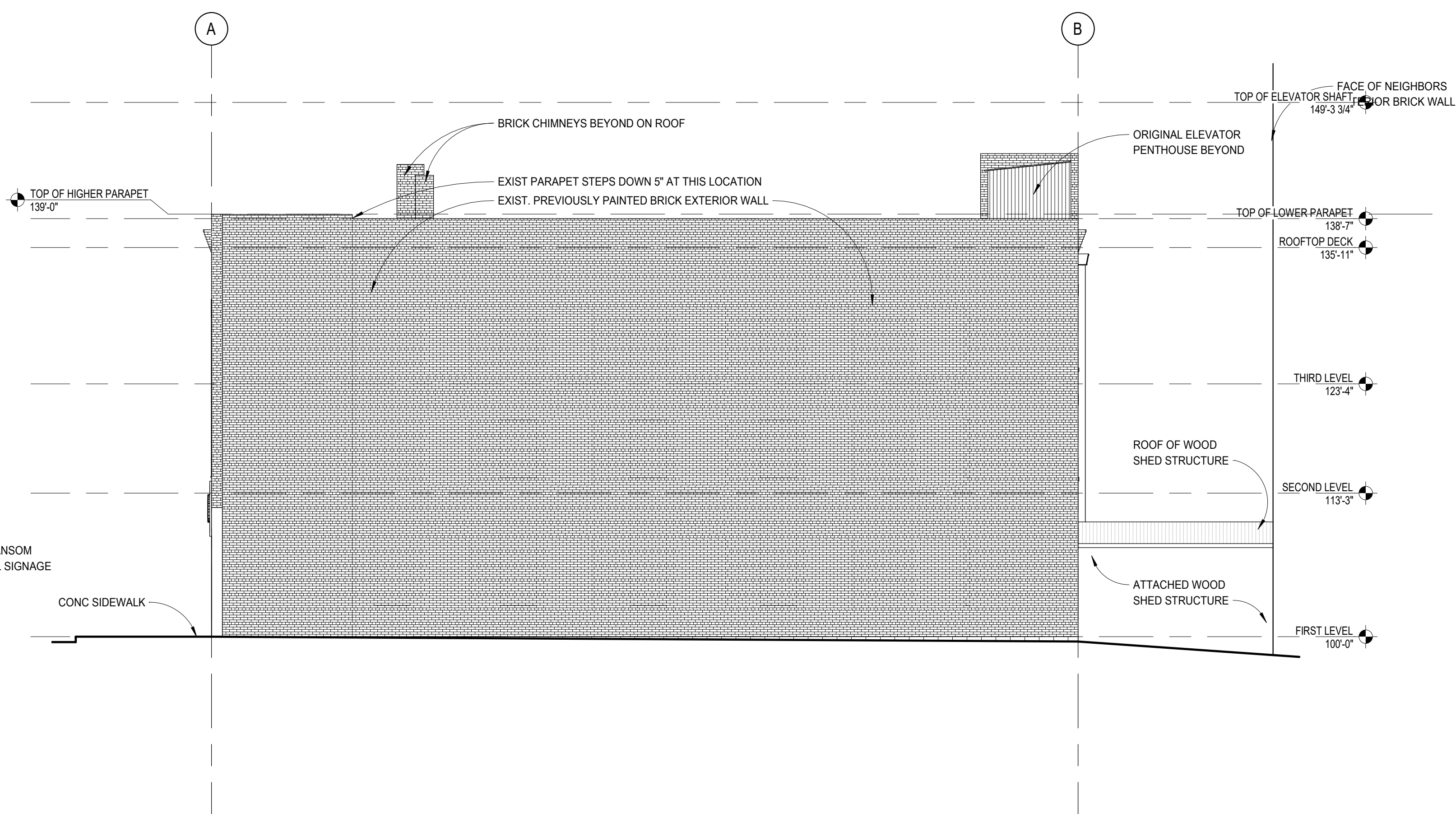
**A2.26**

PROJECT SCALE  
0" = 12'-0"  
1" = 12'-0"  
2" = 12'-0"  
3" = 12'-0"  
4" = 12'-0"  
5" = 12'-0"  
6" = 12'-0"  
7" = 12'-0"  
8" = 12'-0"  
9" = 12'-0"  
10" = 12'-0"  
11" = 12'-0"  
12" = 12'-0"  
13" = 12'-0"  
14" = 12'-0"  
15" = 12'-0"  
16" = 12'-0"  
17" = 12'-0"  
18" = 12'-0"  
19" = 12'-0"  
20" = 12'-0"

NOT FOR CONSTRUCTION

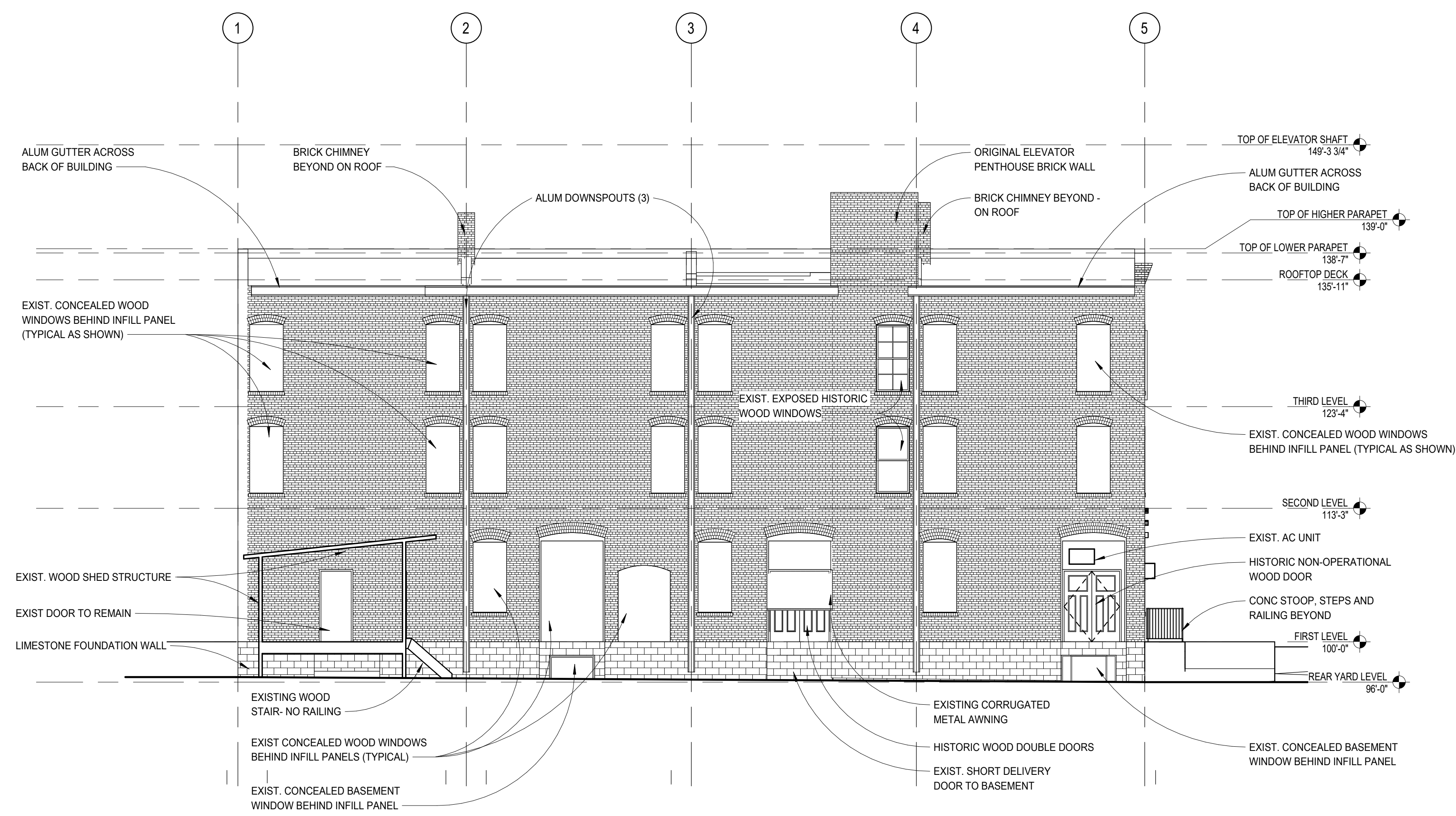


**4** EXISTING CONDITIONS NORTH EXTERIOR FRONT ELEVATION  
A3.0 1/8" = 1'-0"

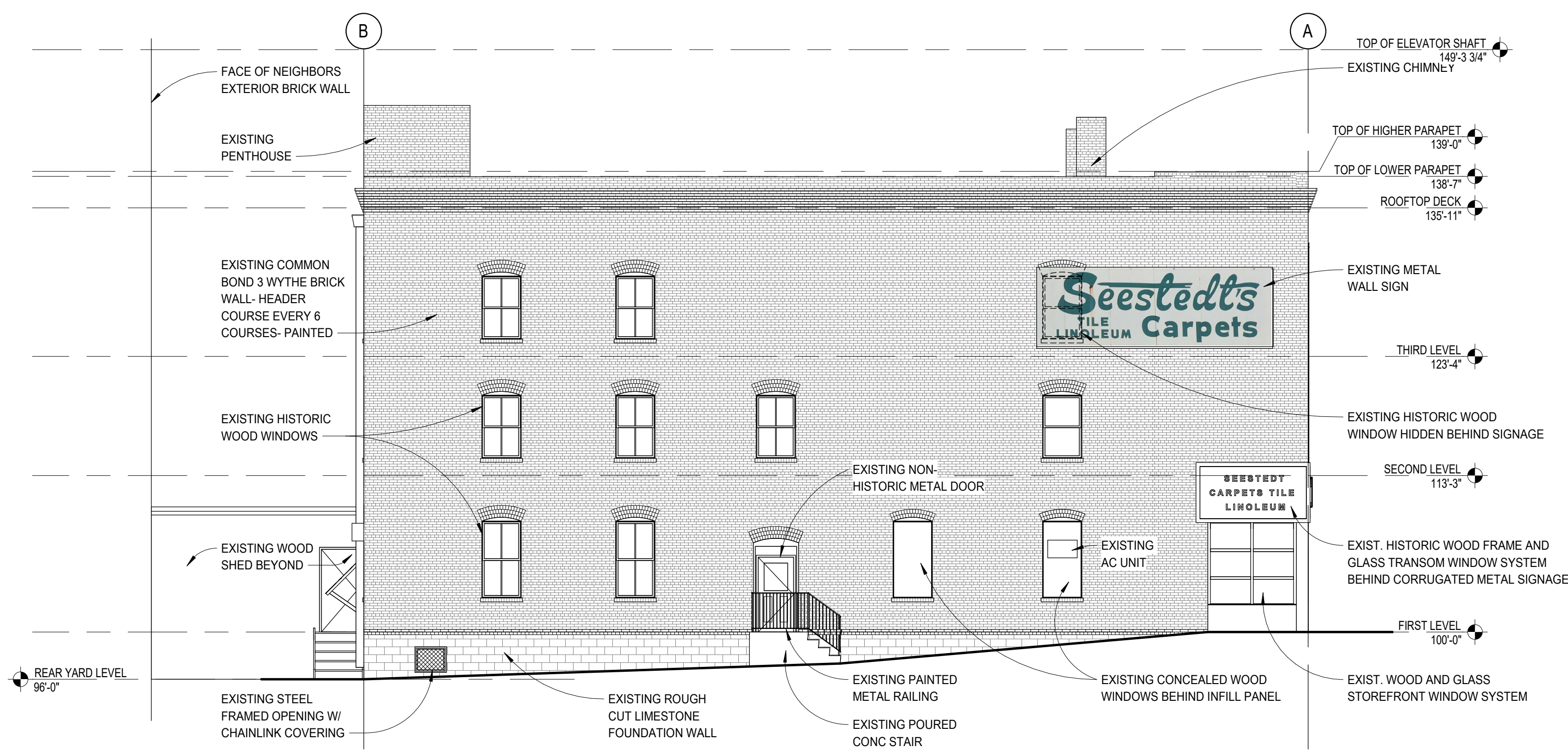


**3** EXISTING CONDITIONS WEST EXTERIOR SIDE ELEVATION  
A3.0 1/8" = 1'-0"

NOTE:  
SEE SHEET A6.1 AND A6.2 FOR EXIST CONDITIONS WINDOW HEAD, JAMB, AND SILL DETAILS



**2** EXISTING CONDITIONS SOUTH EXTERIOR REAR ELEVATION  
A3.0 1/8" = 1'-0"



**1** EXISTING CONDITIONS EAST EXTERIOR SIDE ELEVATION  
A3.0 1/8" = 1'-0"

**EXISTING  
CONDITIONS  
EXTERIOR  
ELEVATIONS**

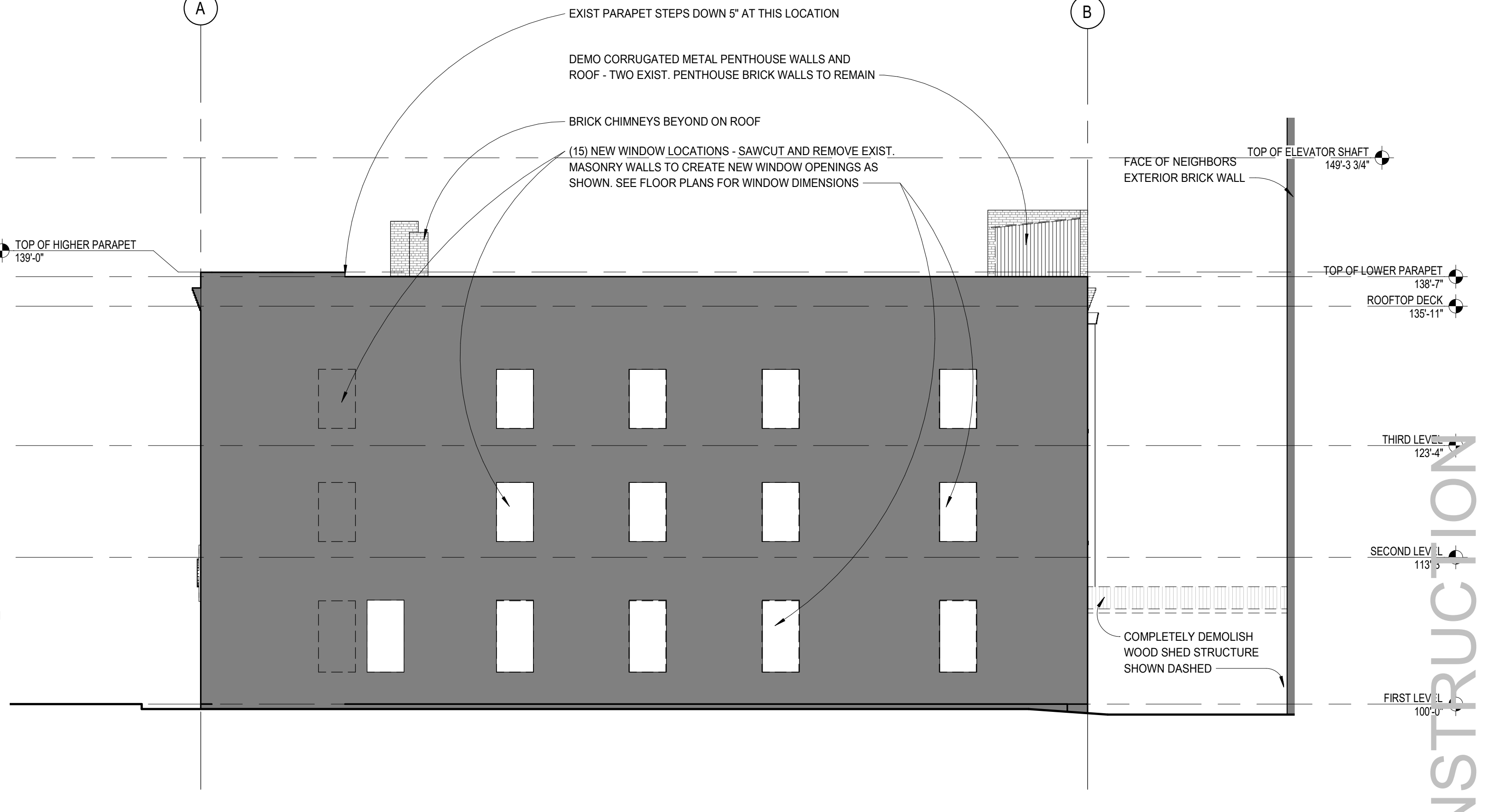
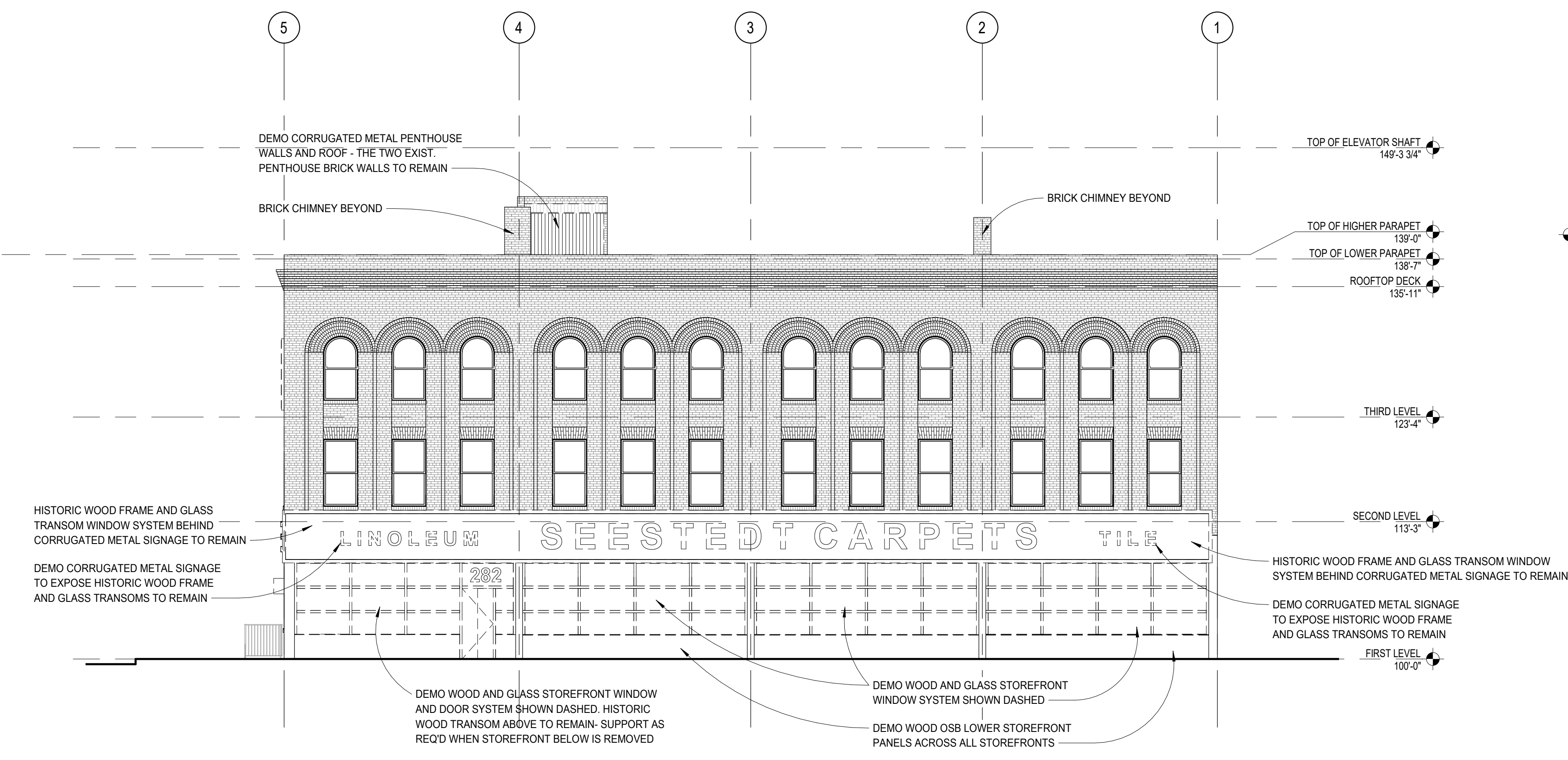
Revisions:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
 Drawn by: Author  
 Checked by: Checker

SHEET

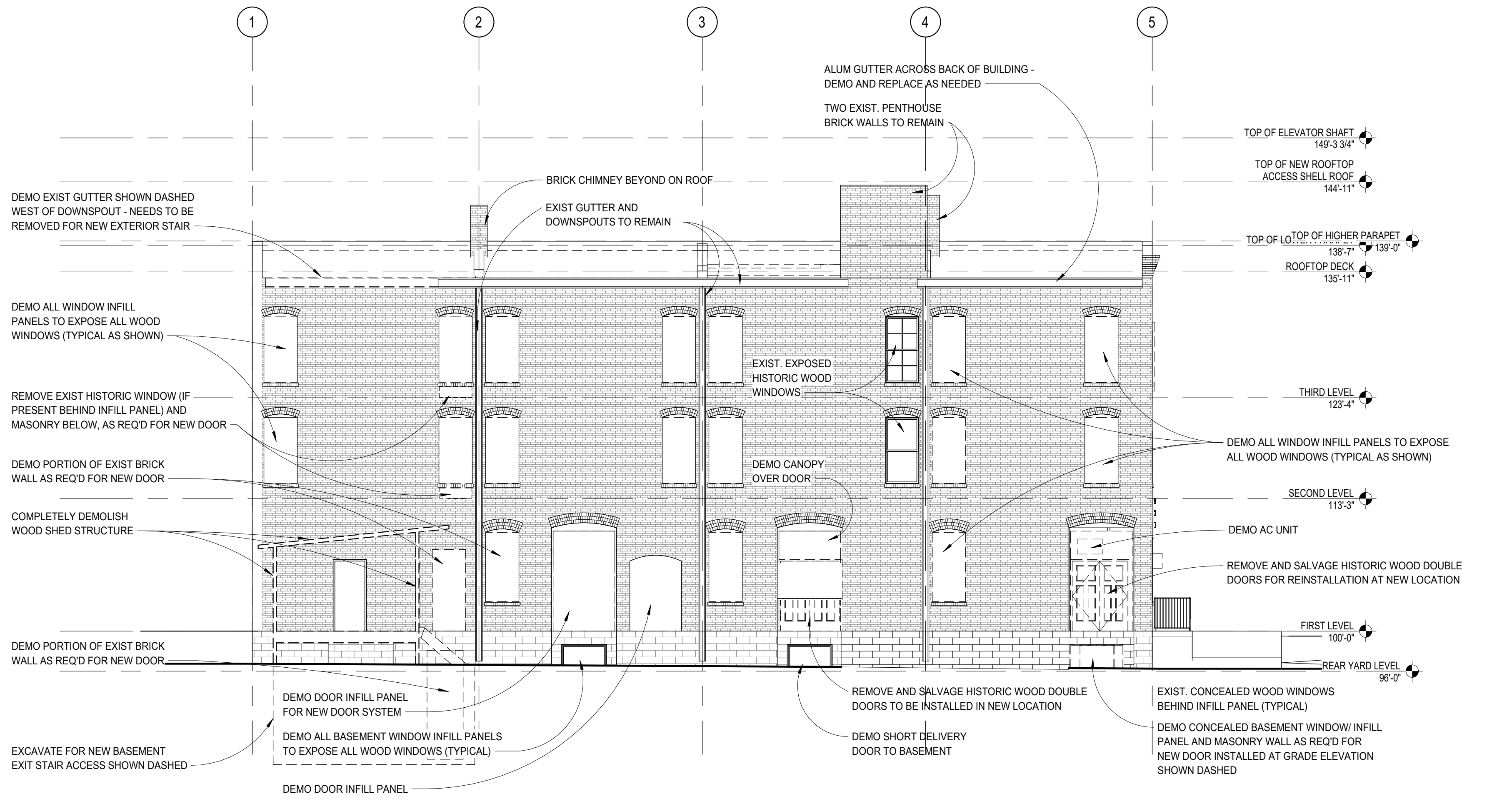
**A3.0**



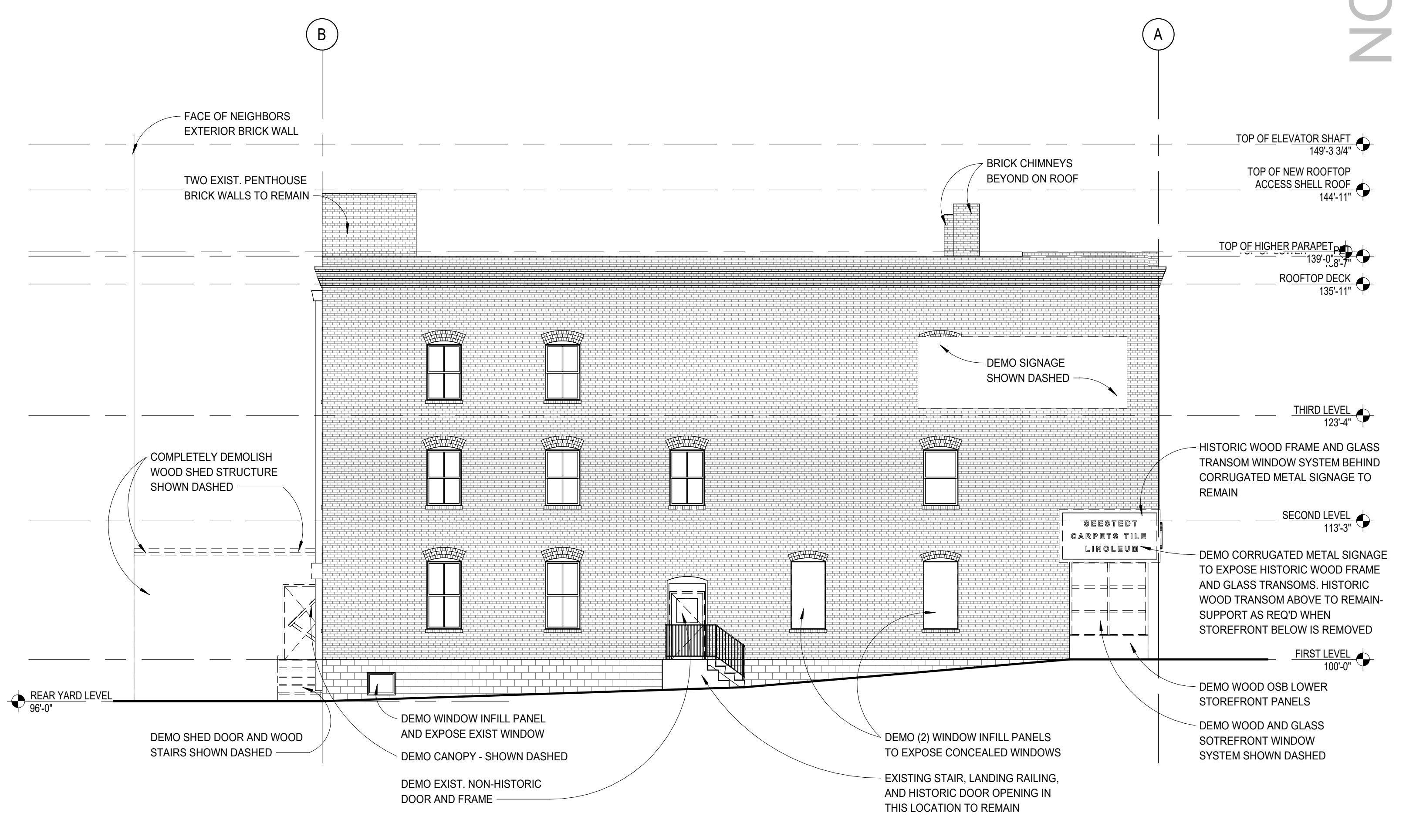
**4** DEMOLITION NORTH EXTERIOR FRONT ELEVATION  
A3.1 1/8" = 1'-0"

**3** DEMOLITION WEST EXTERIOR SIDE ELEVATION  
A3.1 1/8" = 1'-0"

NOTE:  
SEE SHEET A6.1 AND A6.2 FOR EXIST AND NEW PROPOSED HEAD, JAMB, AND SILL MODIFICATIONS DETAILS.



**2** DEMOLITION SOUTH EXTERIOR REAR ELEVATION  
A3.1 1/8" = 1'-0"



**1** DEMOLITION EAST EXTERIOR SIDE ELEVATION  
A3.1 1/8" = 1'-0"

NOT FOR CONSTRUCTION

**DEMOLITION EXTERIOR ELEVATIONS**

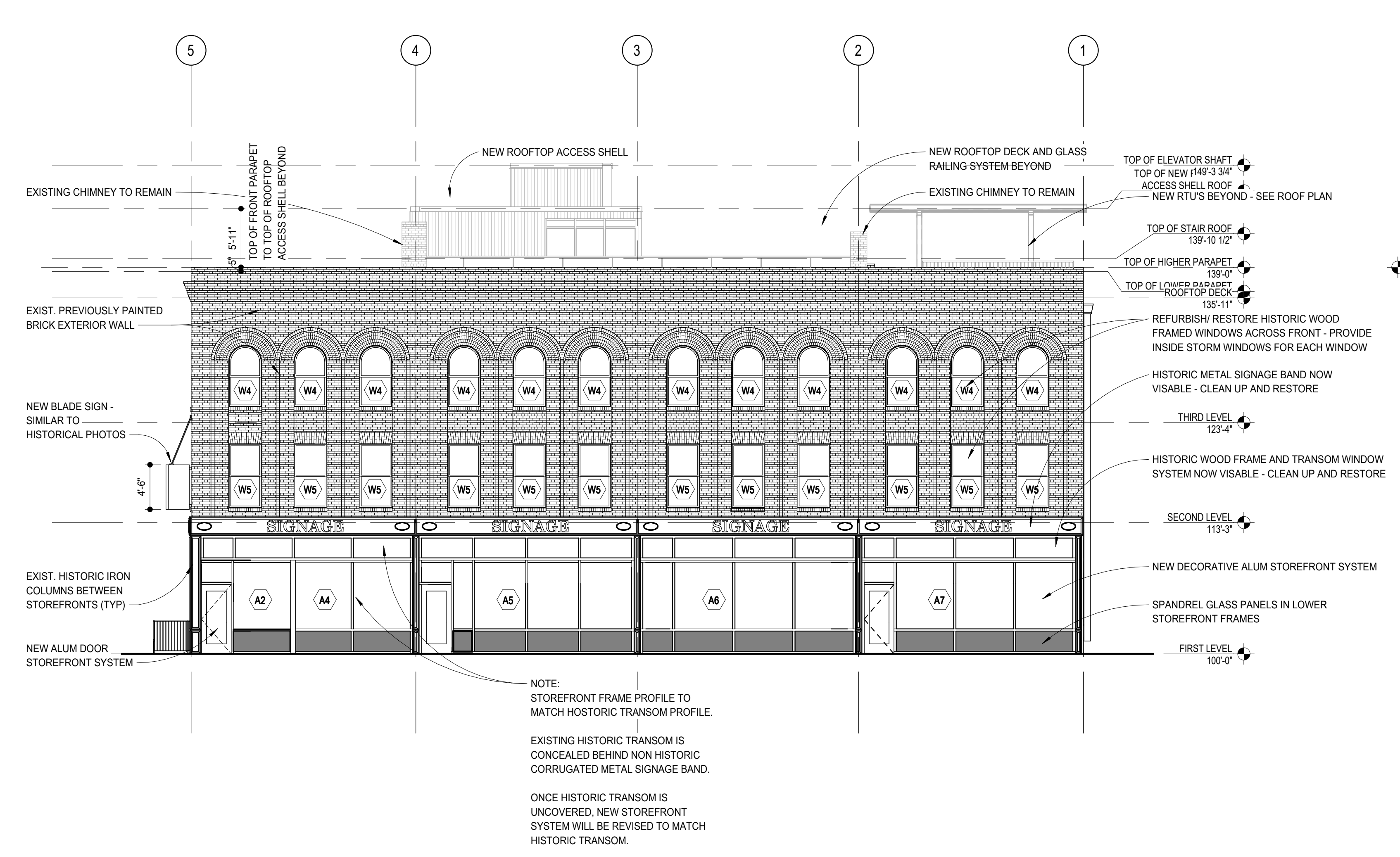
Revised Schedule:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

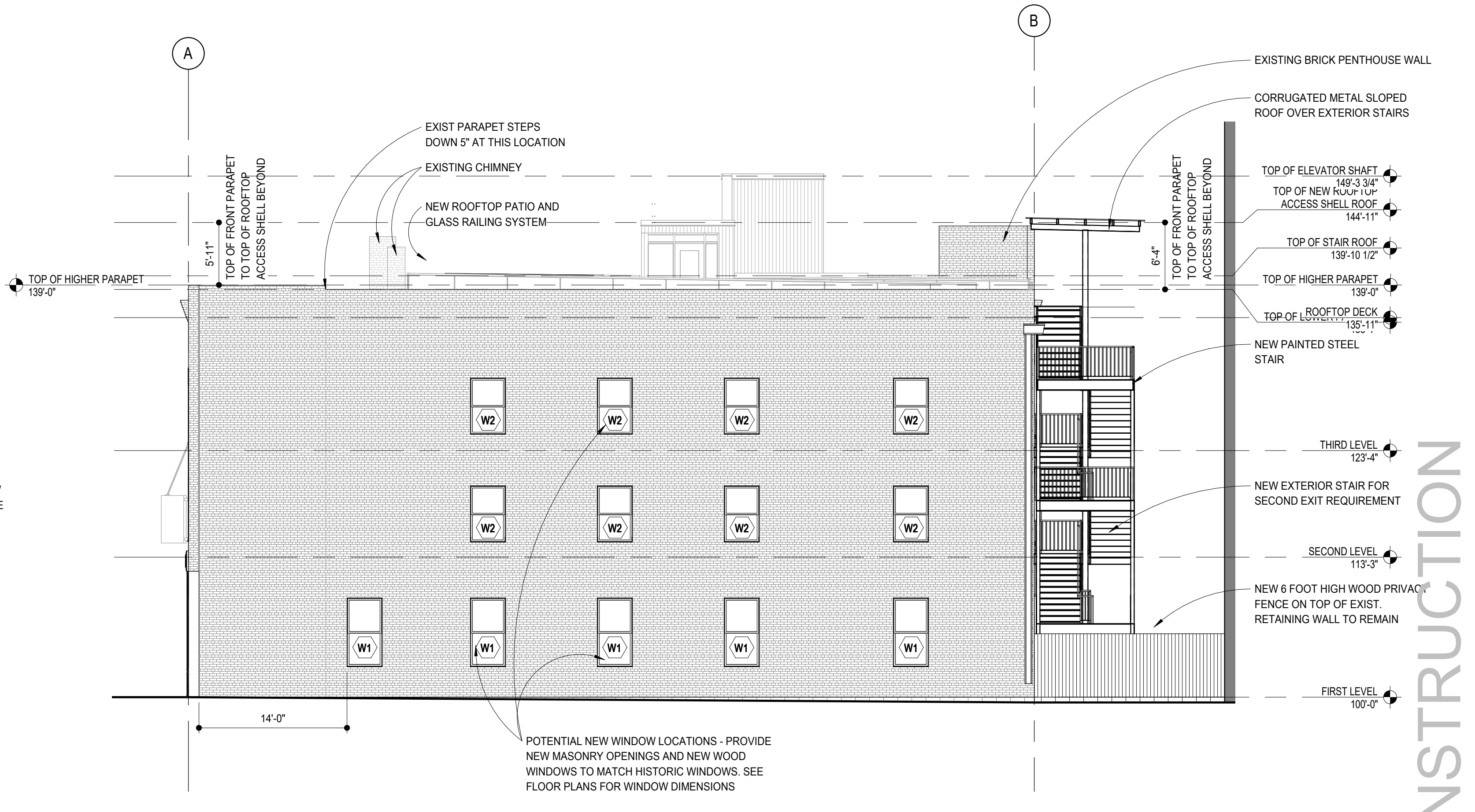
Commission No.	55678-17047
Drawn by	BT
Checked by	DTP

SHEET

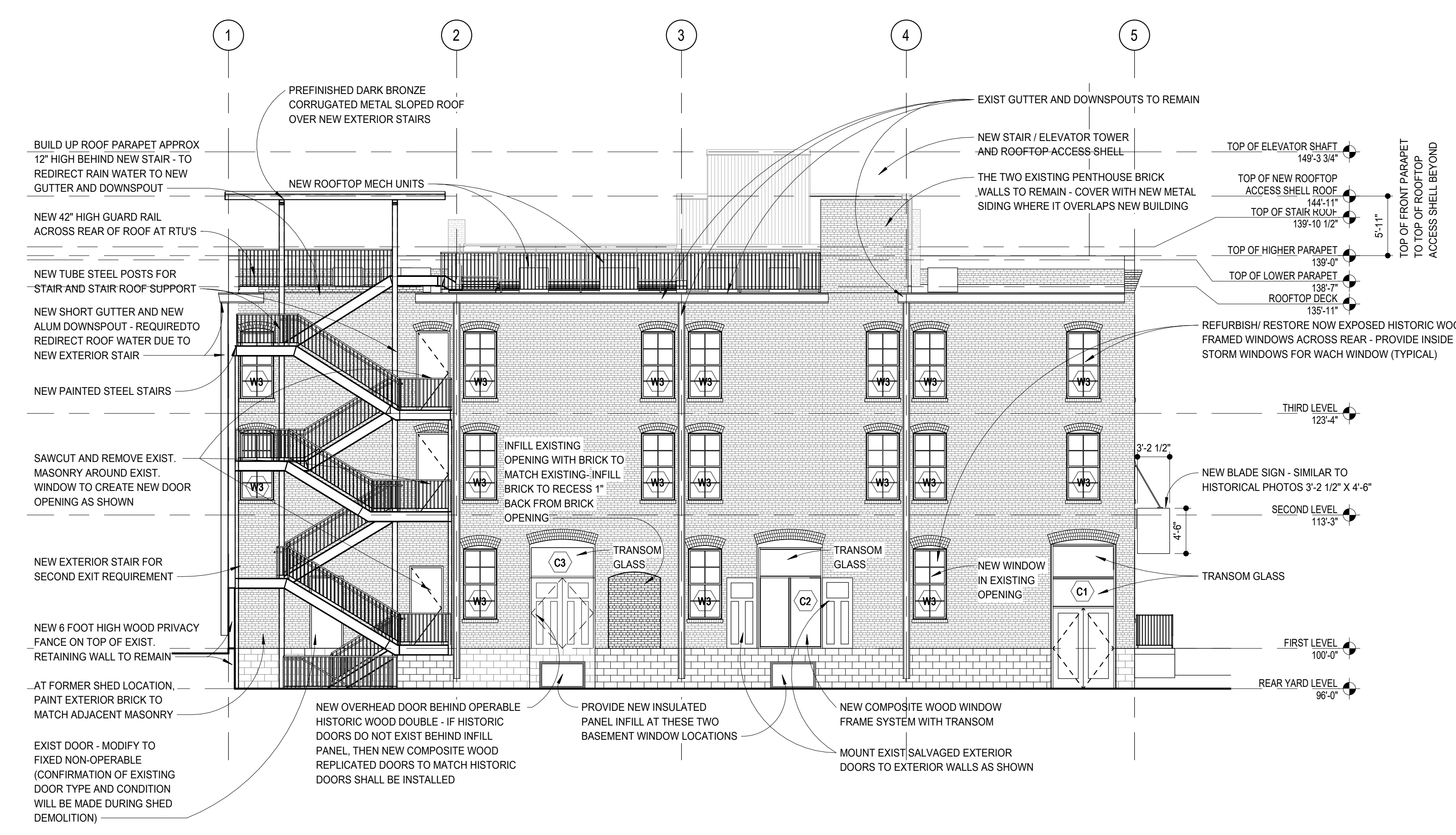
NOT FOR CONSTRUCTION



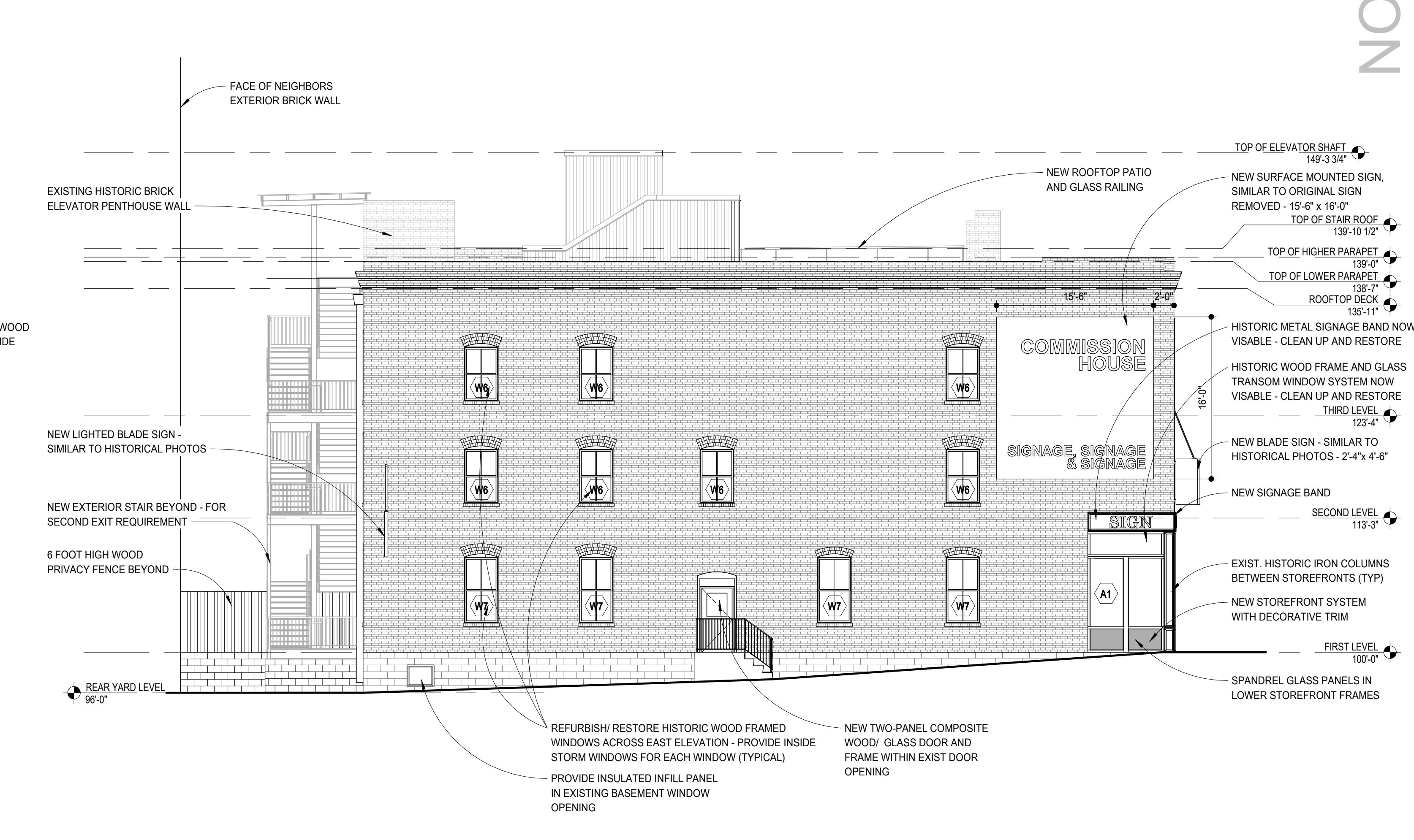
**4 PROPOSED NORTH BUILDING ELEVATION**  
A3.2 1/8" = 1'-0"



**3 PROPOSED WEST EXTERIOR SIDE ELEVATION**  
A3.2 1/8" = 1'-0"



**2 PROPOSED SOUTH BUILDING ELEVATION**  
A3.2 1/8" = 1'-0"



**1 PROPOSED EAST EXTERIOR SIDE ELEVATION**  
A3.2 1/8" = 1'-0"

**PROPOSED EXTERIOR ELEVATIONS**

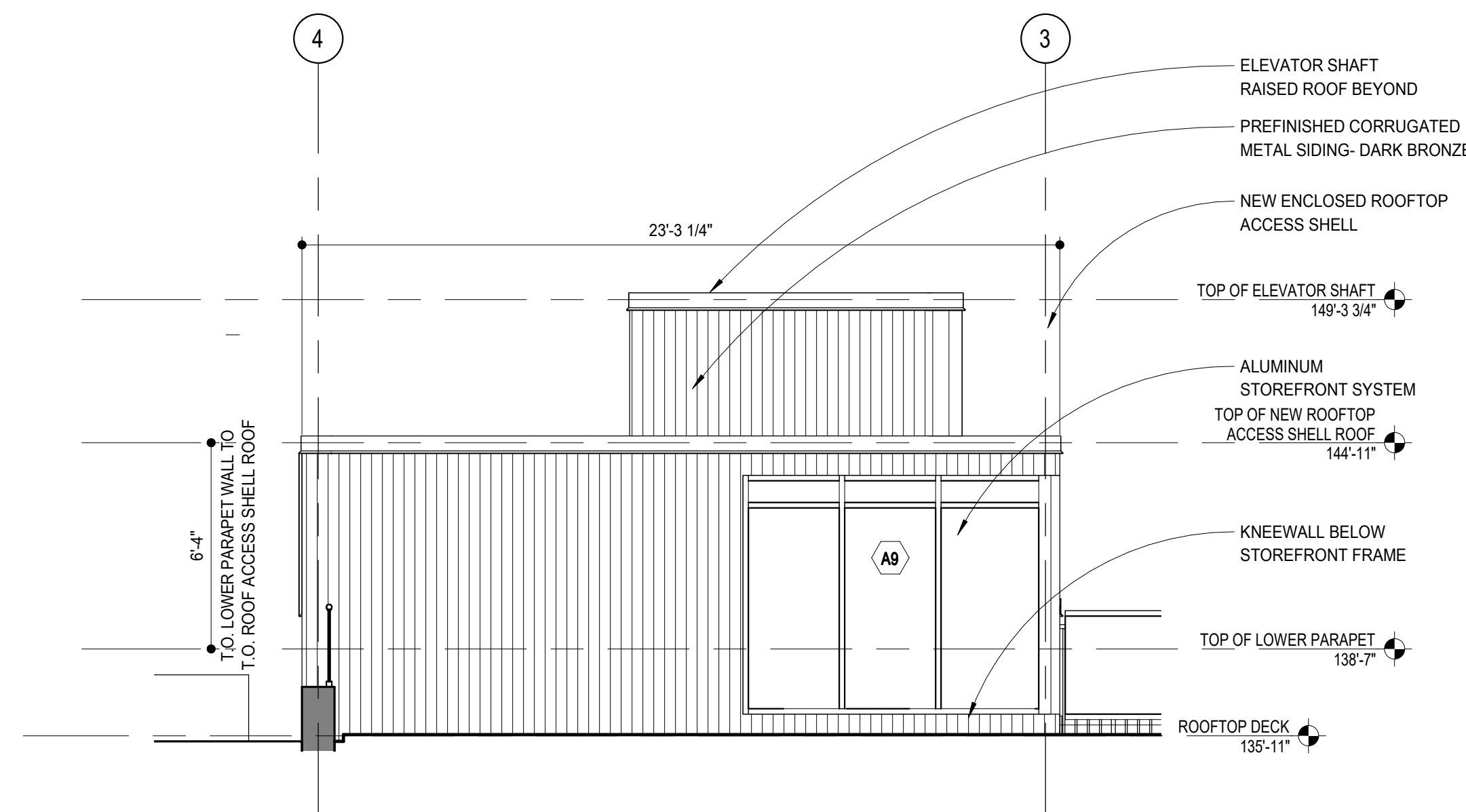
Revision Log:

50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

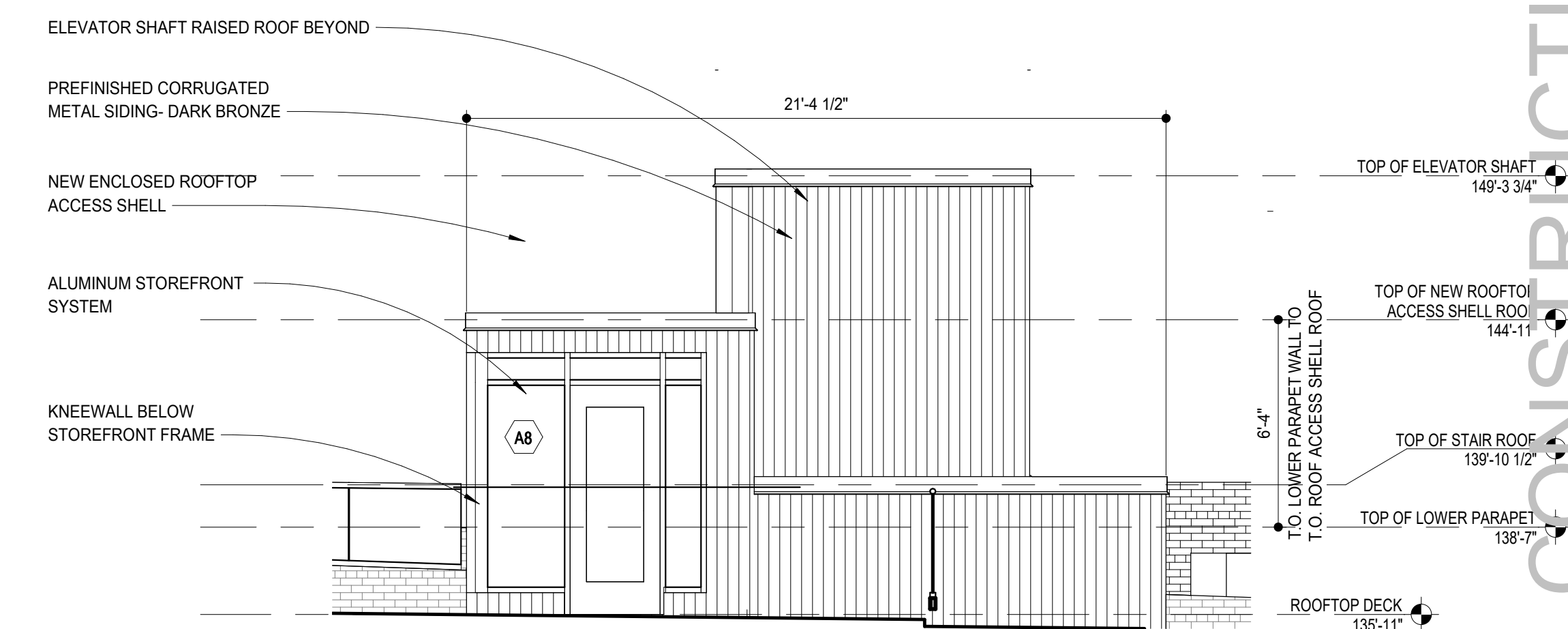
Commission No.	55678-17047
Drawn by	LL
Checked by	DTP

SHEET

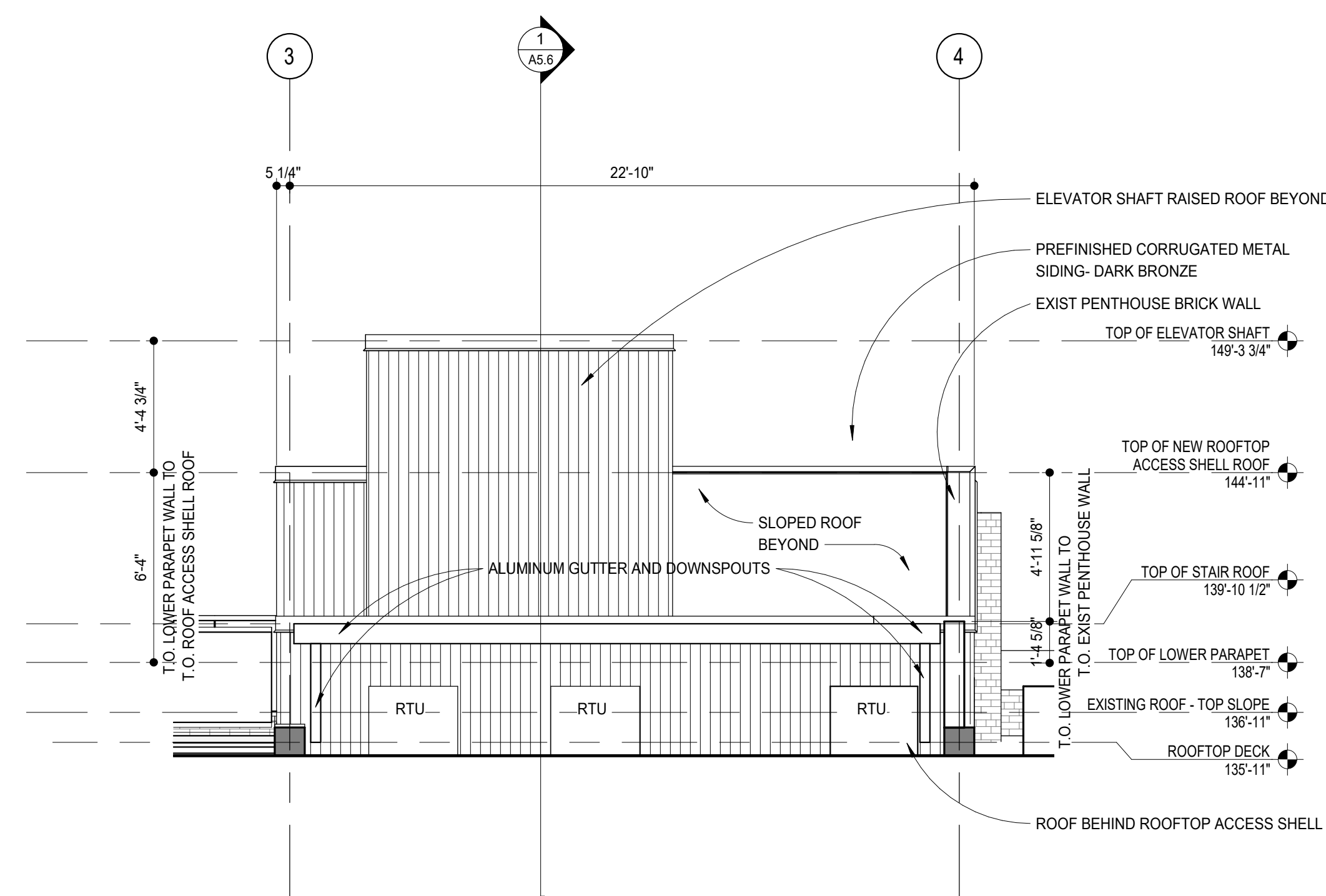
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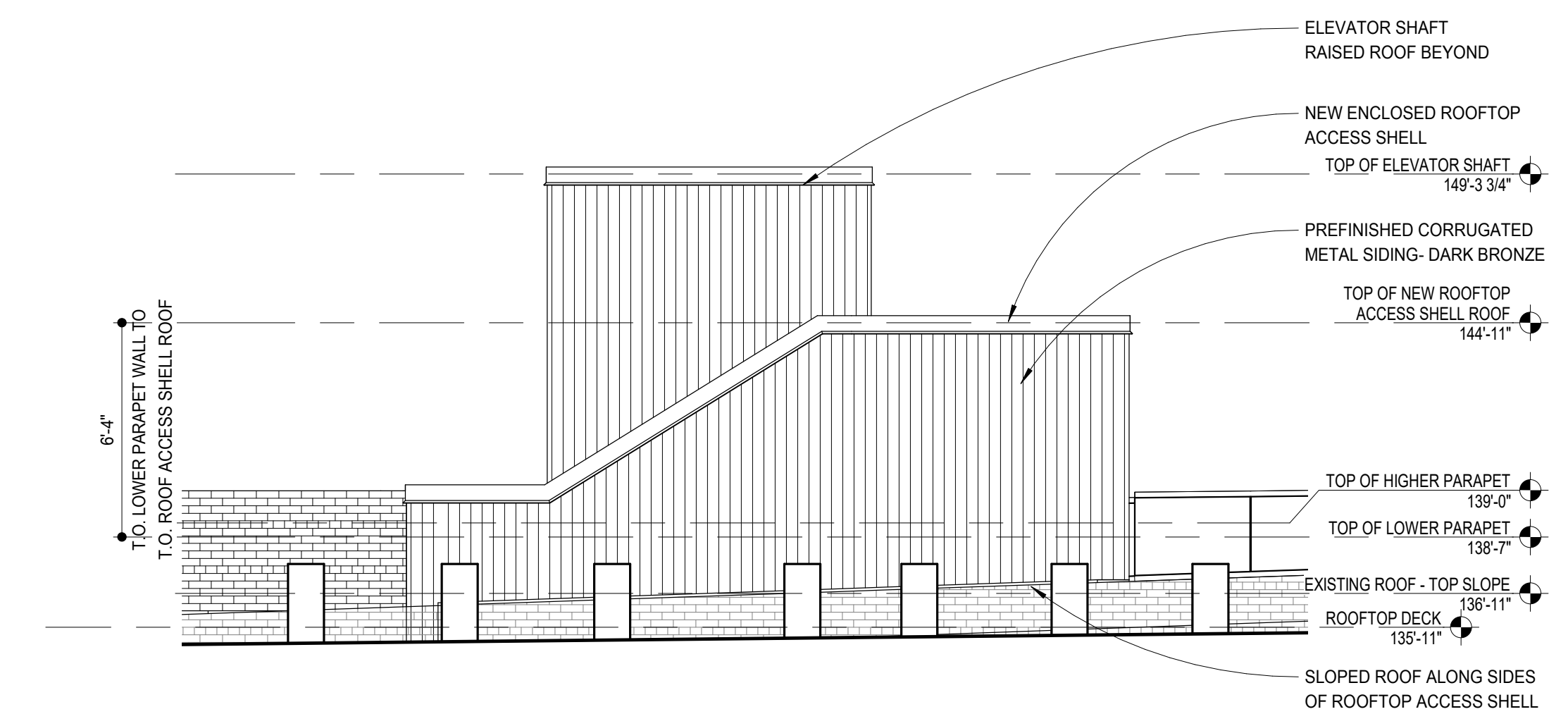
**4** ROOFTOP ACCESS SHELL NORTH FRONT ELEVATION  
A3.3 1/4" = 1'-0"



**3** ROOFTOP ACCESS SHELL WEST SIDE ELEVATION  
A3.3 1/4" = 1'-0"



**2** ROOFTOP ACCESS SHELL SOUTH REAR ELEVATION  
A3.3 1/4" = 1'-0"



**1** ROOFTOP ACCESS SHELL EAST SIDE ELEVATION  
A3.3 1/4" = 1'-0"

ENLARGED ROOF  
ROOFTOP ACCESS  
SHELL EXTERIOR  
ELEVATIONS

Revised Systems:	
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	Author
Checked by	Checker

SHEET

**A3.3**

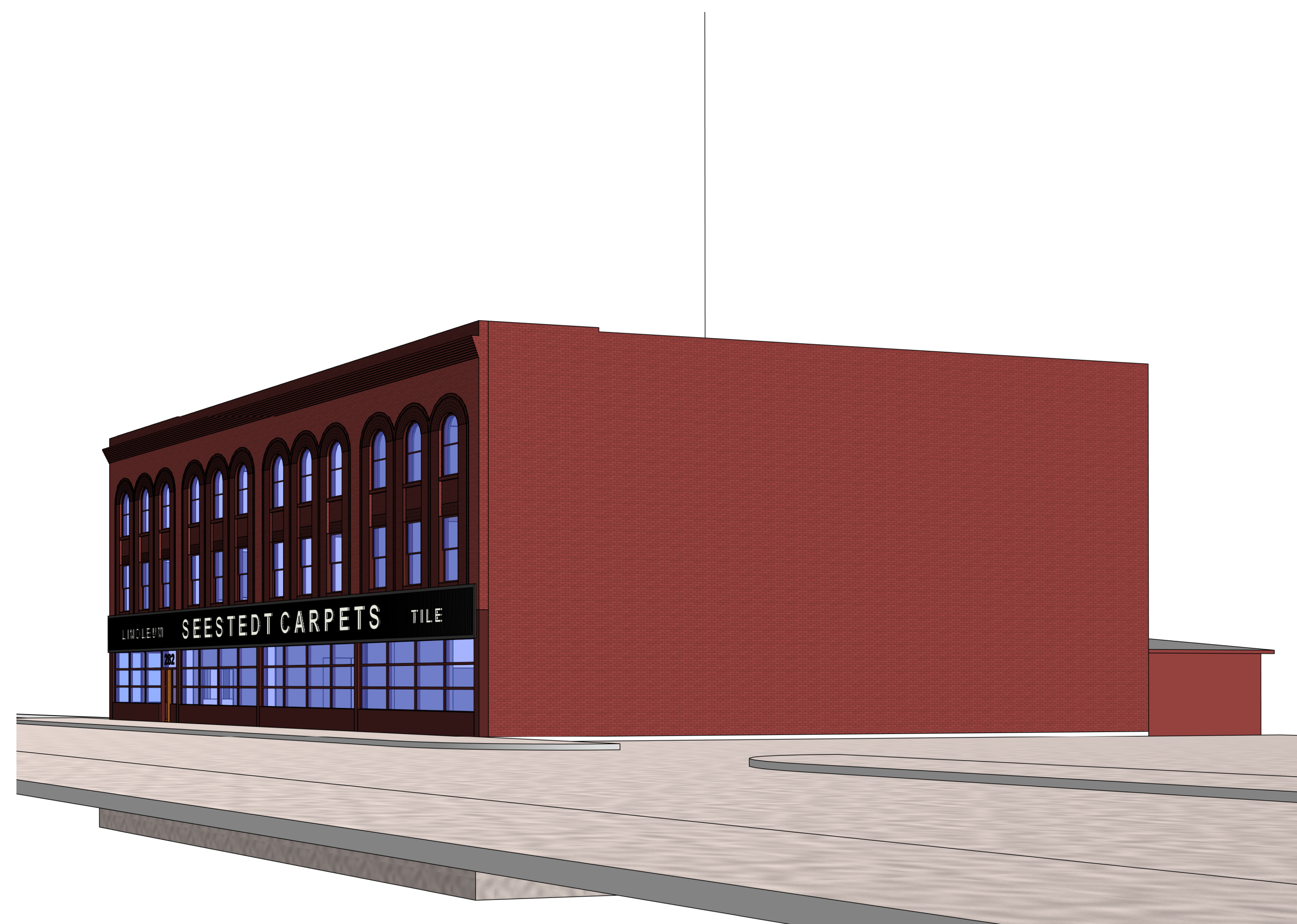
NOT FOR CONSTRUCTION



4  
A3.4 NORTHWEST PERSPECTIVE



3  
A3.4 NORTHEAST PERSPECTIVE



2  
A3.4 EXISTING NORTHWEST PERSPECTIVE



1  
A3.4 EXISTING NORTHEAST PERSPECTIVE

EXISTING AND  
PROPOSED  
EXTERIOR BUILDING  
PERSPECTIVES

Issue no.	Revision	Date
50% CD ISSUE		4-19-17
PVN REVISIONS		4-26-17
PART 2 AMEND. 1		11-30-17
HPC REVISIONS		2-2-18

Commission No.	55678-17047
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SHEET

A3.4



NOT FOR CONSTRUCTION

**OVERALL BUILDING  
FOOR PLAN &  
ROOFTOP ACCESS  
ROOF PLAN**

Issue and Revisions:  
HPC REVISIONS 2-2-18

Commission No: 55678-17047

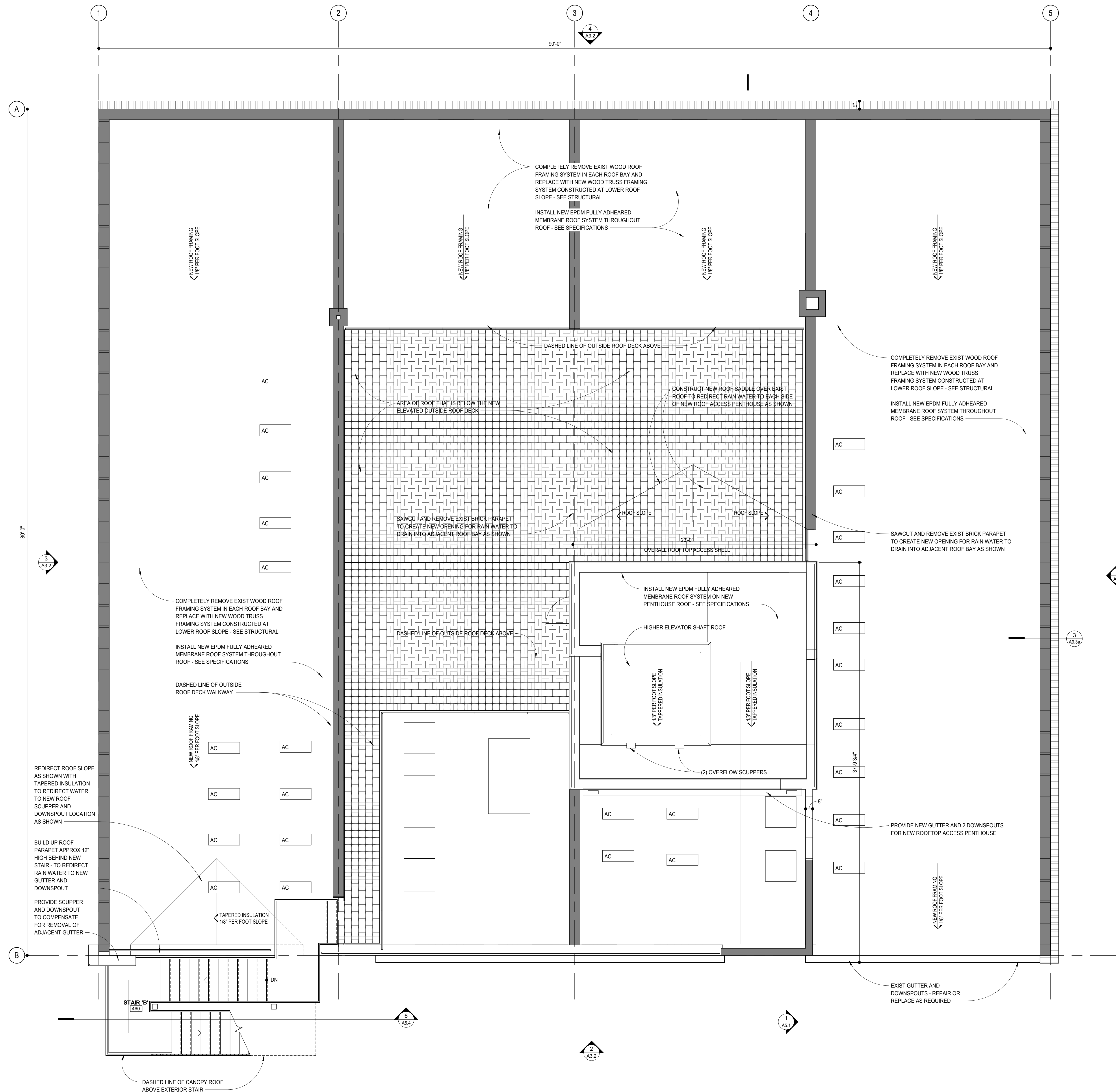
Drawn by: Author

Checked by: Checker

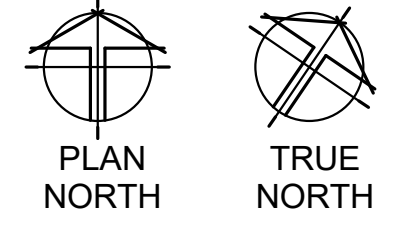
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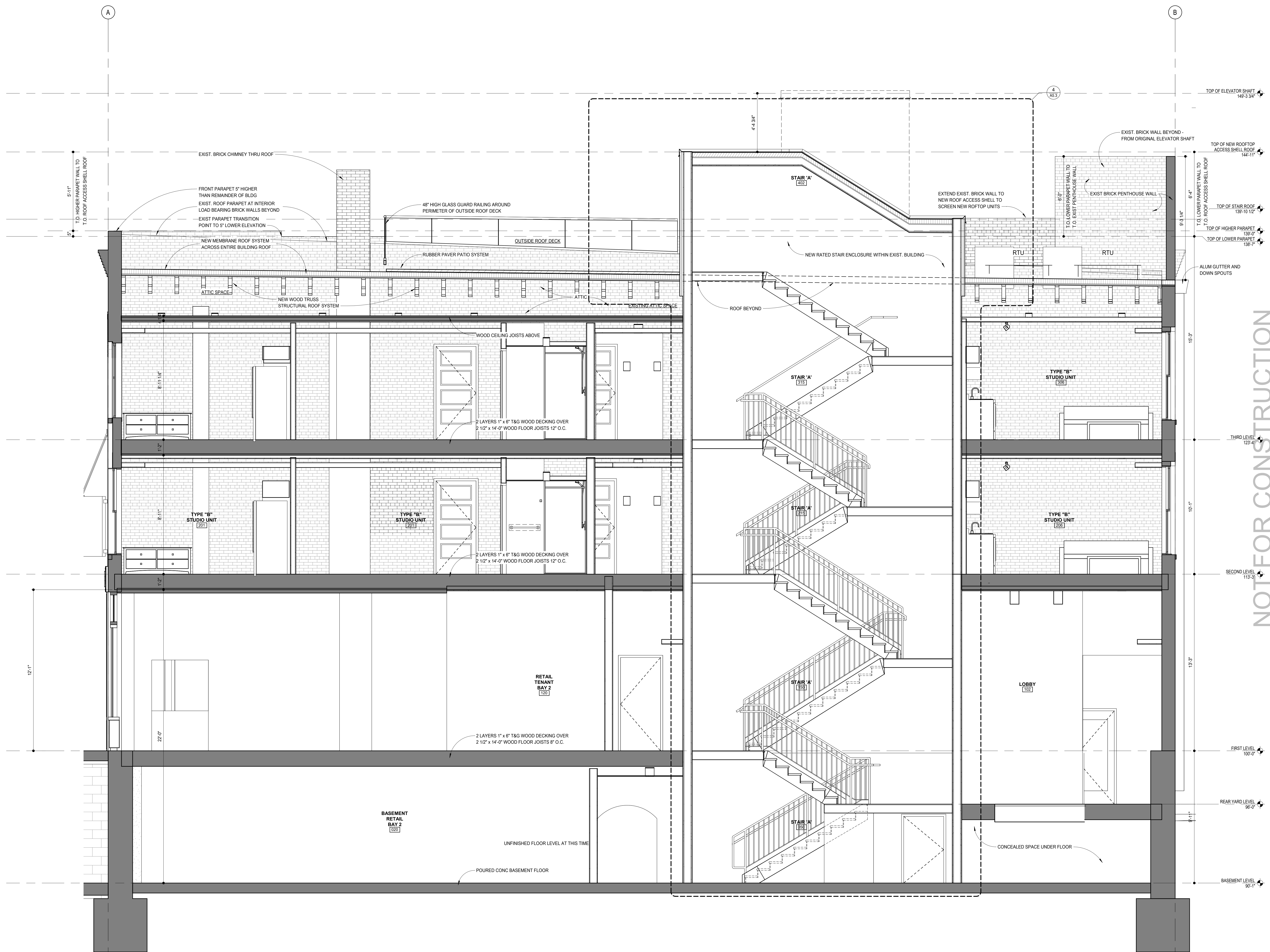
**A4.1**

1" = 1/4" SCALE  
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1  
A4.1 OVERALL BUILDING ROOF PLAN AND ROOFTOP ACCESS PENTHOUSE ROOF PLAN  
1/4" = 1'-0"





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**OVERALL PROPOSED  
BUILDING CROSS  
SECTION**

Revisions:

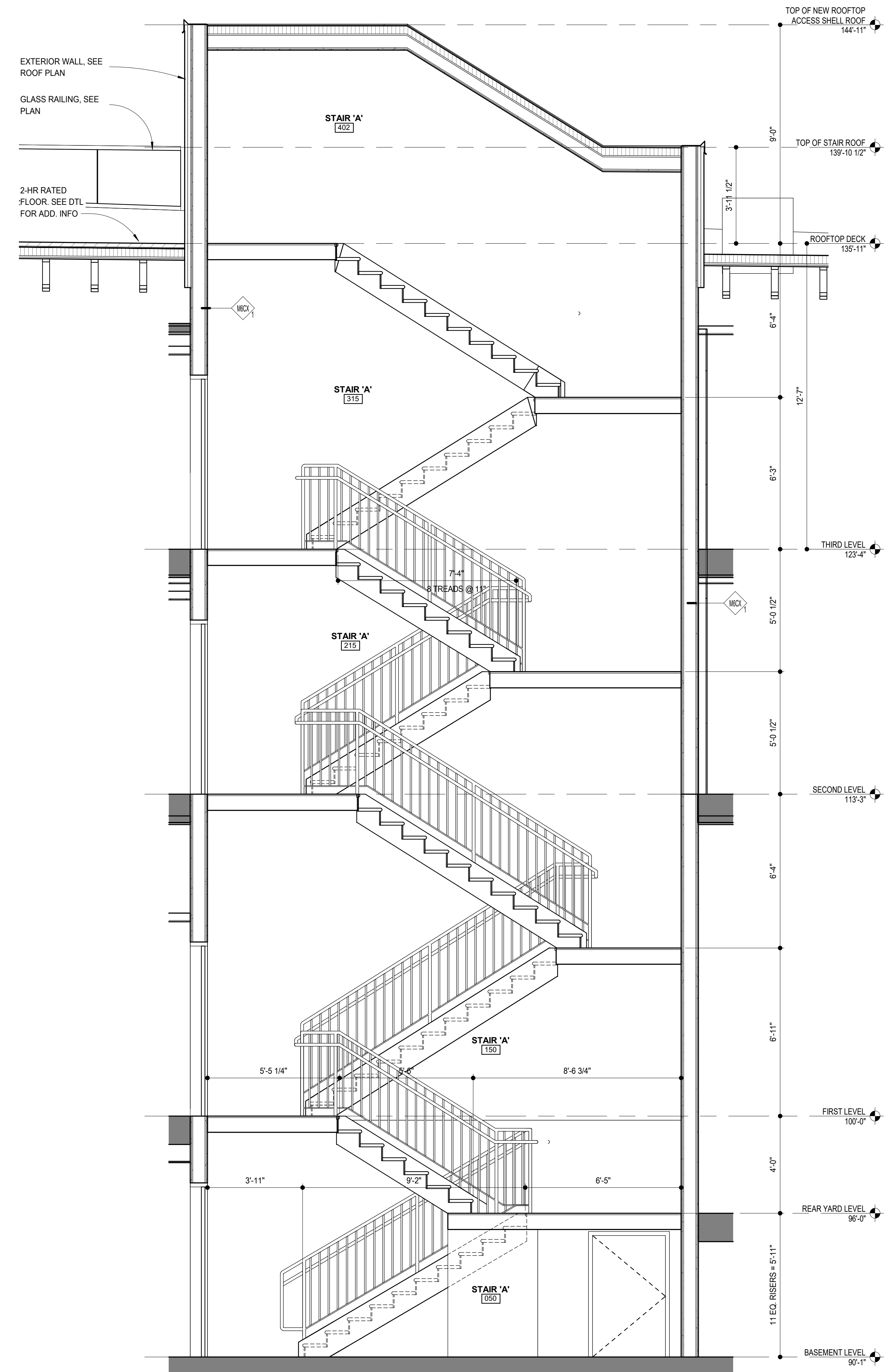
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: DD, LL  
Checked by: DTP

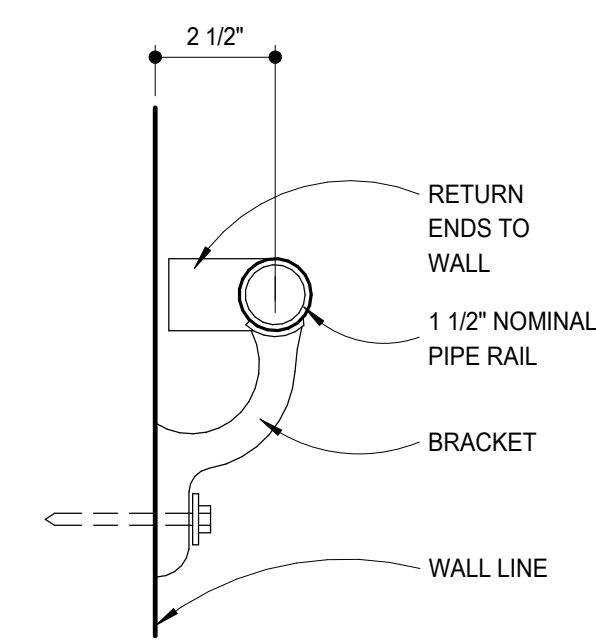
SHEET

**A5.1**

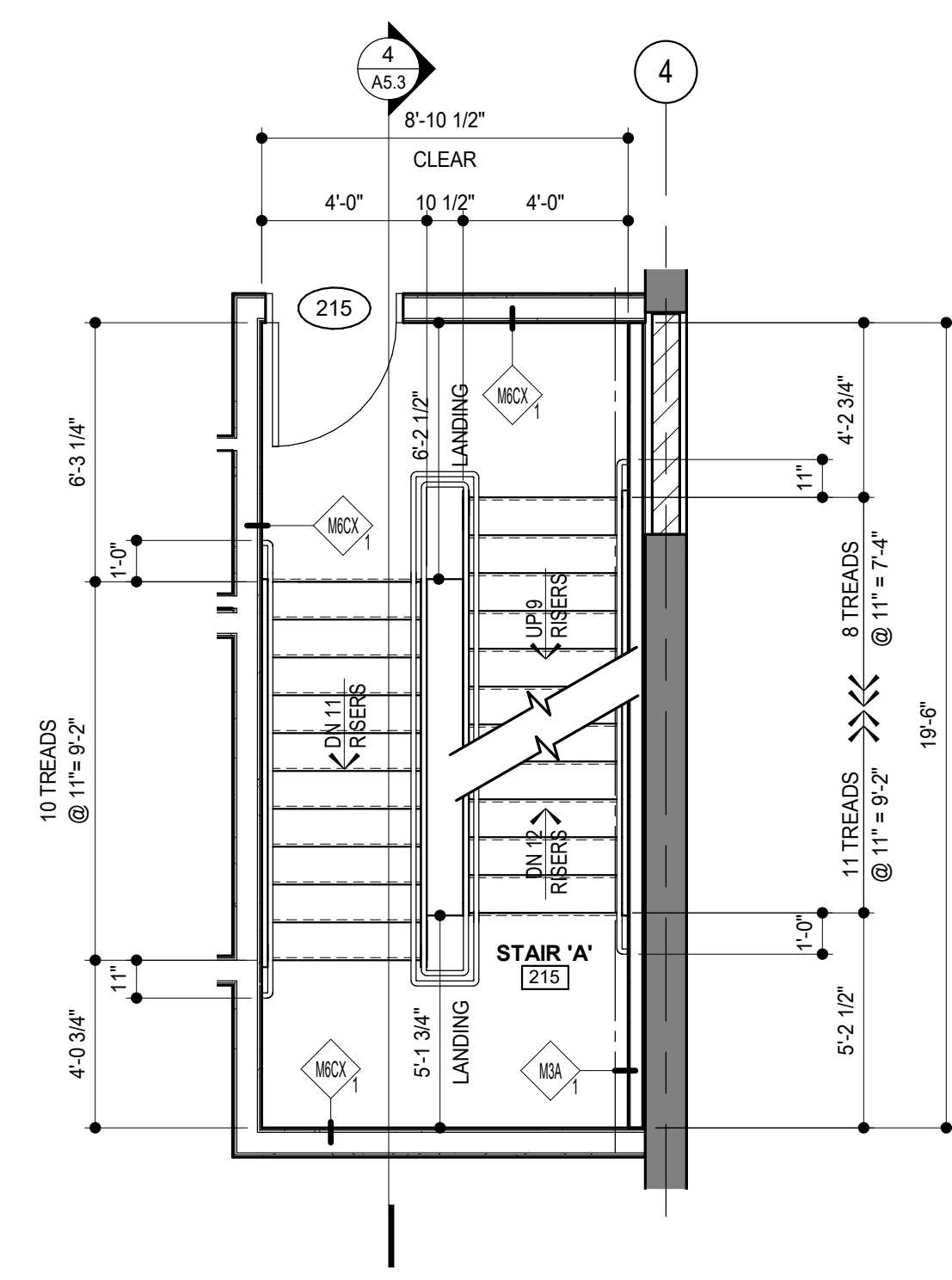
**1**  
A5.1 OVERALL BUILDING CROSS SECTION THROUGH PROPOSED INTERIOR STAIR "A"  
3/8" = 1'-0"



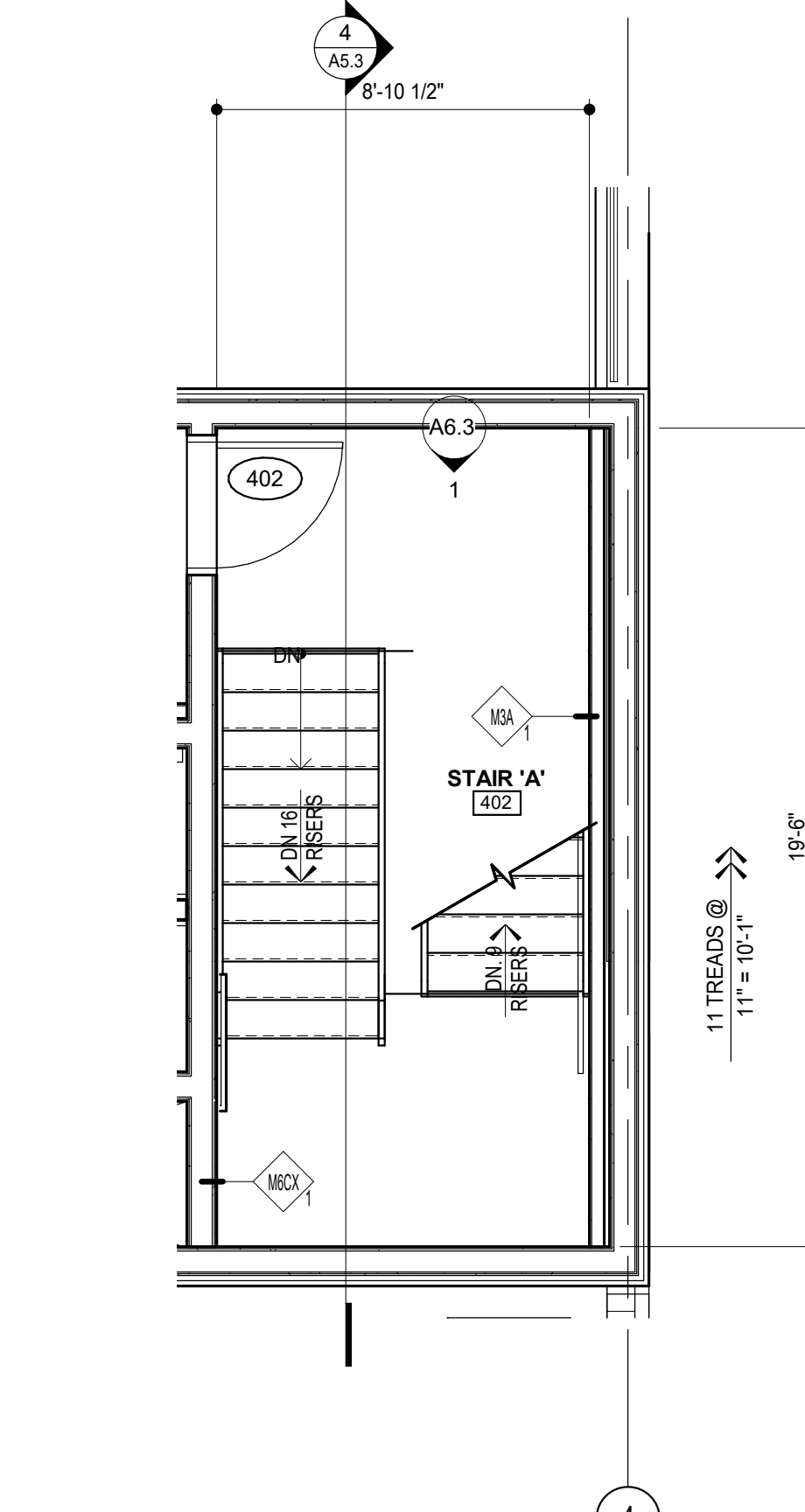
4 STAIR 'A' SECTION LOOKING EAST  
3/8" = 1'-0"



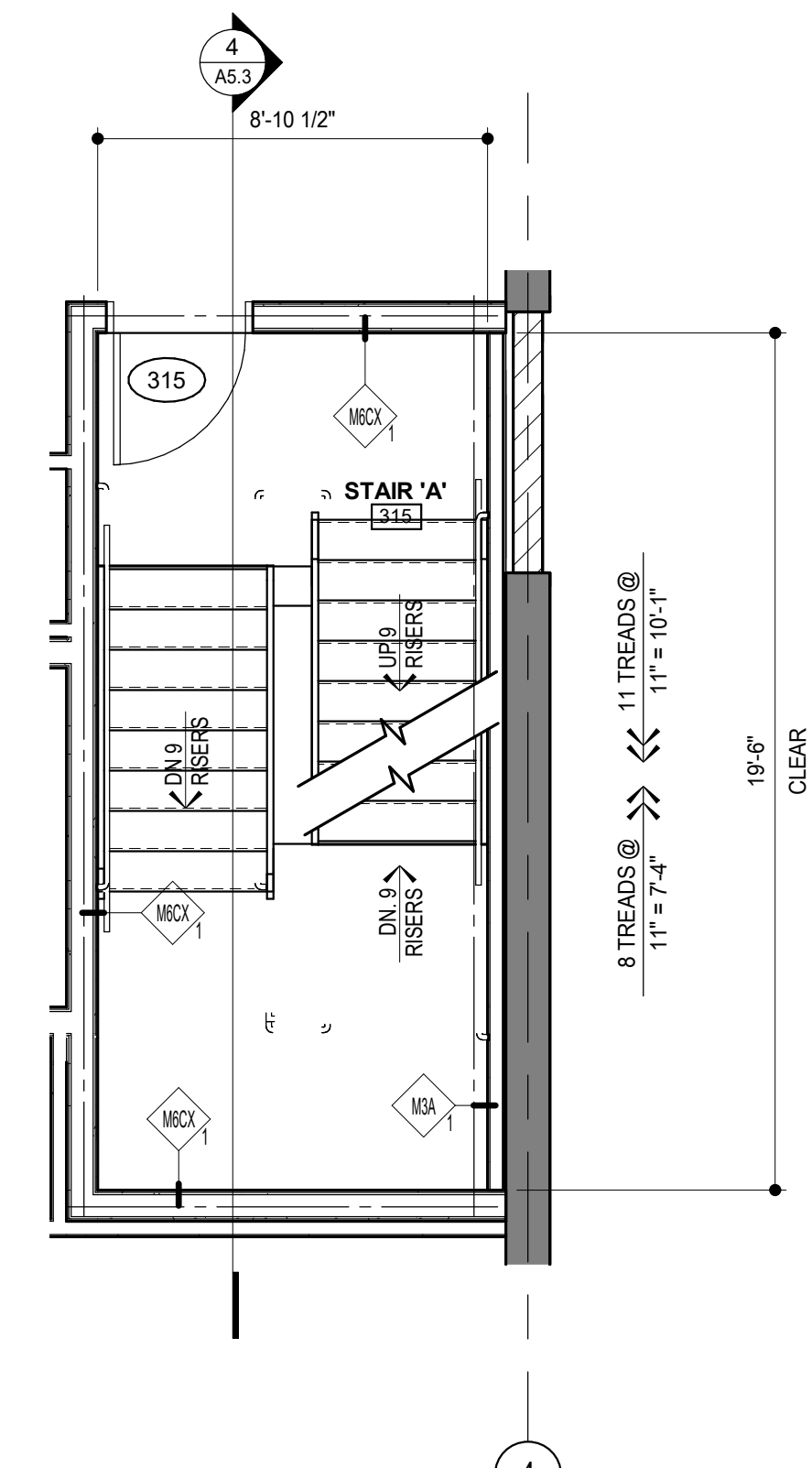
7 HANDRAIL - WALL MOUNTED  
3" = 1'-0"



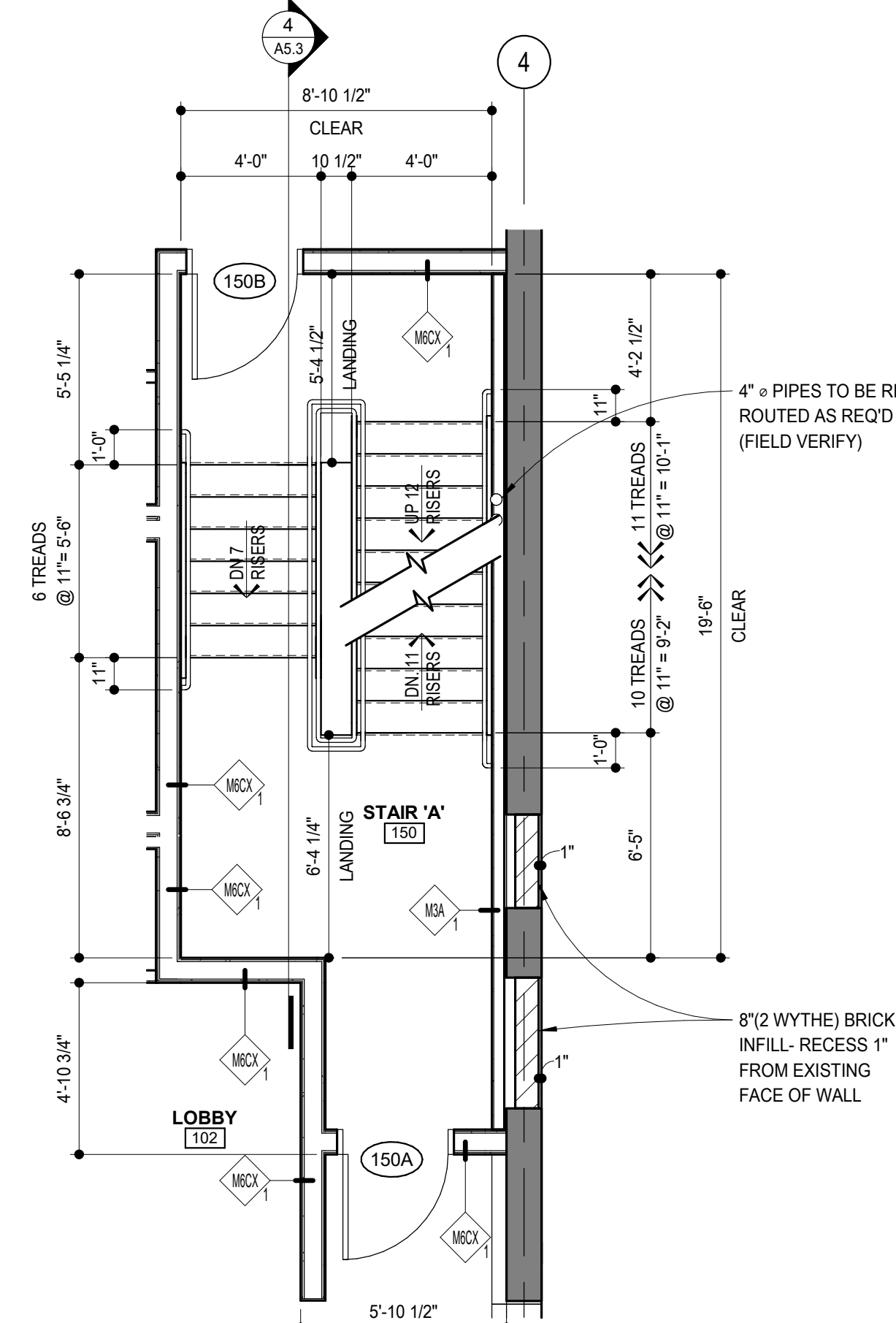
3 STAIR 'A' PLAN - SECOND LEVEL  
1/4" = 1'-0"



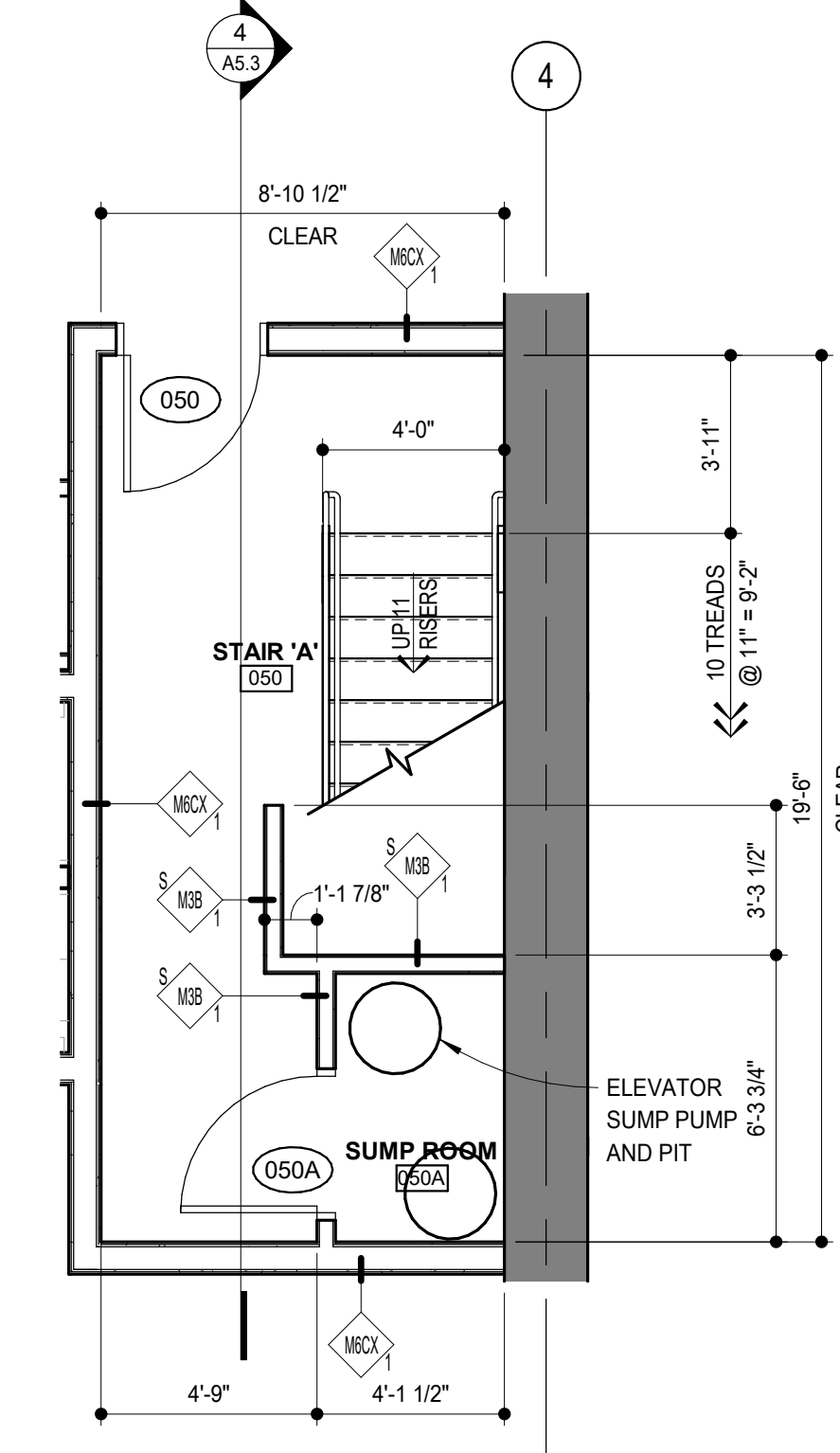
6 STAIR 'A' PLAN - ROOF LEVEL  
1/4" = 1'-0"



5 STAIR 'A' PLAN - THIRD LEVEL  
1/4" = 1'-0"



2 STAIR 'A' PLAN - FIRST LEVEL  
1/4" = 1'-0"



1 STAIR 'A' PLAN - BASEMENT LEVEL  
1/4" = 1'-0"

NOT FOR CONSTRUCTION

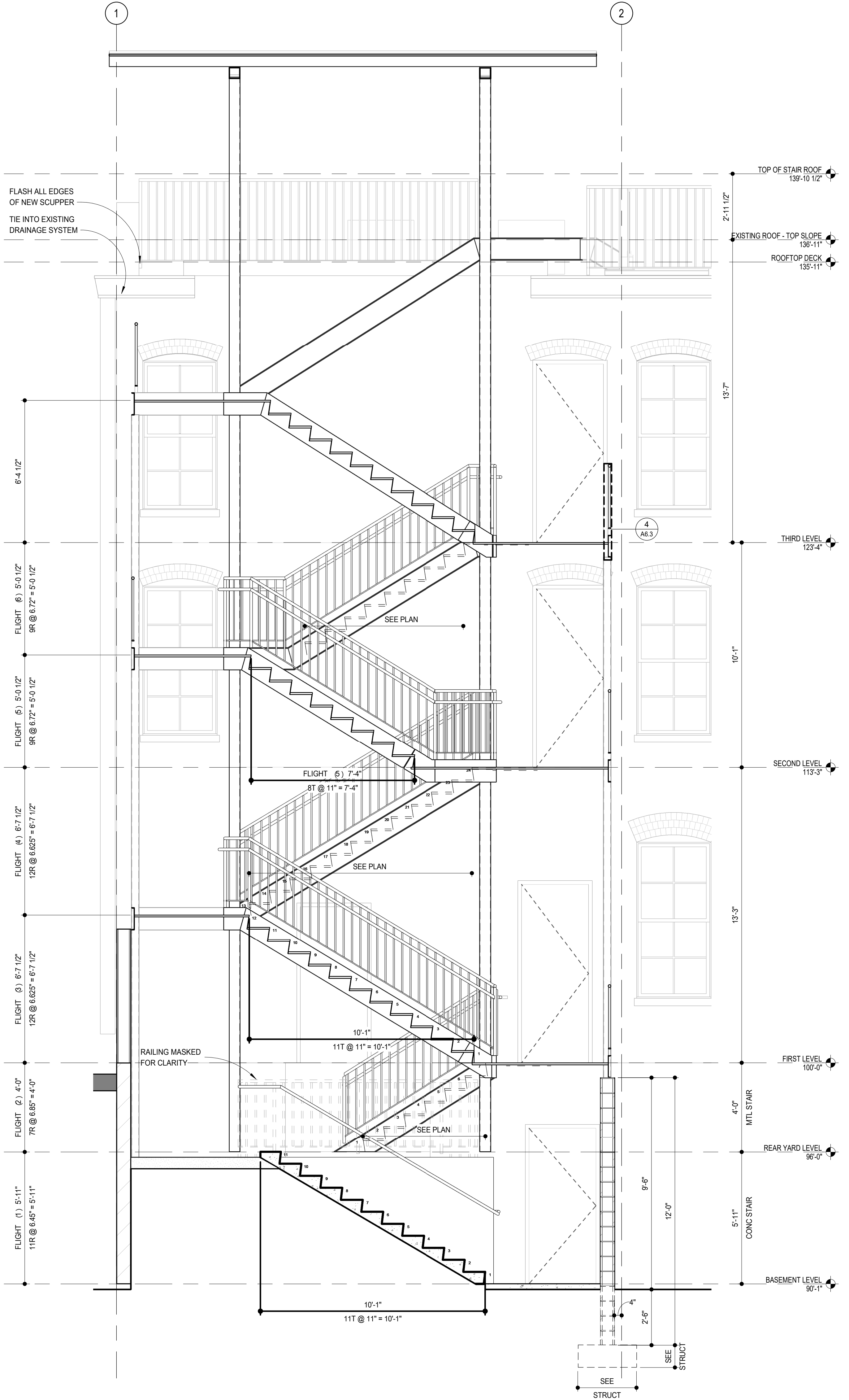
ENLARGED STAIR 'A'  
FLOOR PLANS &  
SECTIONS

Part 2 Amend. 1 11-30-17  
HPC REVISIONS 2-2-18

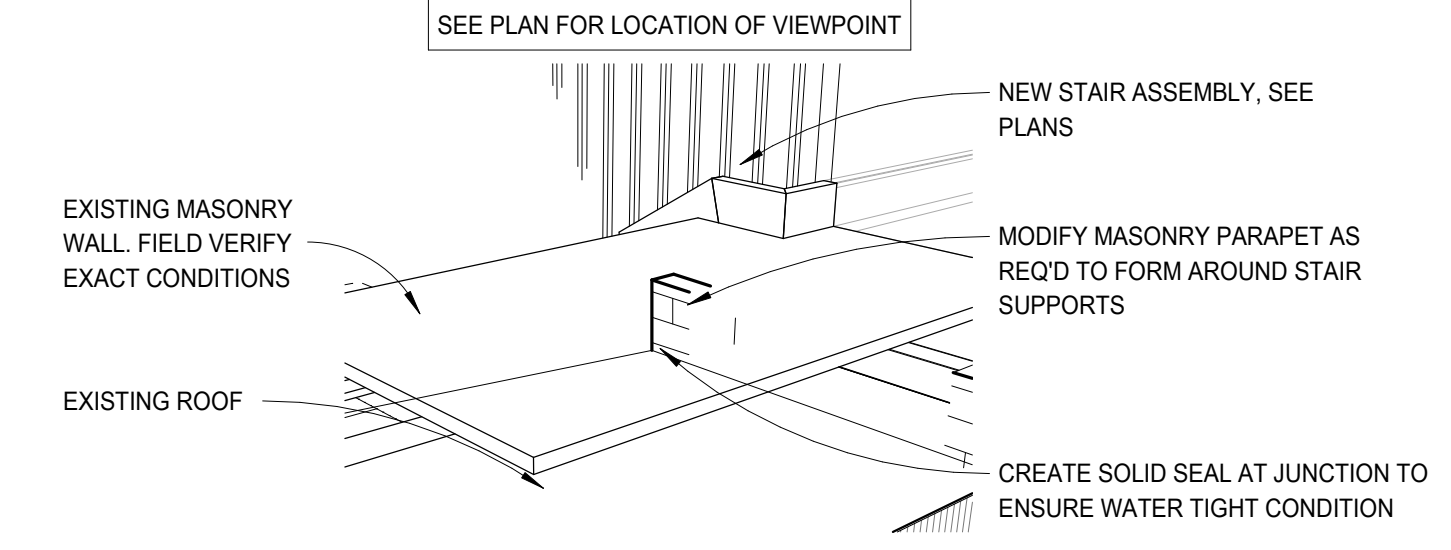
Commission No. 55678-17047  
Prepared by JDH  
Checked by Checker

SHEET

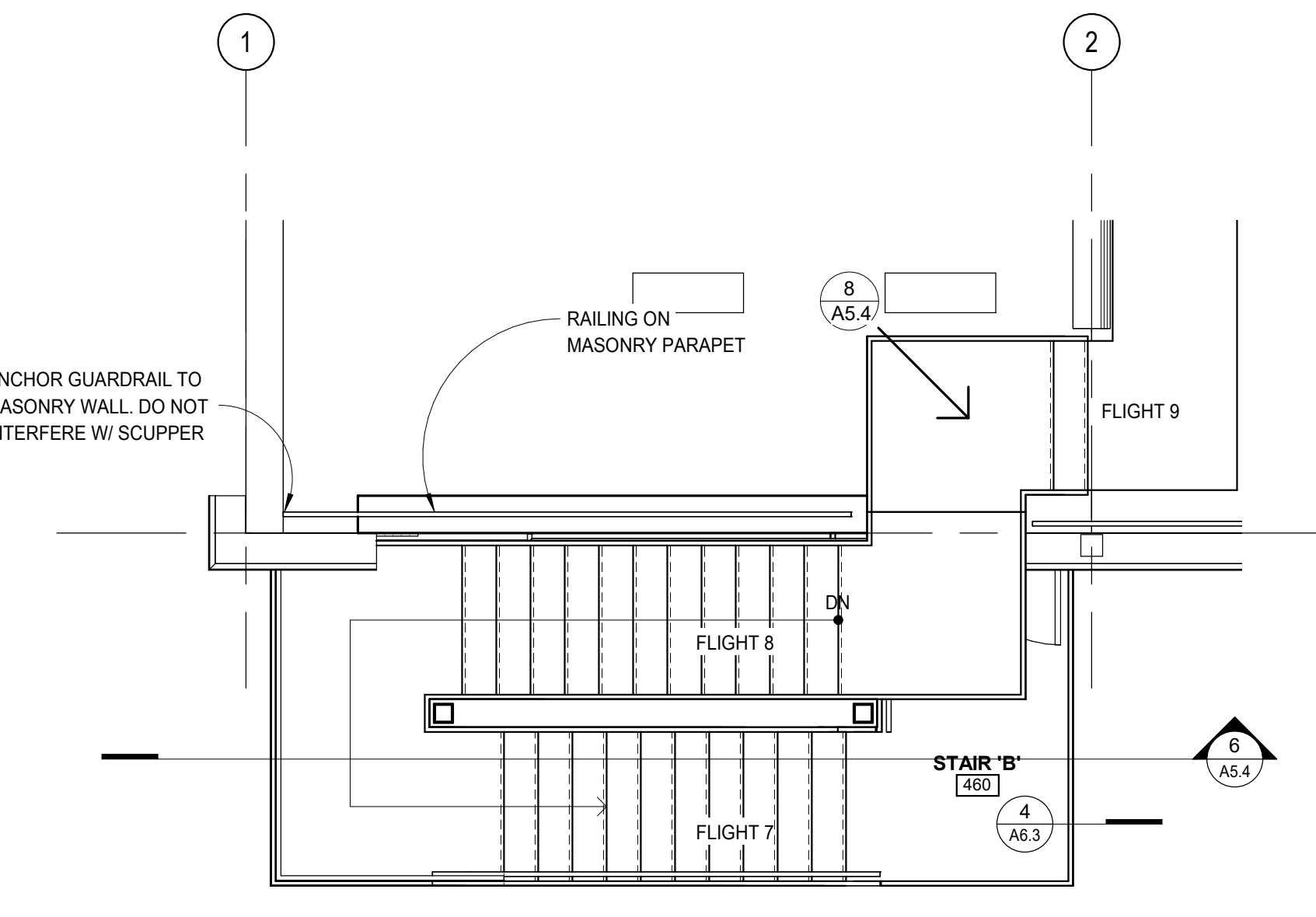
A5.3



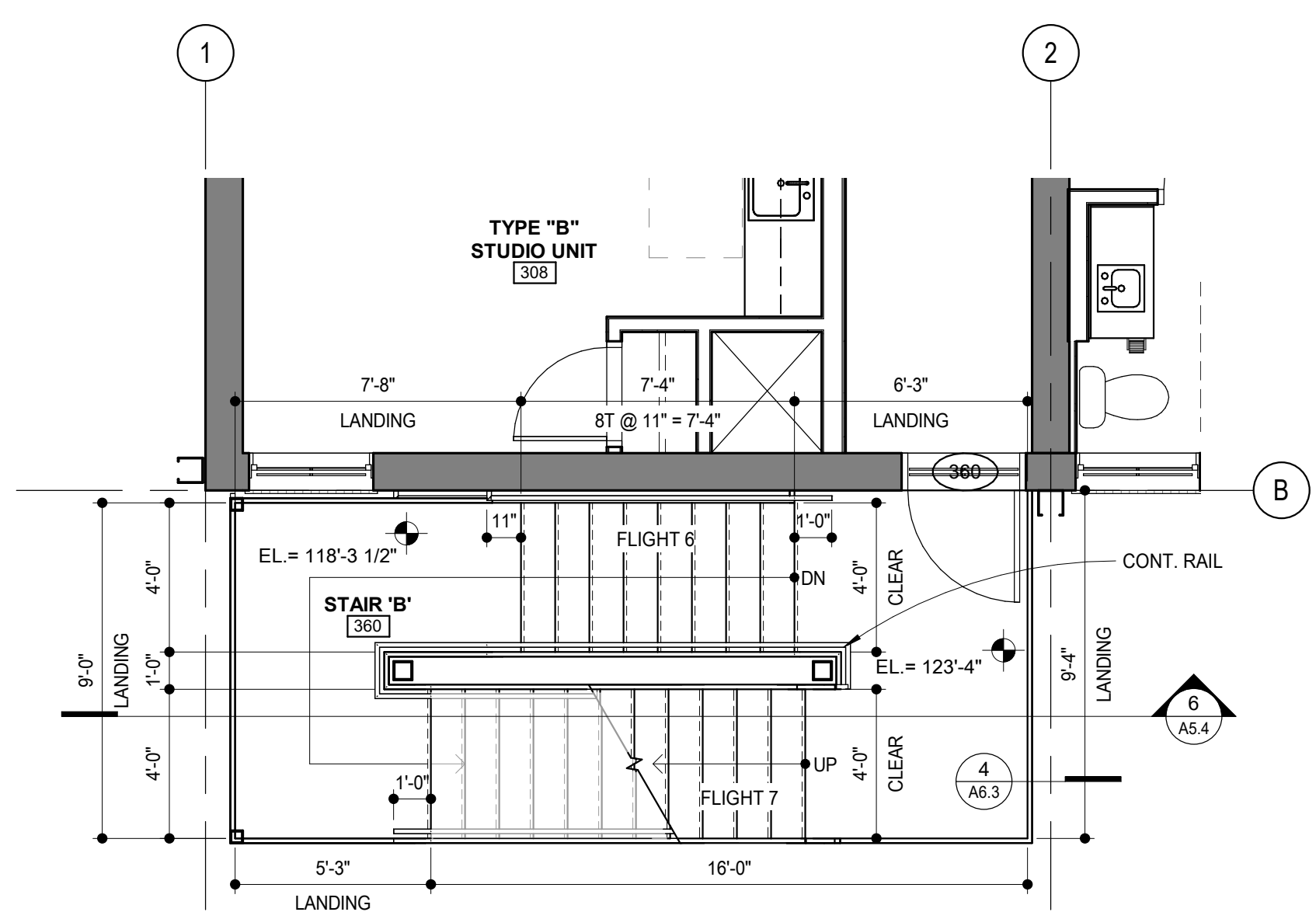
**6**  
A5.4 STAIR 'B' SECTION  
3/8" = 1'-0"



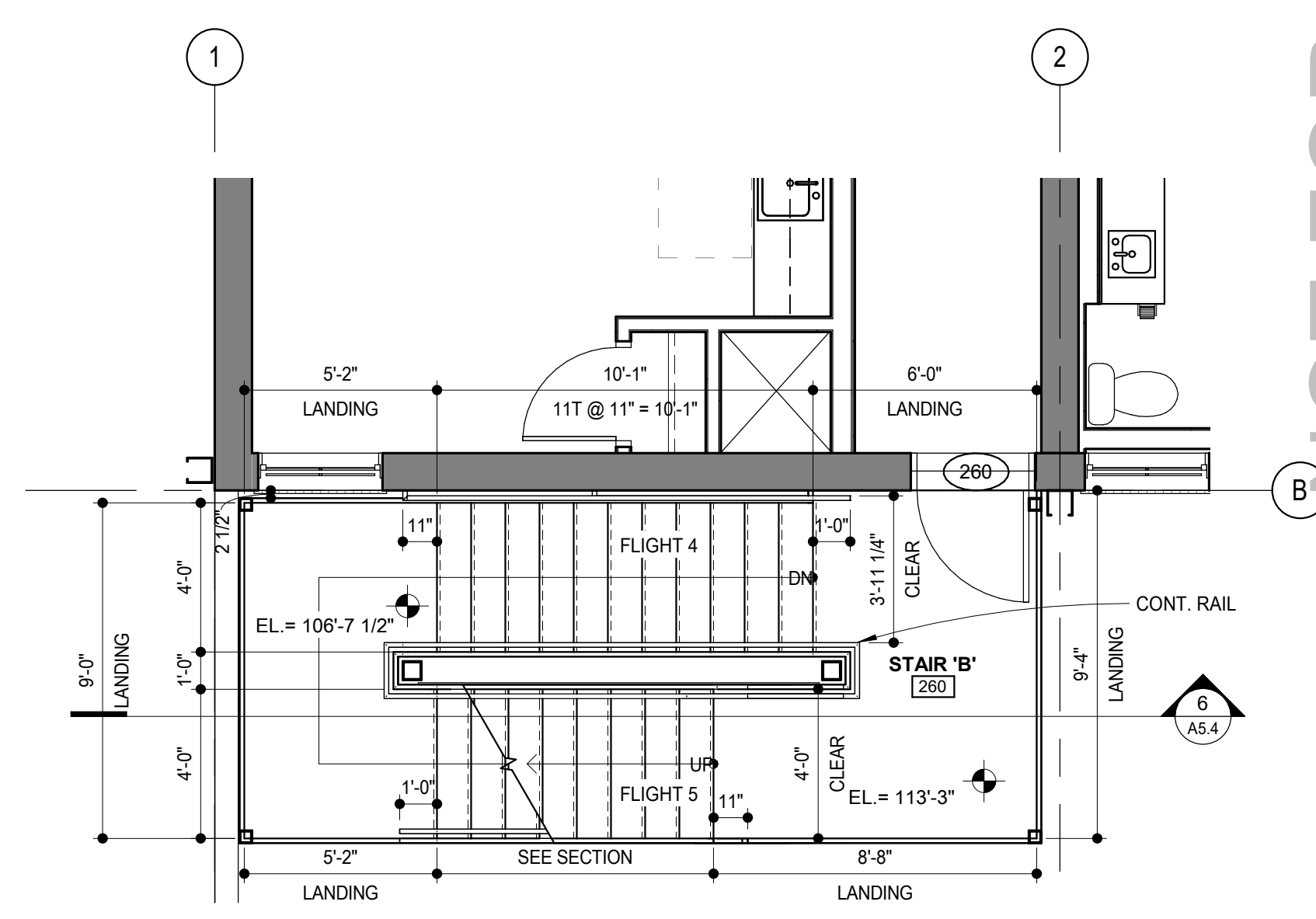
**8**  
A5.4 MASONRY PARAPET AT EXIST MASONRY WALL



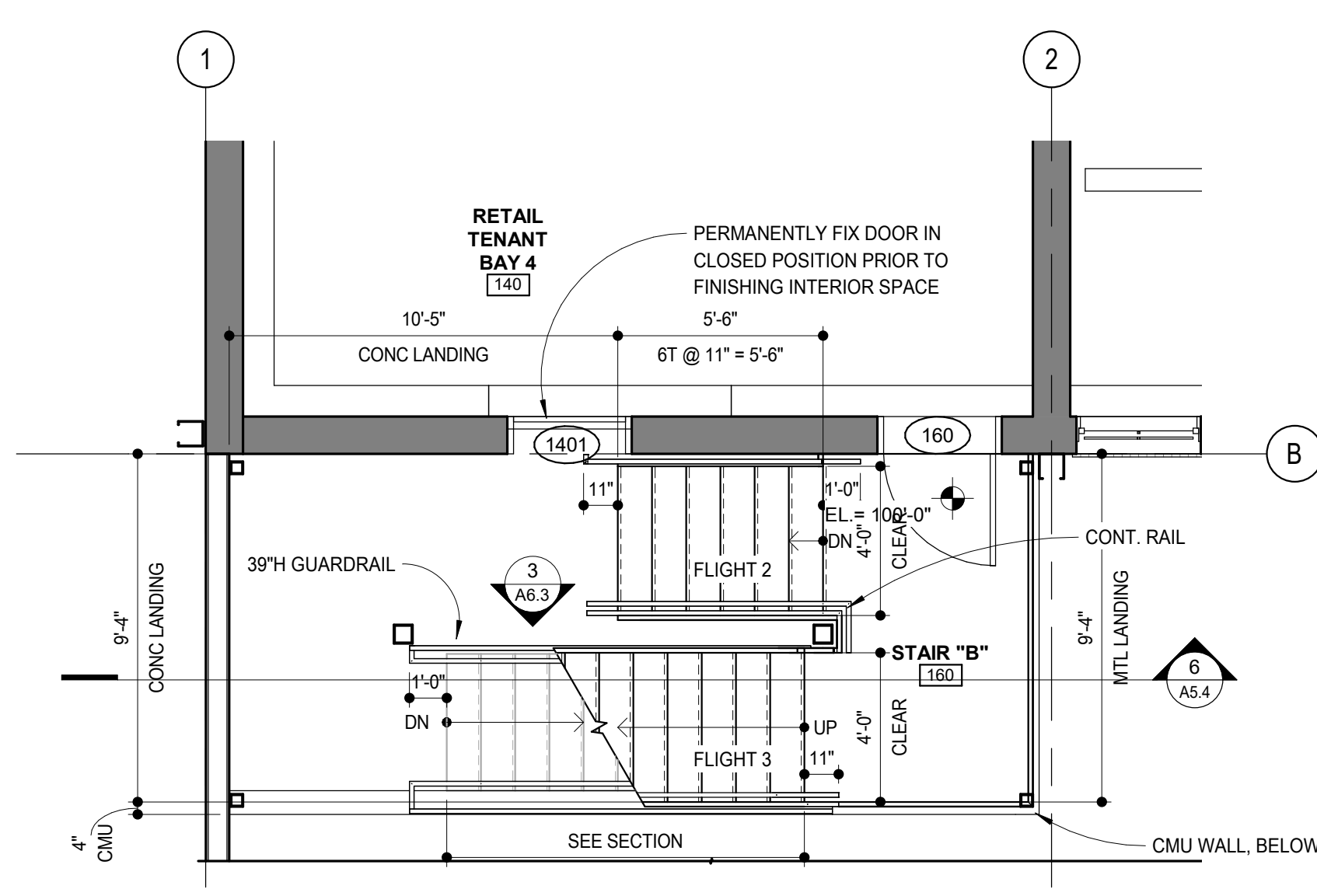
**5**  
A5.4 STAIR 'B' FLOOR PLAN - ROOF LEVEL  
1/4" = 1'-0"



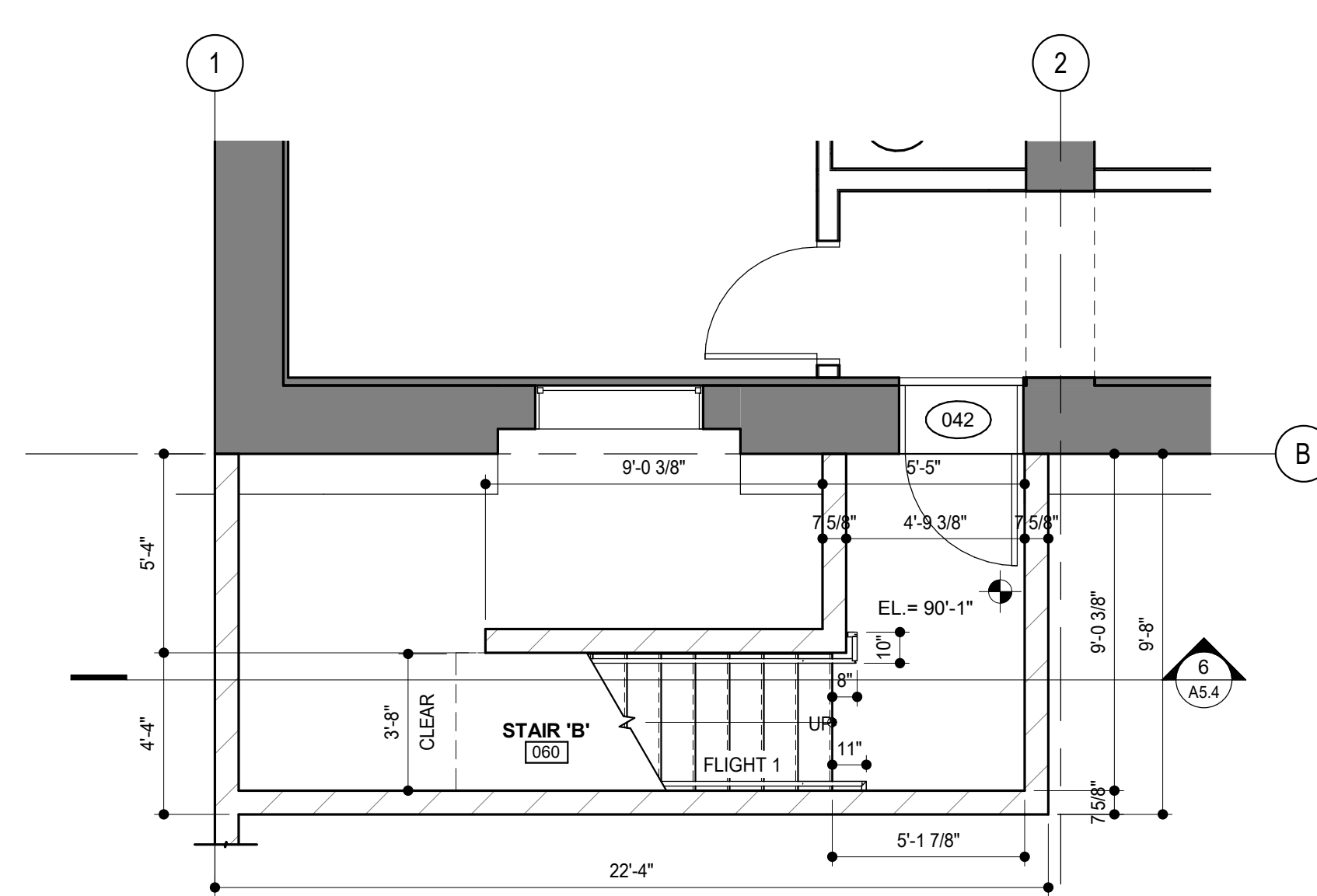
**4**  
A5.4 STAIR 'B' FLOOR PLAN - THIRD LEVEL  
1/4" = 1'-0"



**3**  
A5.4 STAIR 'B' FLOOR PLAN - SECOND LEVEL  
1/4" = 1'-0"



**2**  
A5.4 STAIR 'B' FLOOR PLAN - FIRST LEVEL  
1/4" = 1'-0"



**1**  
A5.4 STAIR 'B' FLOOR PLAN - BASEMENT LEVEL  
1/4" = 1'-0"

NOT FOR CONSTRUCTION

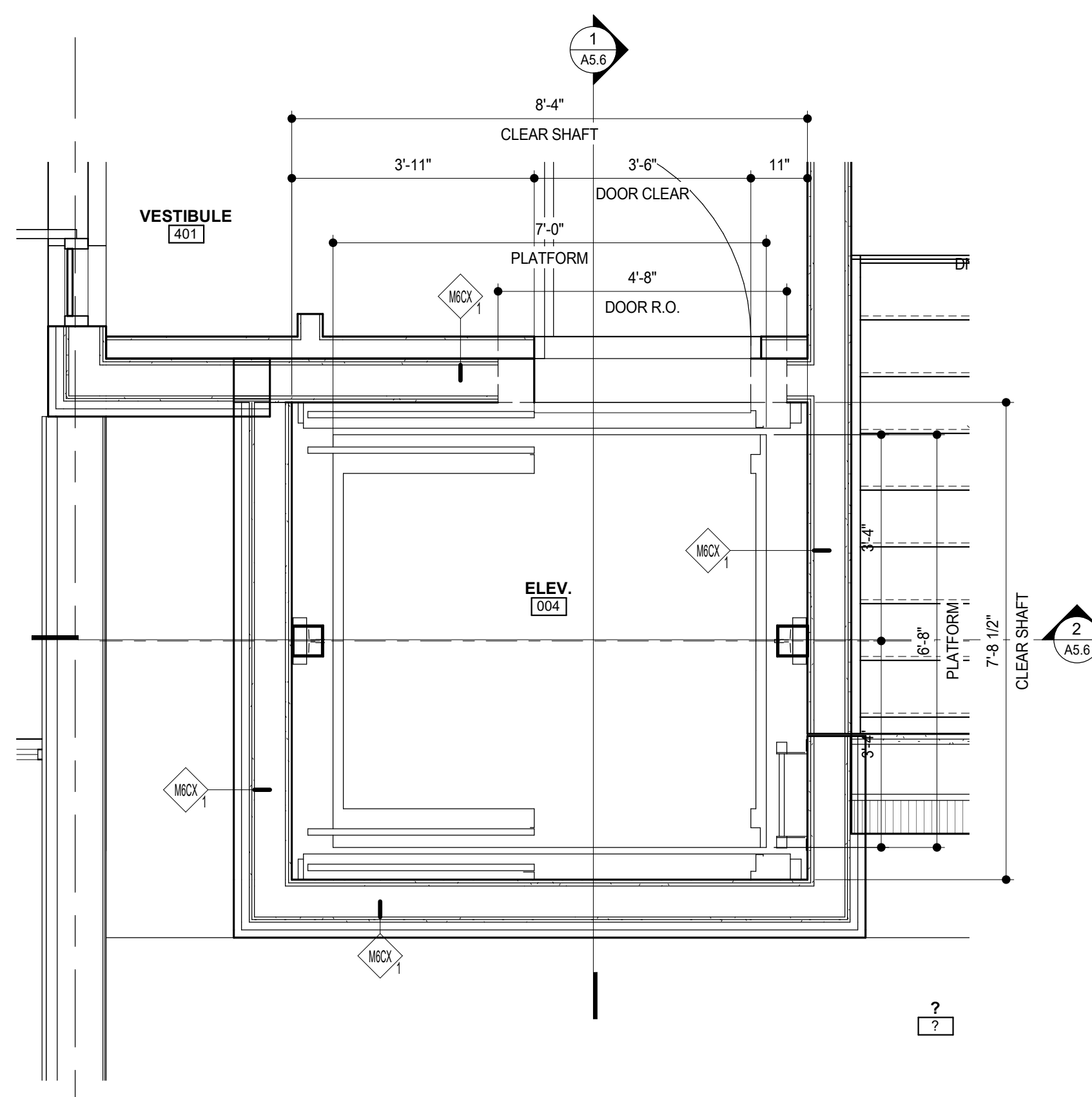
ENLARGED STAIR 'B'  
FLOOR PLAN &  
DETAILS

Part 2 Amend. 1 11-30-17  
HPC REVISIONS 2-2-18

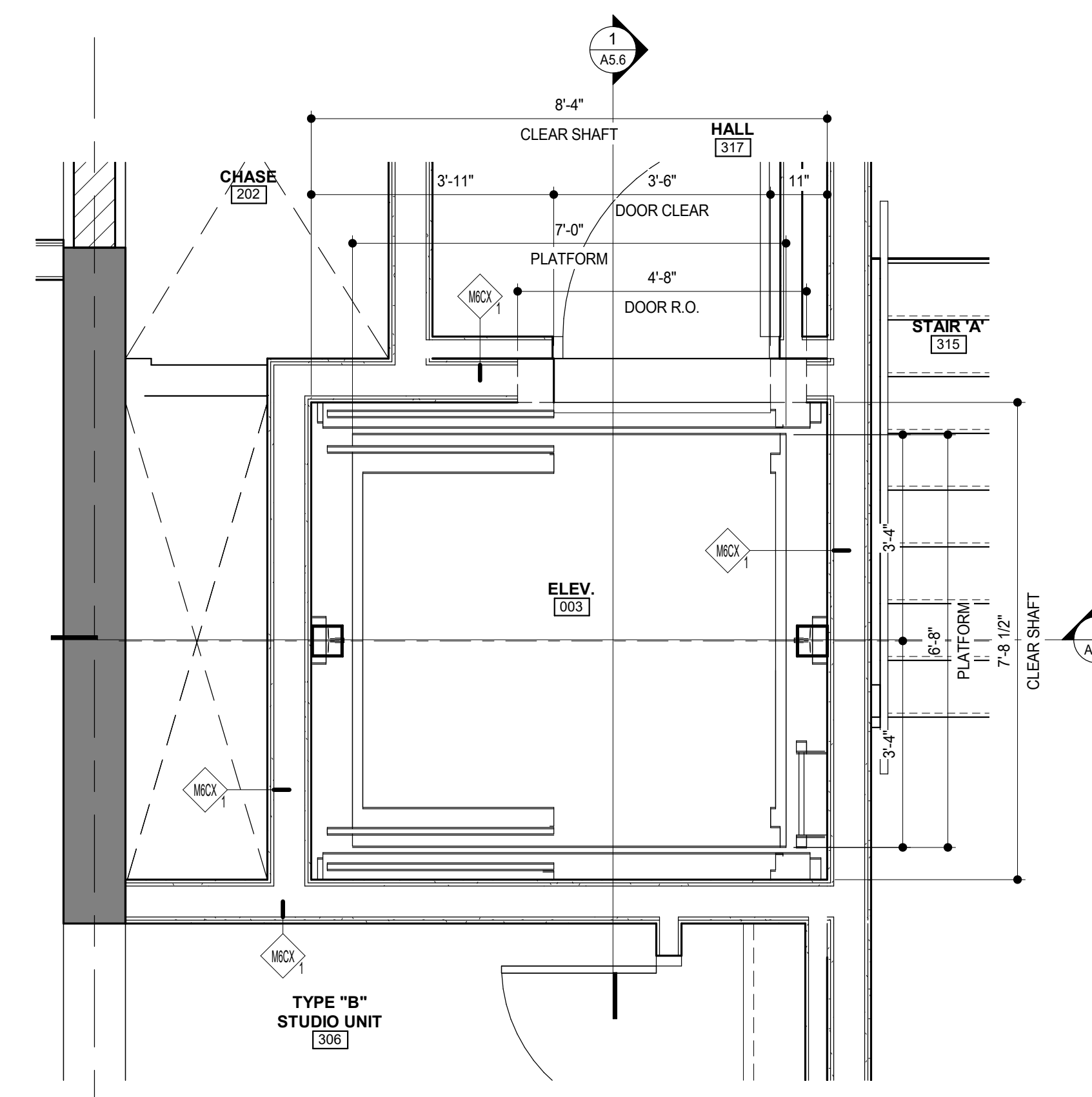
Commission No: 55678-17047  
Prepared by: JDH  
Checked by: Checker

SHEET

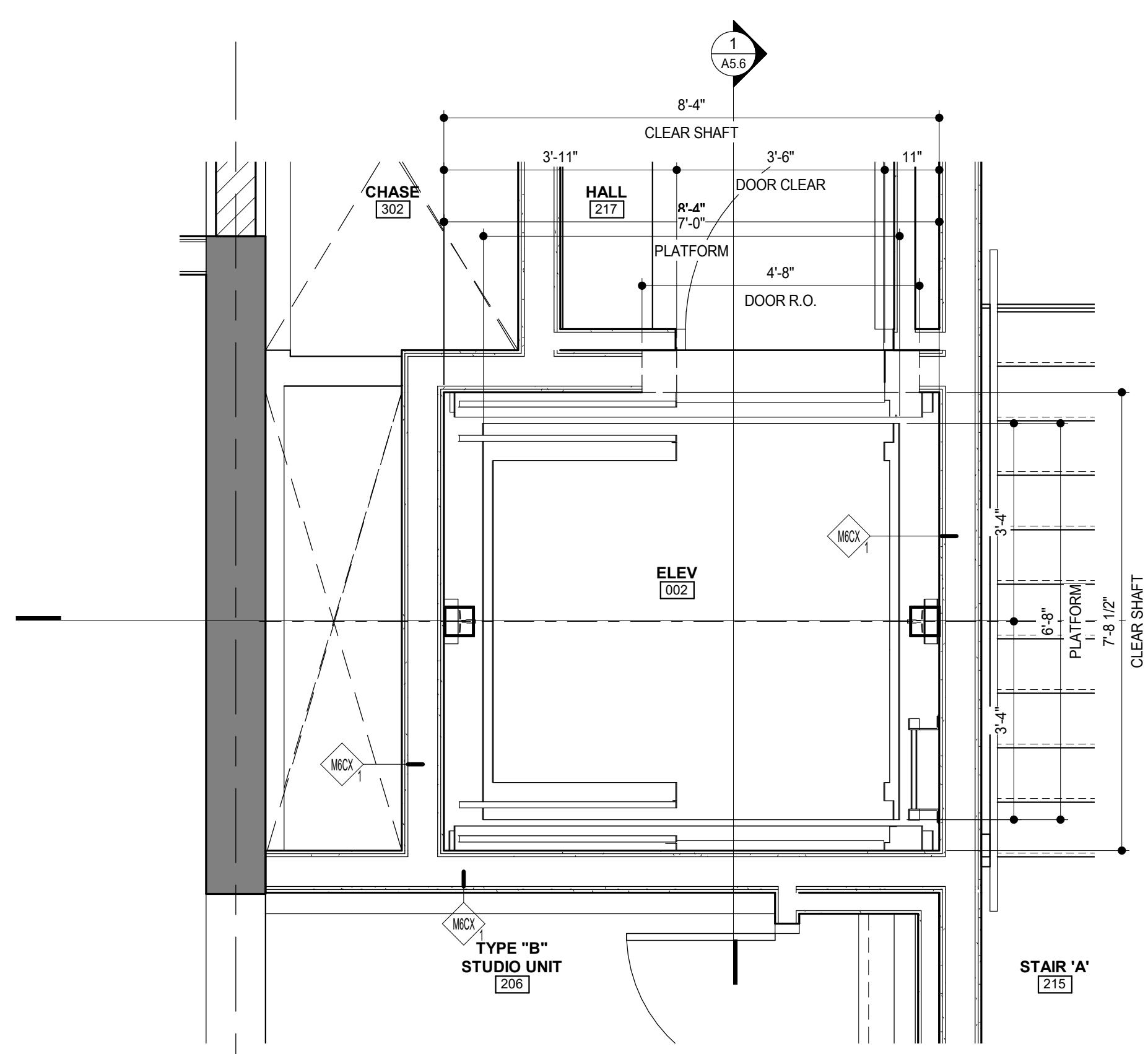
**A5.4**



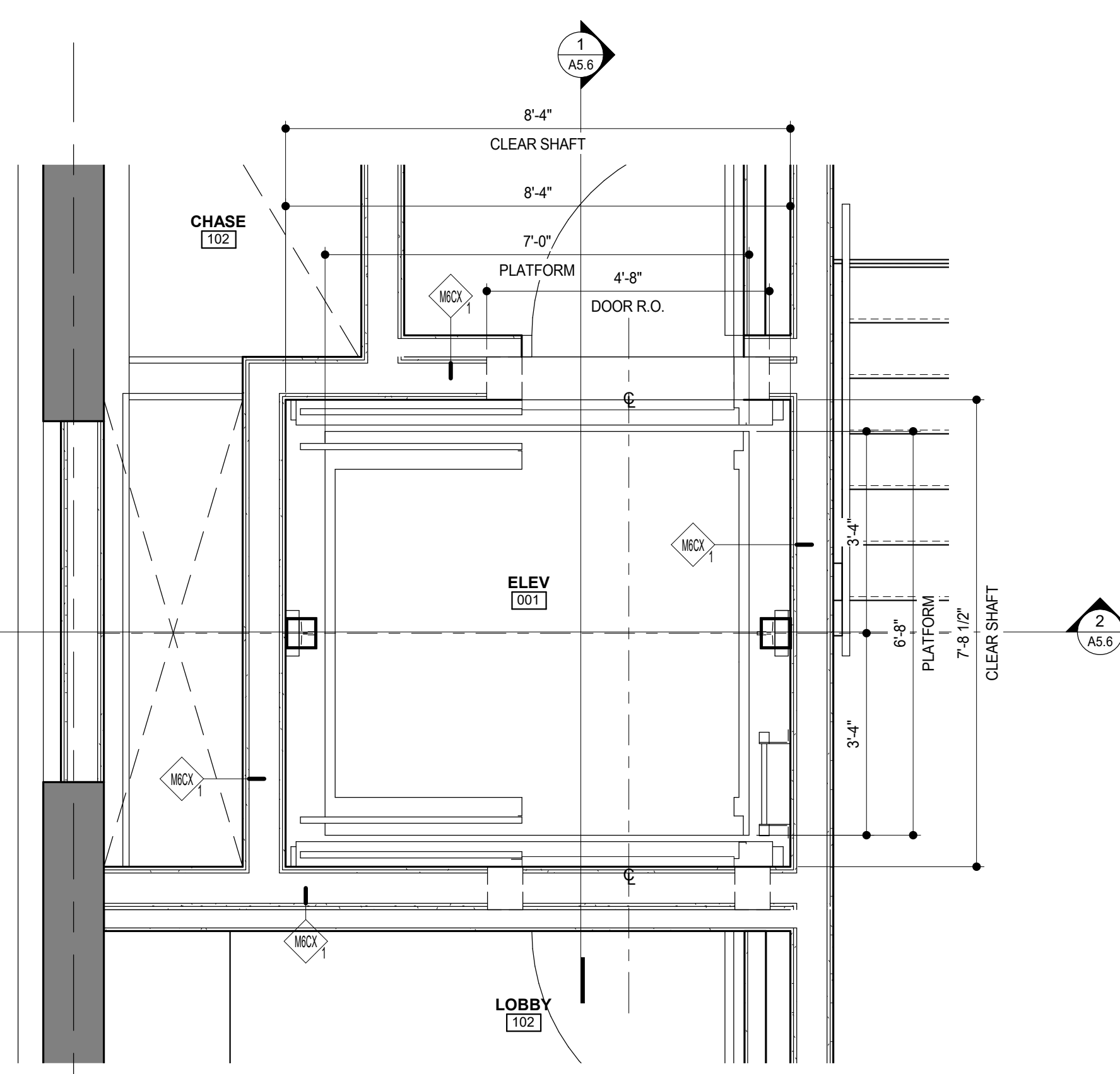
5  
A5.5  
ELEVATOR PLAN - ROOF LEVEL  
1/2" = 1'-0"



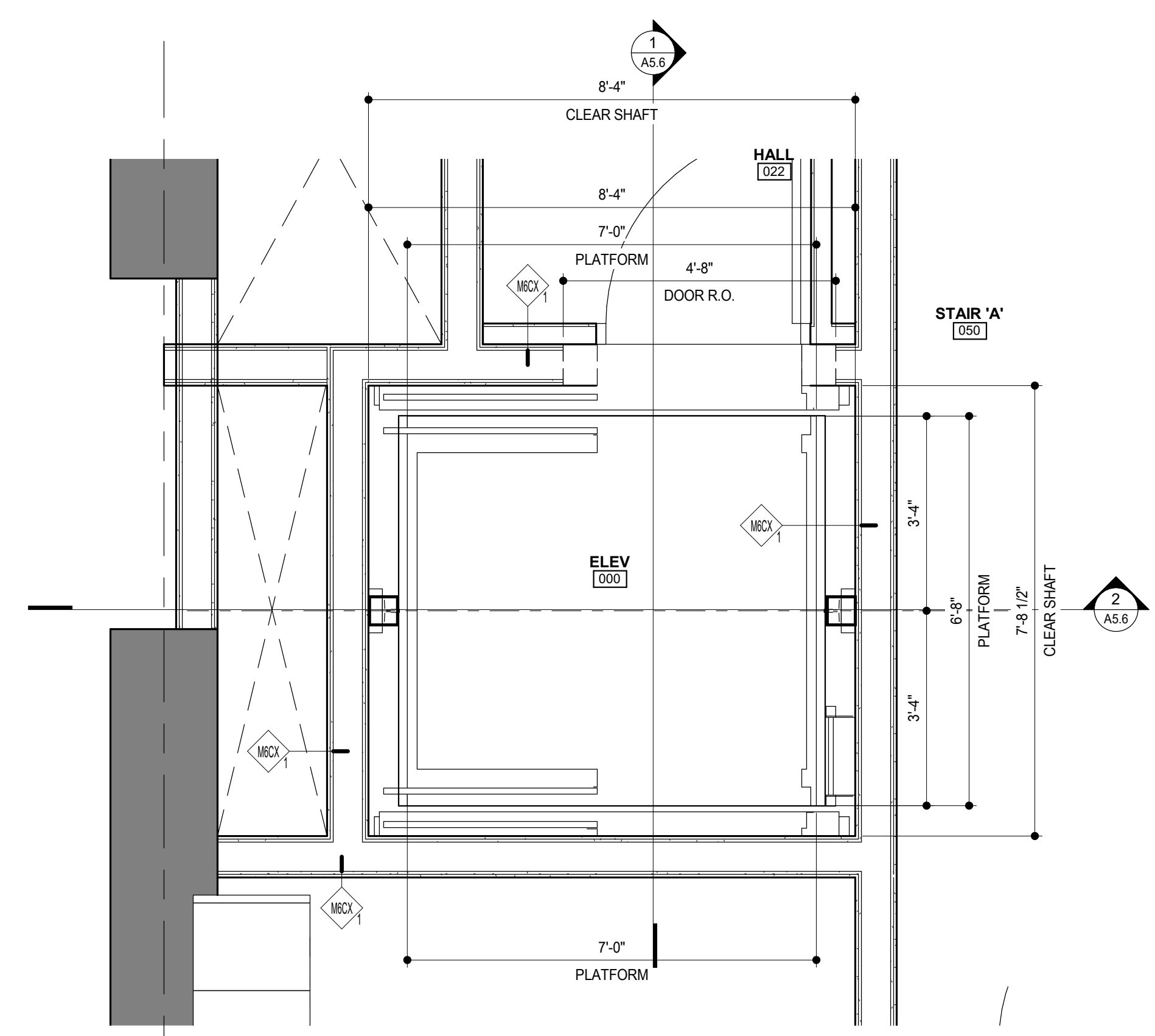
4  
A5.5  
ELEVATOR PLAN - THIRD LEVEL  
1/2" = 1'-0"



3  
A5.5  
ELEVATOR PLAN - SECOND LEVEL  
1/2" = 1'-0"



2  
A5.5  
ELEVATOR PLAN - FIRST LEVEL  
1/2" = 1'-0"



1  
A5.5  
ELEVATOR PLAN - BASEMENT  
1/2" = 1'-0"

NOT FOR CONSTRUCTION

ENLARGED  
ELEVATOR FLOOR  
PLANS

Issue and Revisions:

NO.	DESCRIPTION	DATE
1	HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Prepared by: JDH  
Checked by: DTP

SHEET

**A5.5**

NOT FOR CONSTRUCTION

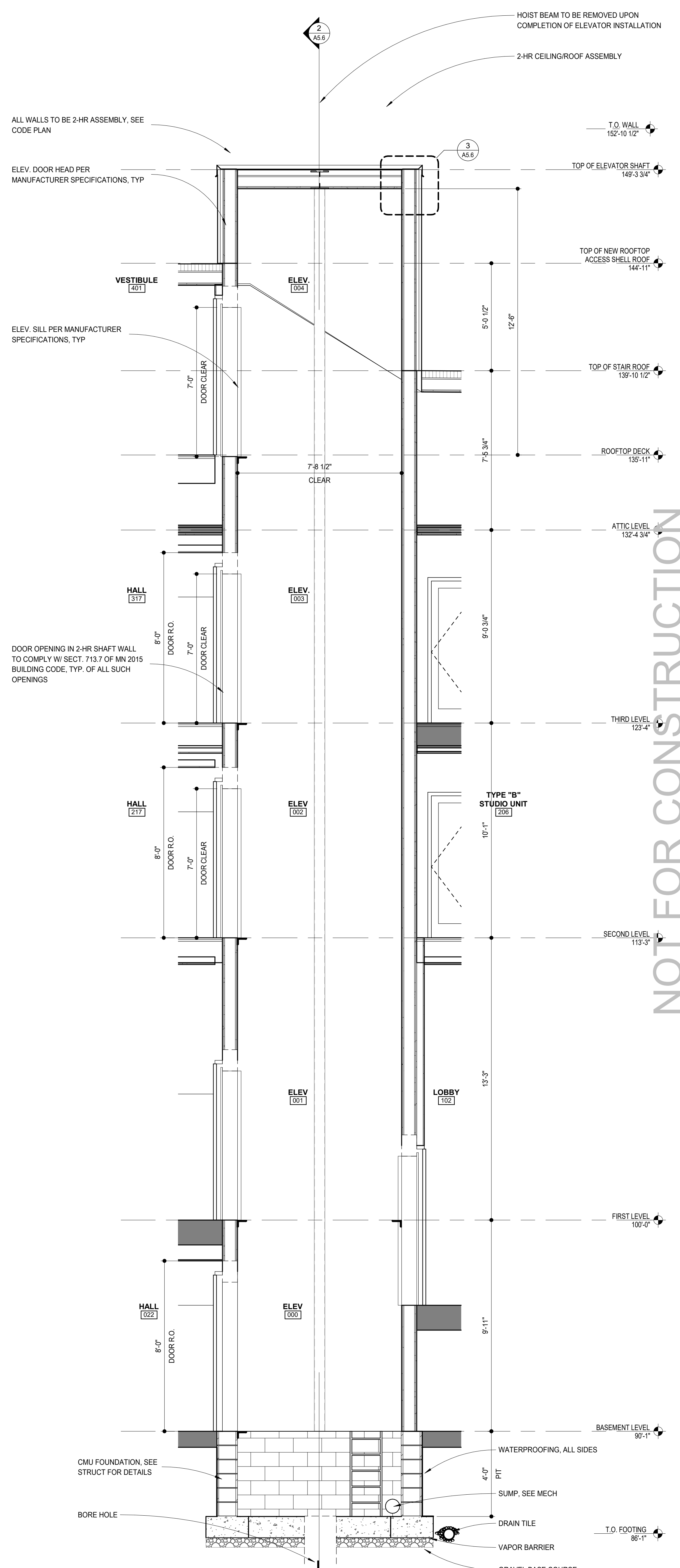
ELEVATOR SECTIONS & DETAILS

Revision	Description	Date
HPC REVISIONS		2-2-18

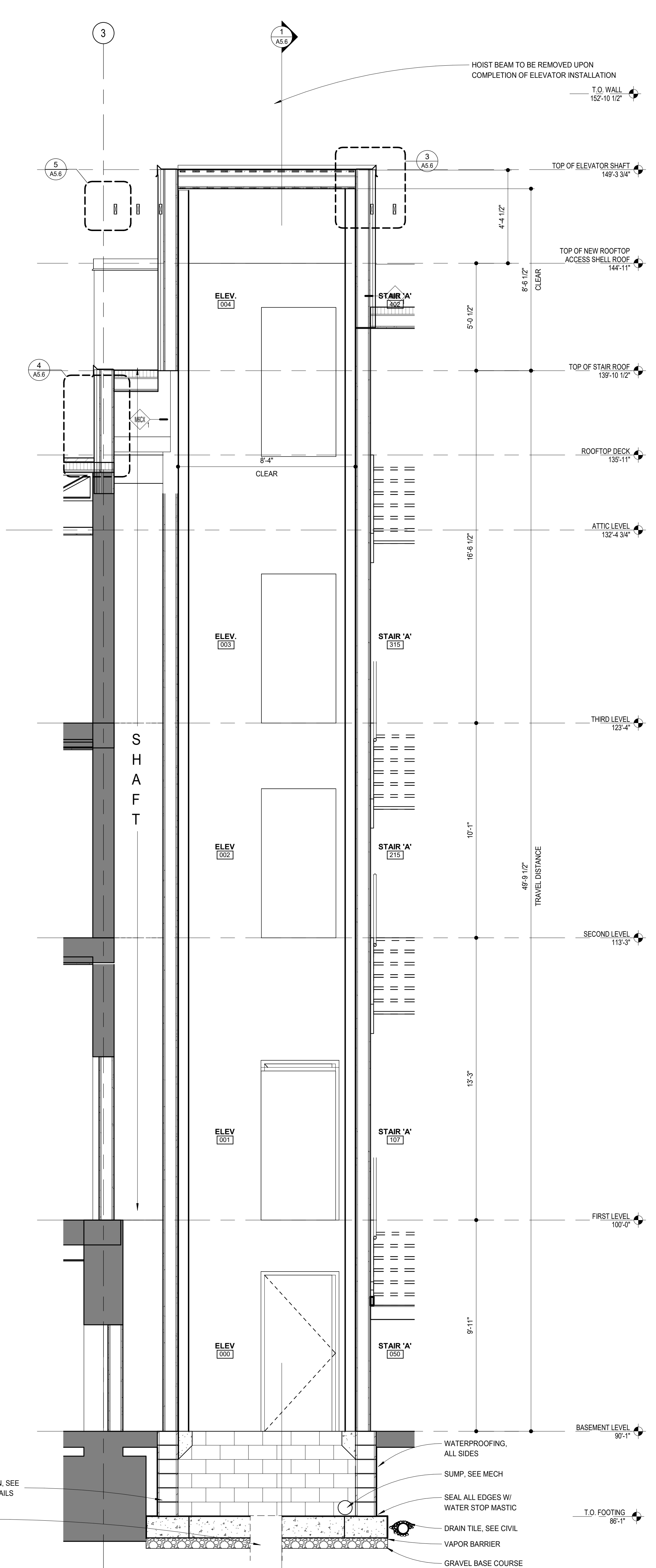
Commission No.	55678-17047
Drawn by	JDH
Checked by	DTP

SHEET

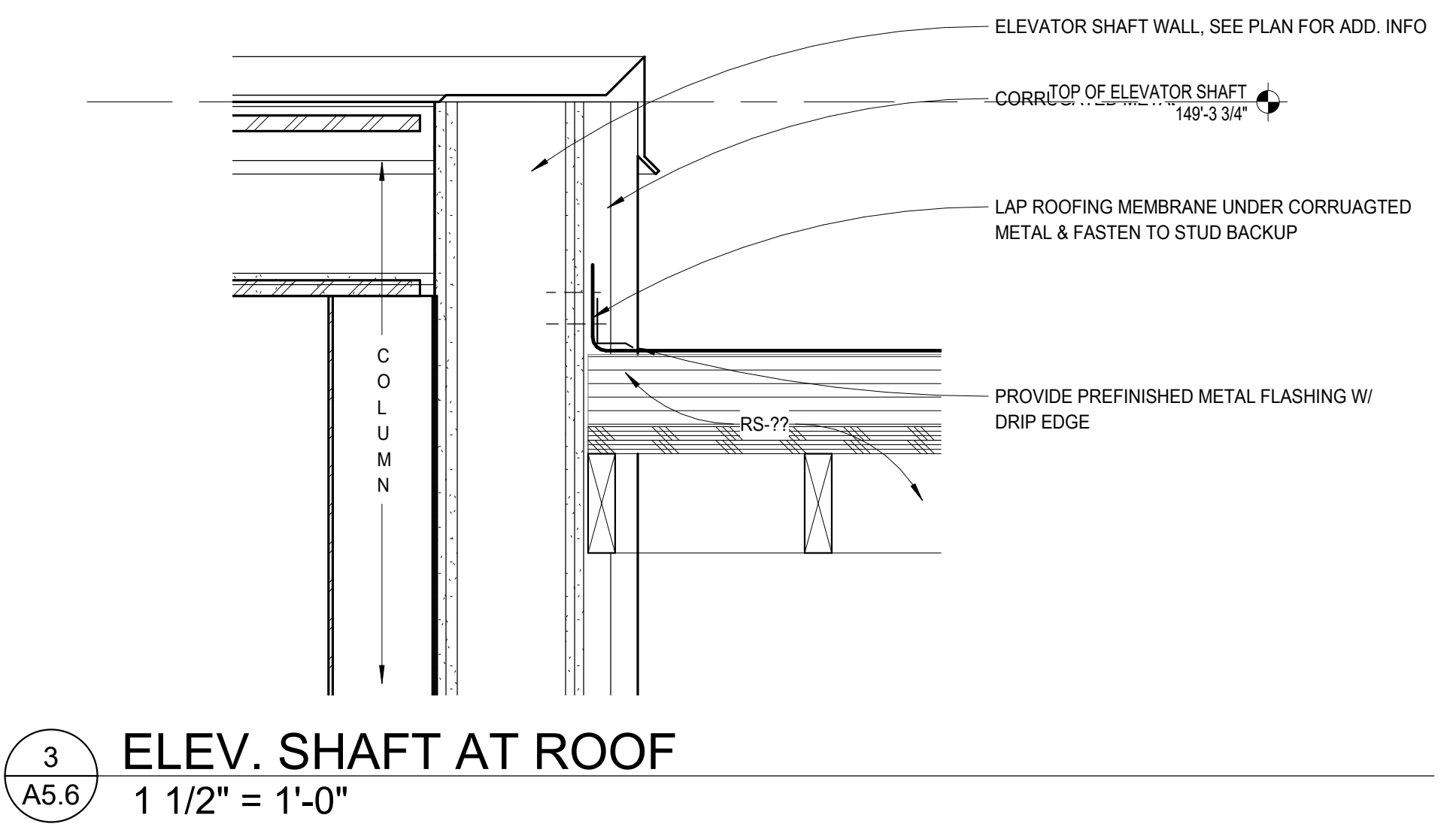
**A5.6**



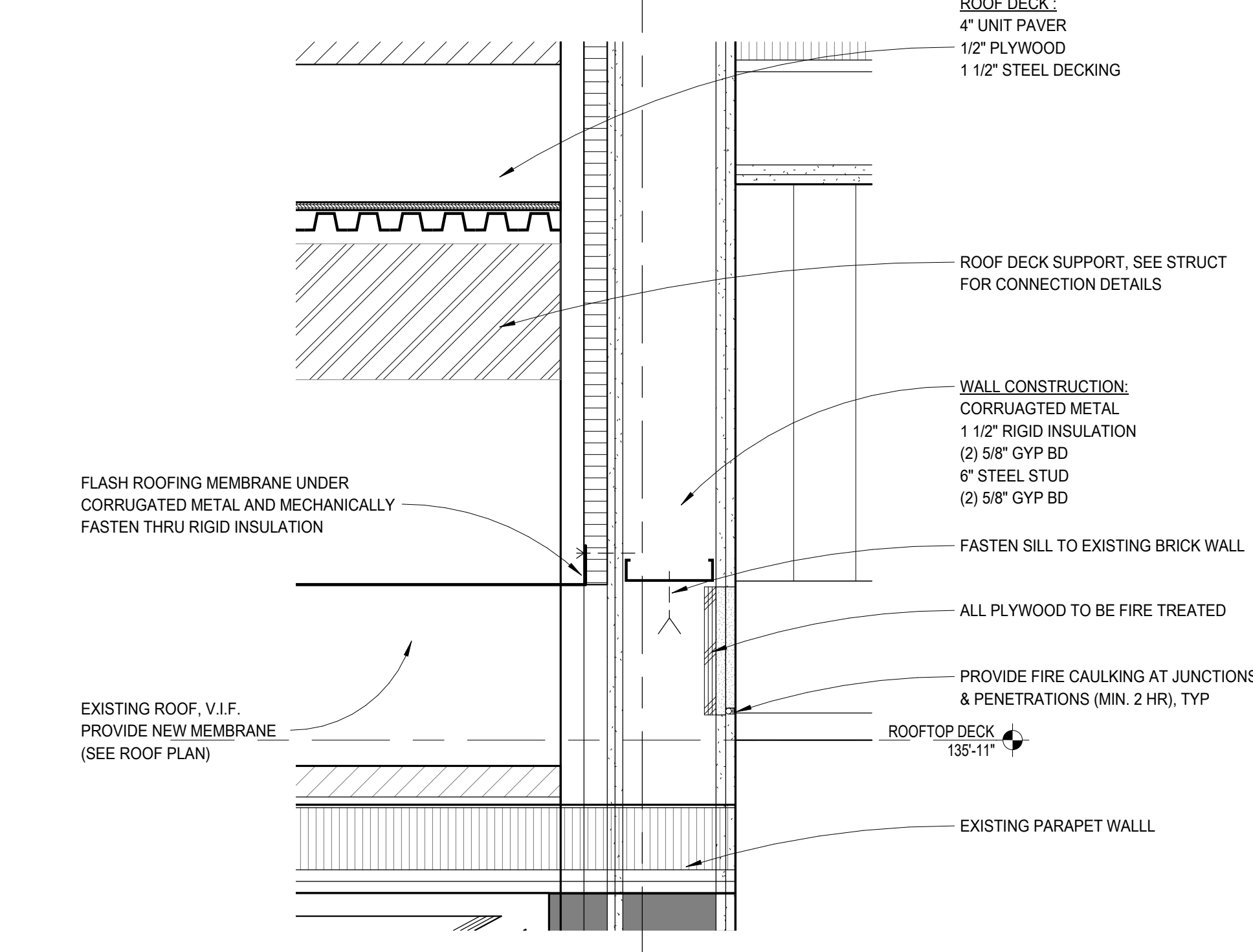
1  
A5.6  
ELEVATOR SECTION 'A'  
3/8" = 1'-0"



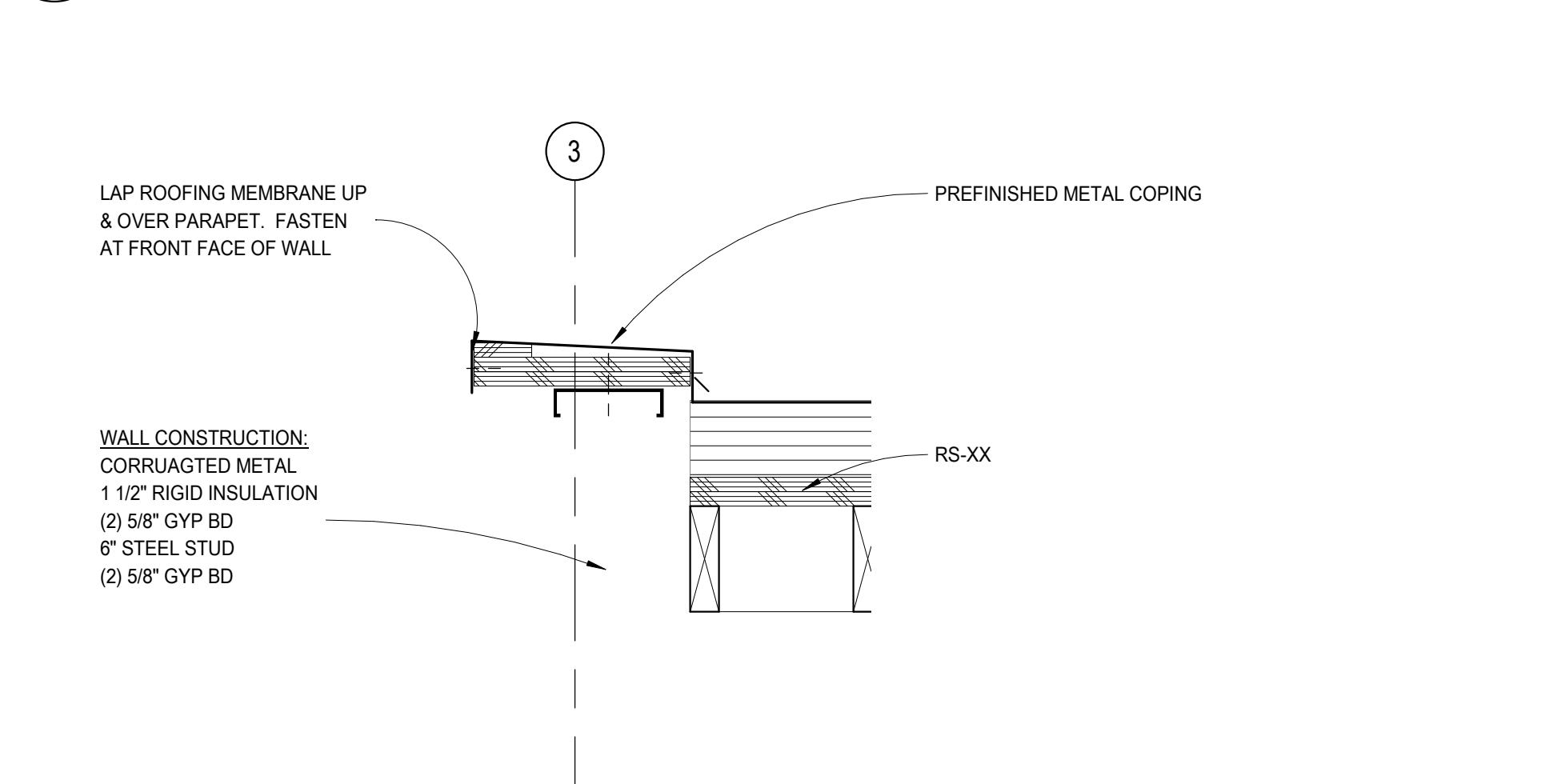
2  
A5.6  
ELEVATOR SECTION 'B'  
3/8" = 1'-0"



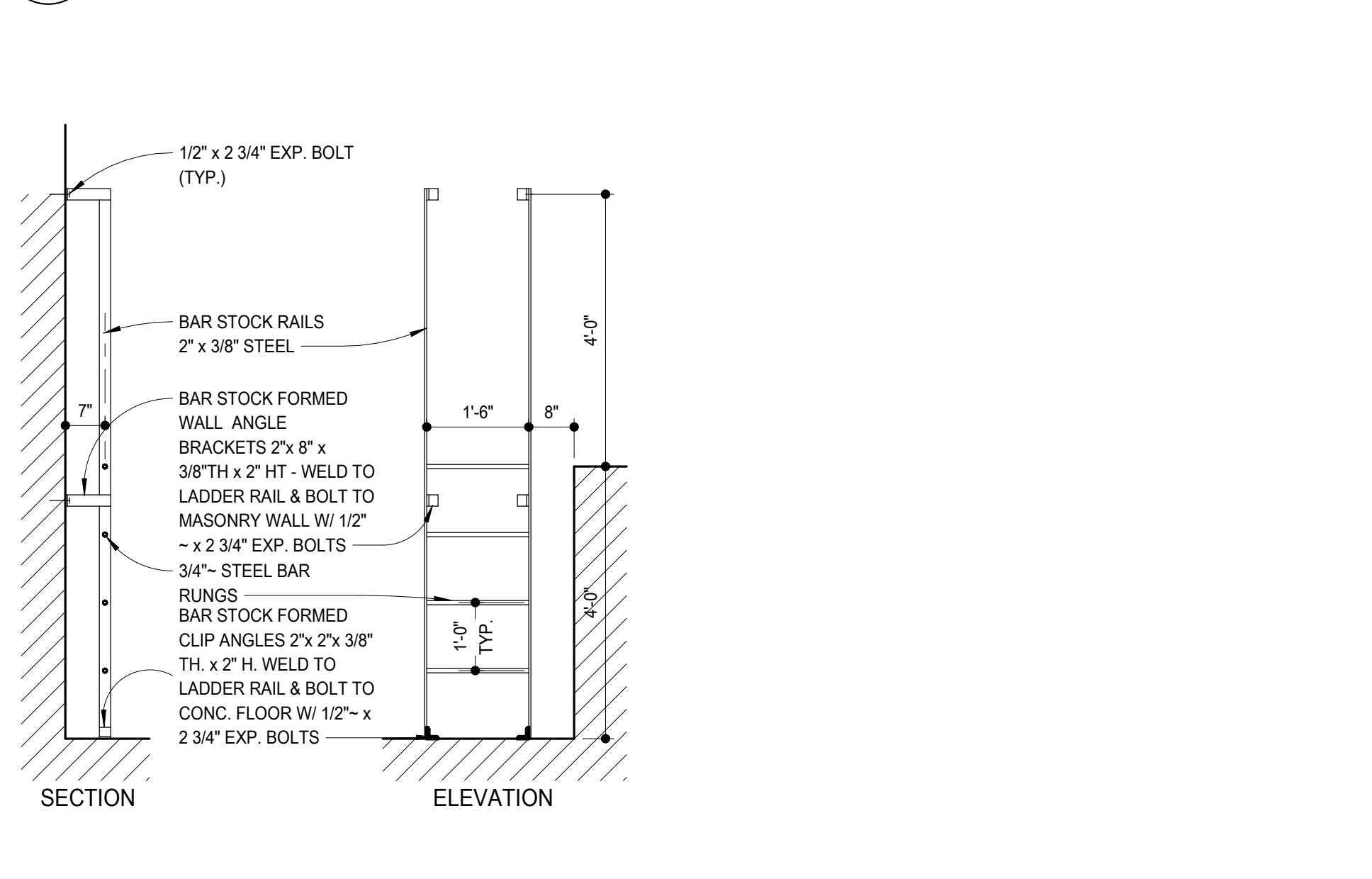
3  
A5.6  
ELEV. SHAFT AT ROOF  
1 1/2" = 1'-0"



4  
A5.6  
MECH SHAFT ON EXIST BRICK  
1 1/2" = 1'-0"

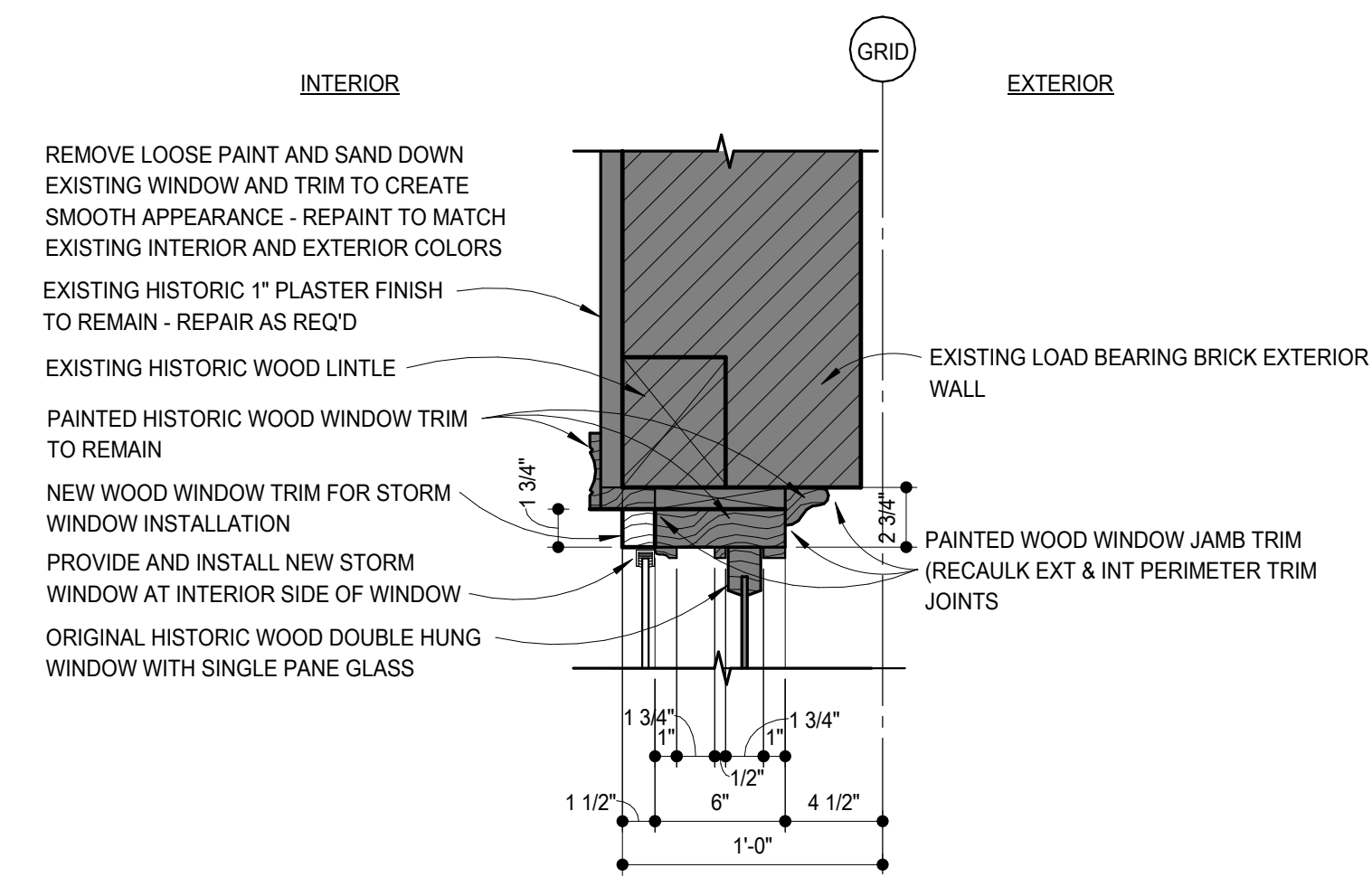


5  
A5.6  
CORRUGATED METAL PARAPET  
1 1/2" = 1'-0"

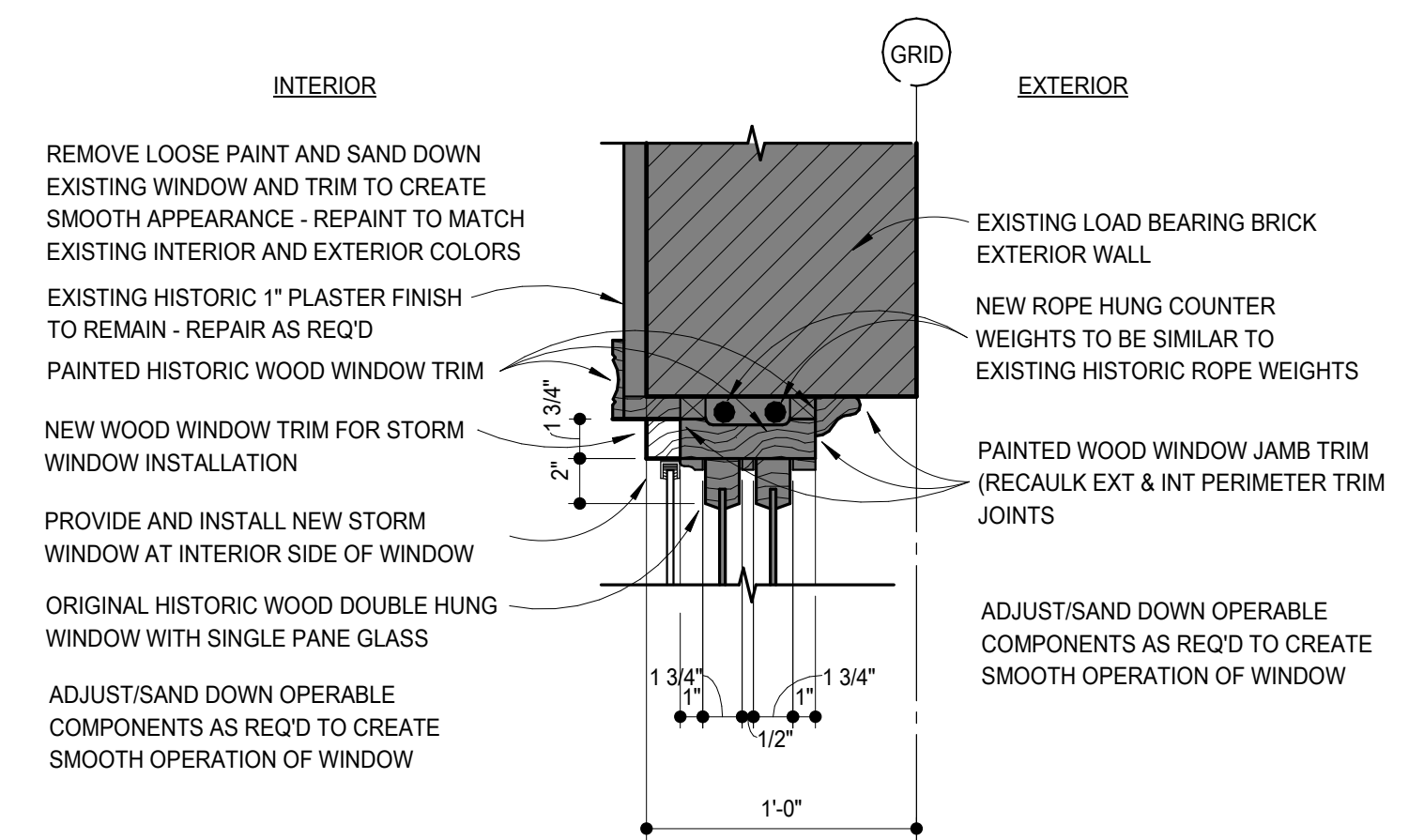


6  
A5.6  
ELEVATOR PIT LADDER  
1/2" = 1'-0"

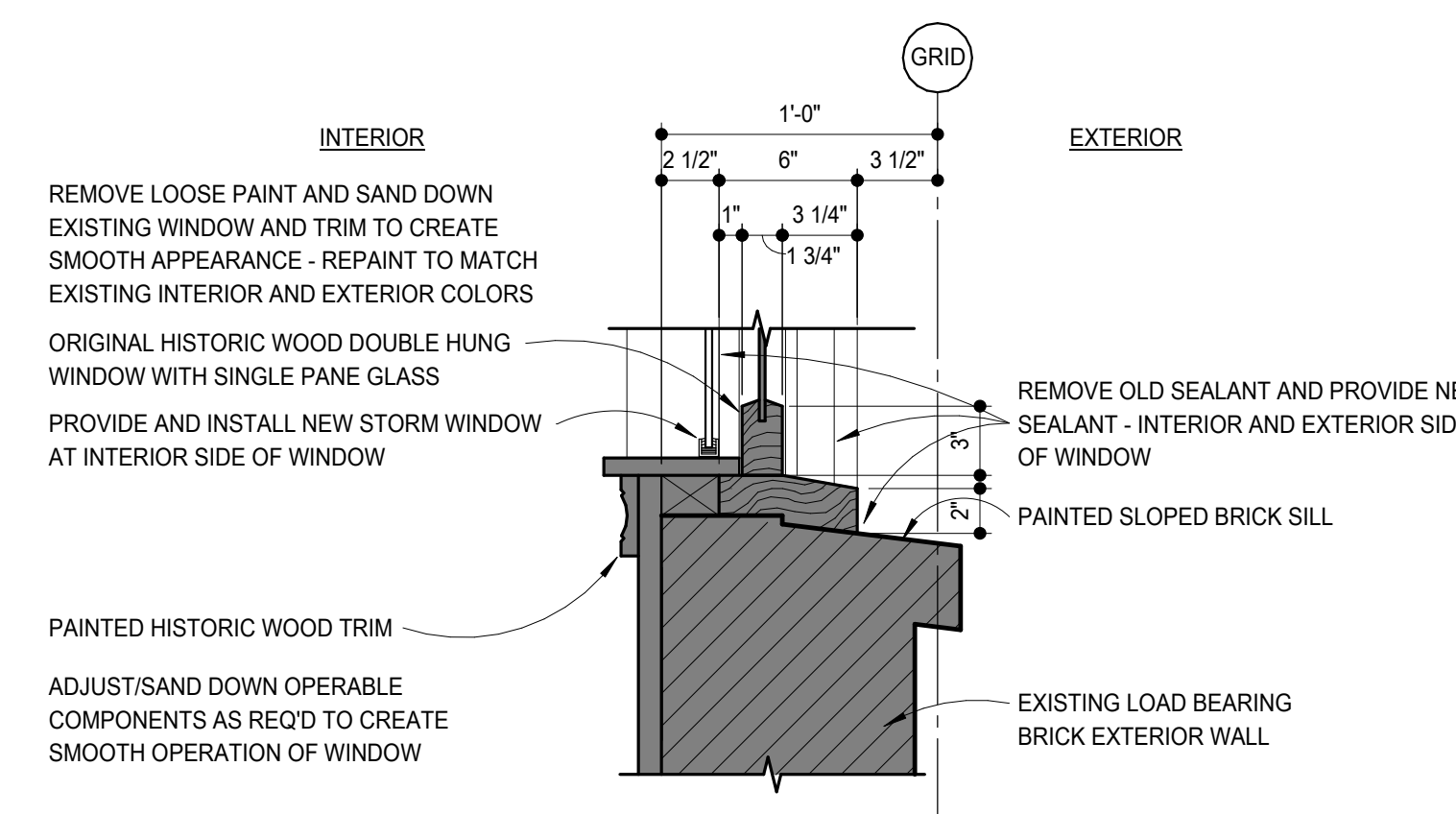
**EXISTING SECOND FLOOR WINDOWS  
PROPOSED MODIFICATIONS  
(NEW STORMS)**



**PROPOSED HEAD DETAIL MODIFICATIONS  
AT TYPICAL 2ND FLOOR WINDOW**  
12  
A6.1 1 1/2" = 1'-0"

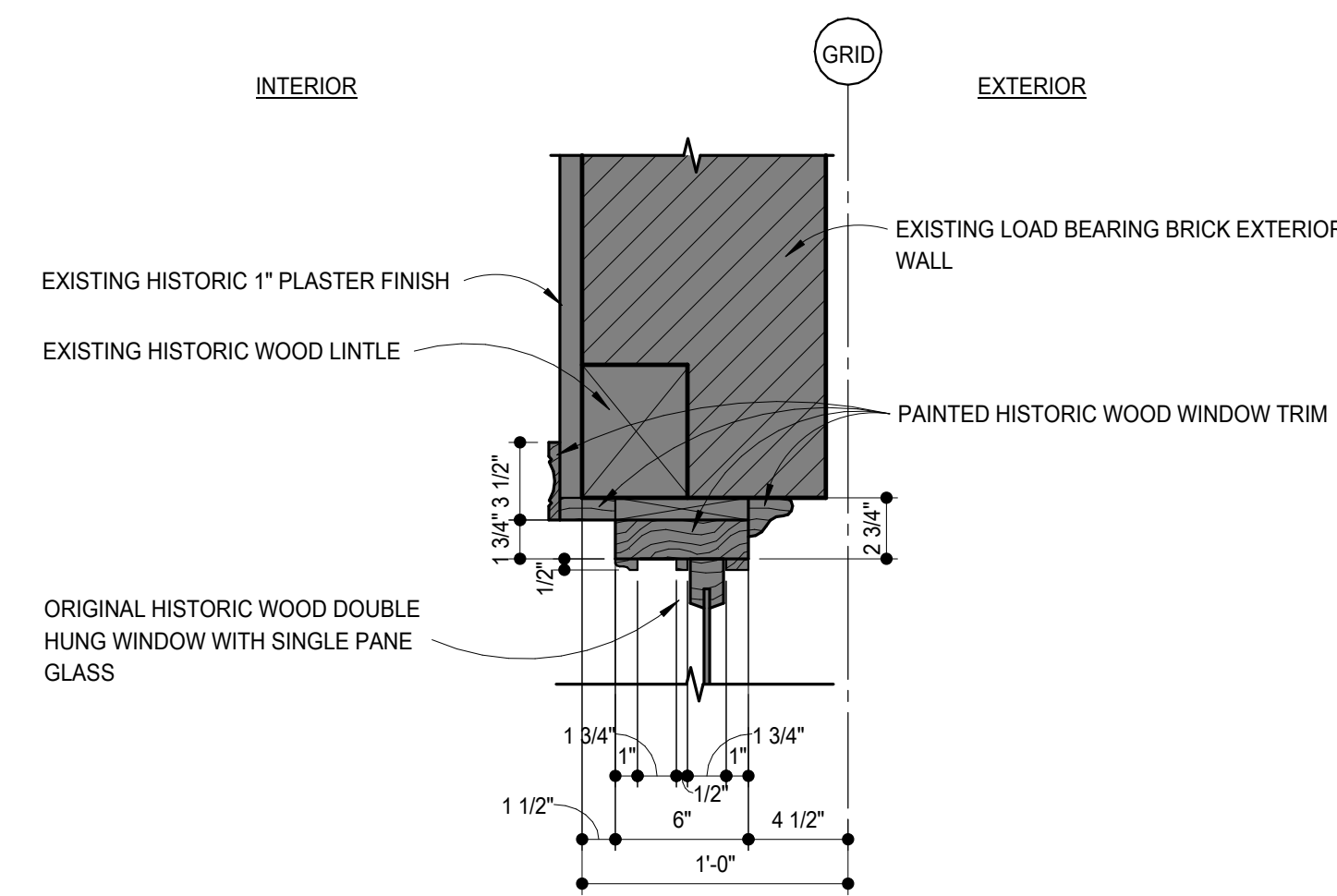


**PROPOSED JAMB DETAIL MODIFICATIONS  
AT TYPICAL 2ND FLOOR WINDOW**  
10  
A6.1 1 1/2" = 1'-0"

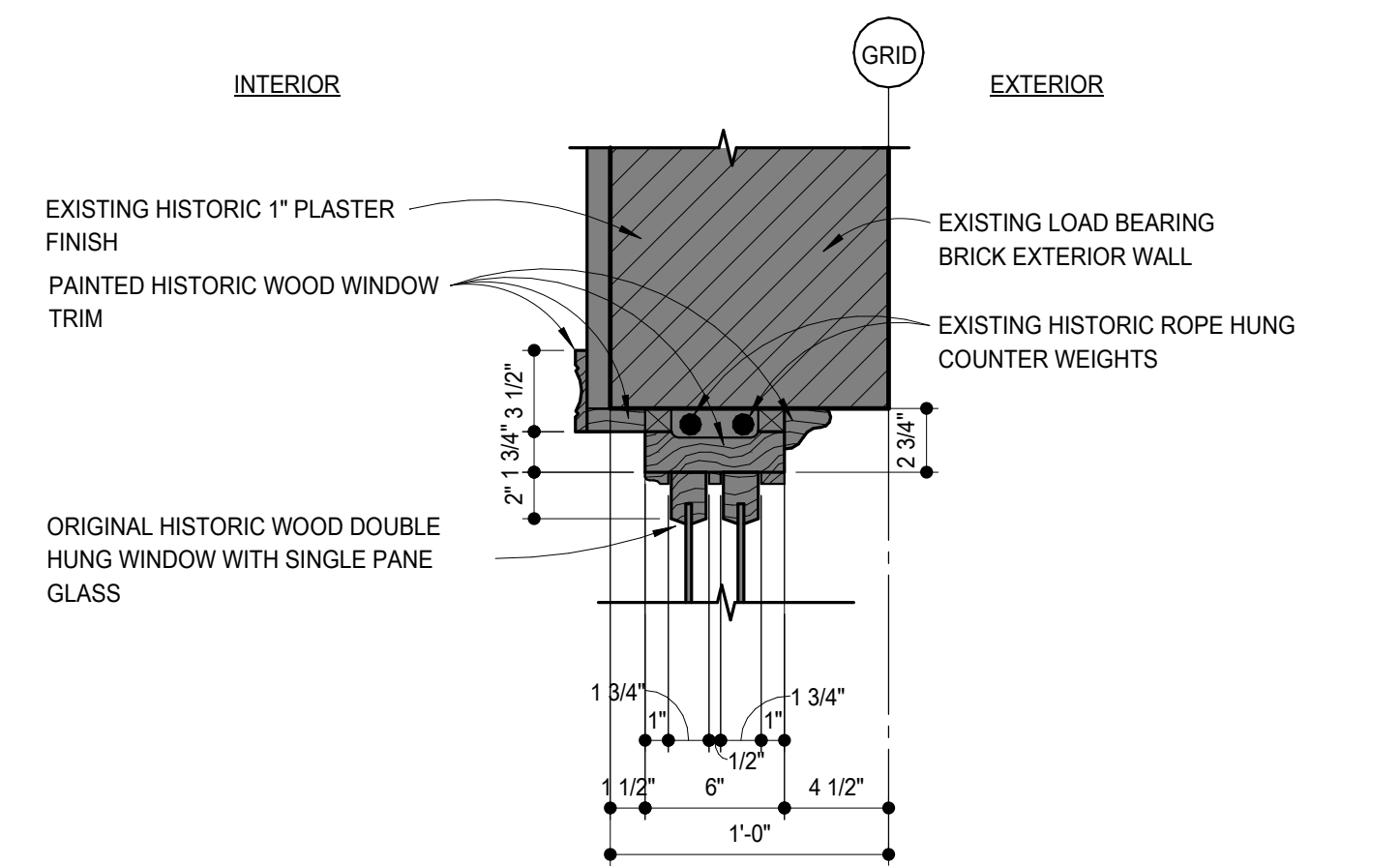


**PROPOSED SILL DETAIL MODIFICATIONS  
AT TYPICAL 2ND FLOOR WINDOW**  
8  
A6.1 1 1/2" = 1'-0"

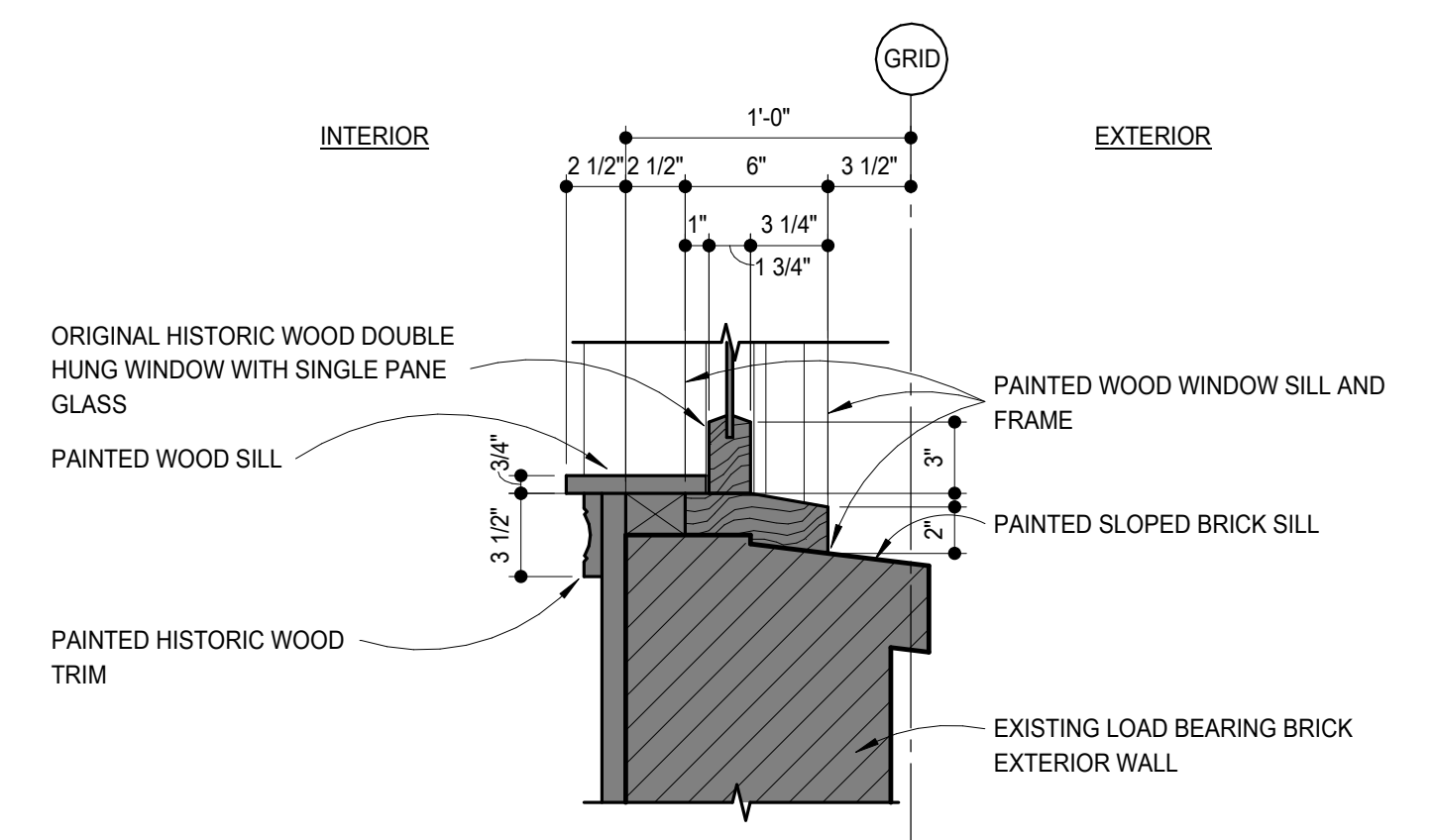
**EXISTING SECOND FLOOR WINDOWS  
EXISTING CONDITIONS**



**EXISTING HEAD DETAIL AT  
TYPICAL 2ND FLOOR WINDOW**  
11  
A6.1 1 1/2" = 1'-0"

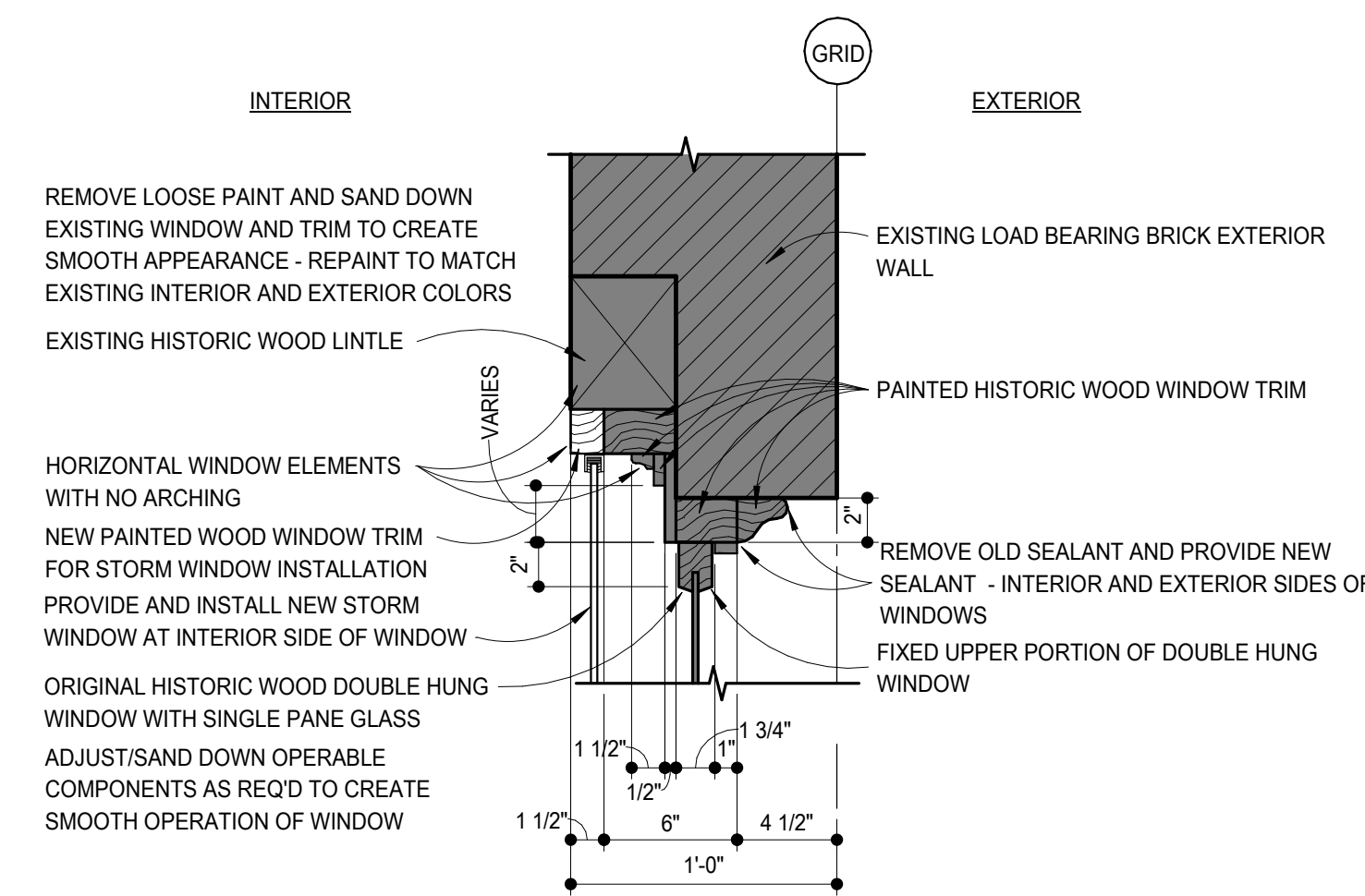


**EXISTING JAMB DETAIL AT  
TYPICAL 2ND FLOOR WINDOW**  
9  
A6.1 1 1/2" = 1'-0"

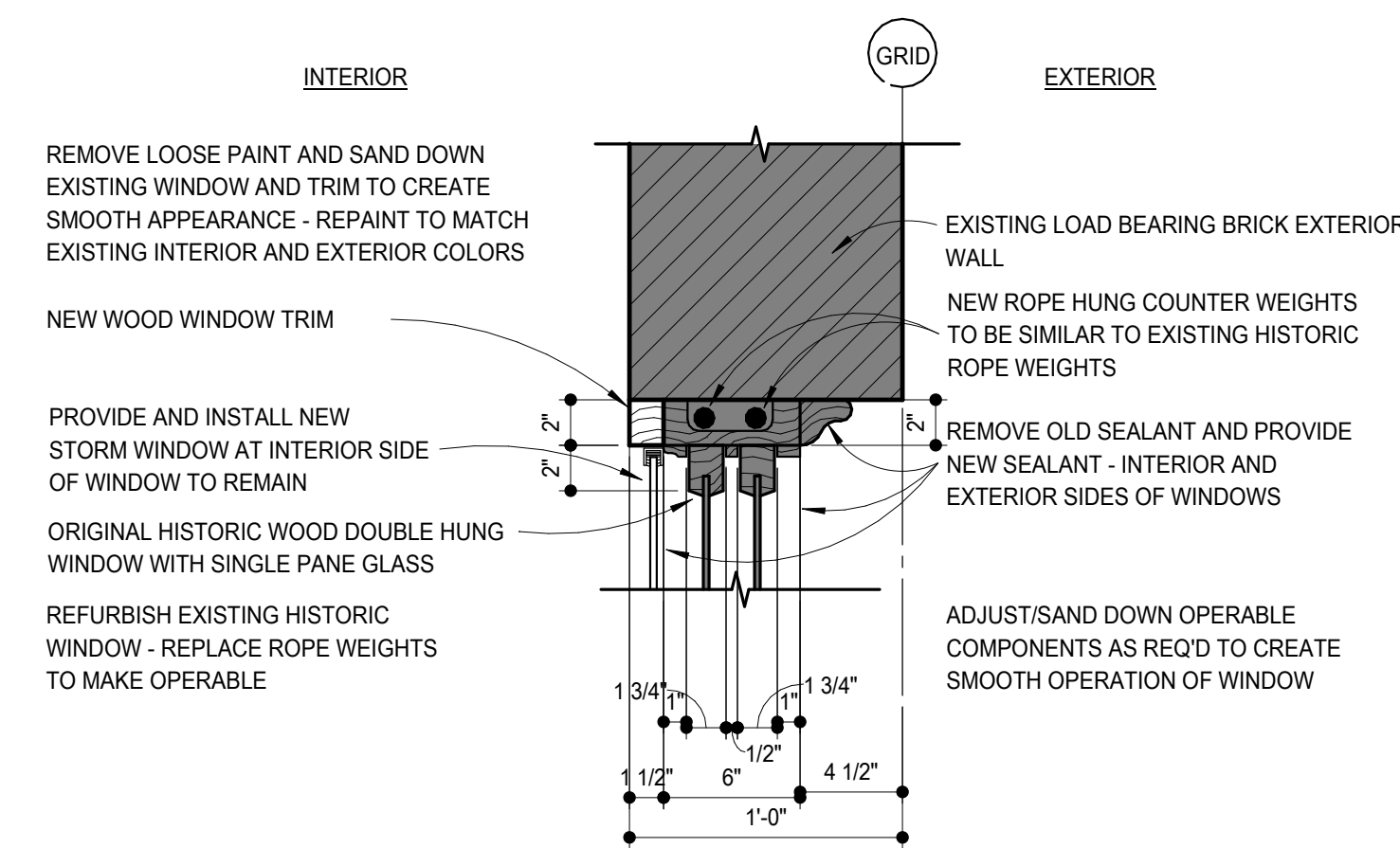


**EXISTING SILL DETAIL AT TYP  
SECOND FLOOR WINDOW**  
7  
A6.1 1 1/2" = 1'-0"

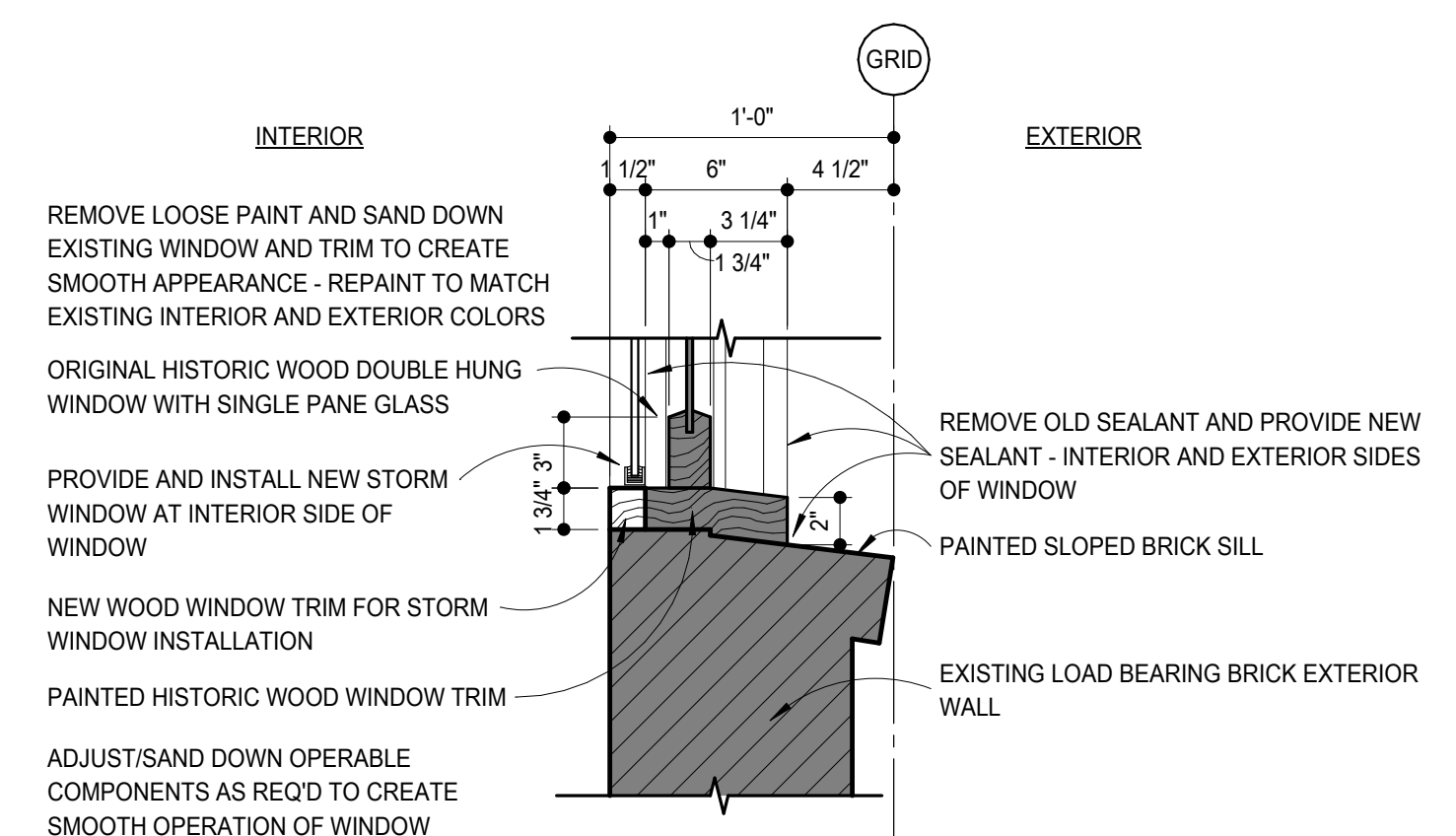
**EXISTING THIRD FLOOR WINDOWS  
PROPOSED MODIFICATIONS  
(NEW STORMS)**



**PROPOSED HEAD DETAIL MODIFICATIONS  
AT TYPICAL 3RD FLOOR WINDOW**  
6  
A6.1 1 1/2" = 1'-0"

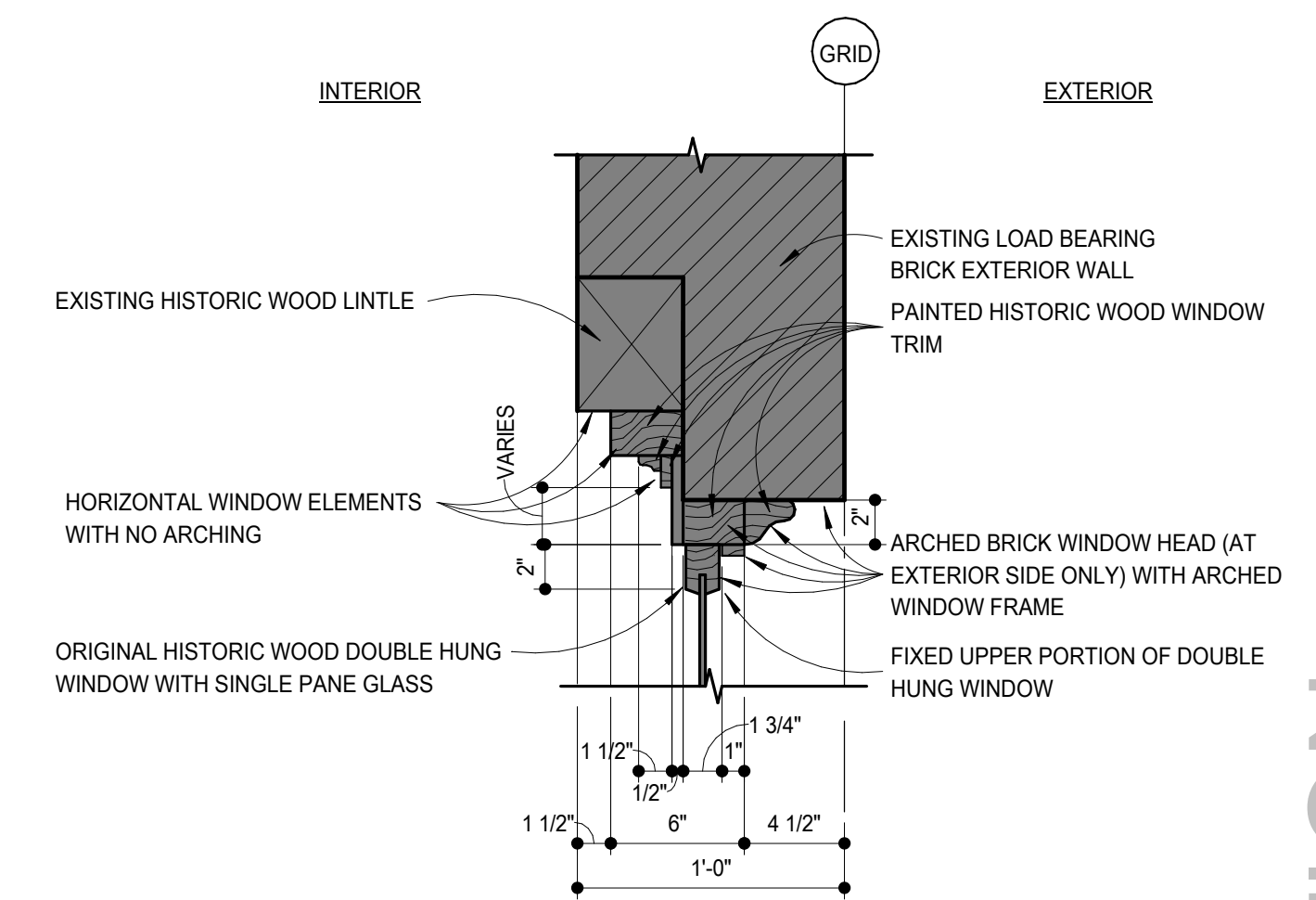


**PROPOSED JAMB DETAIL MODIFICATIONS  
AT TYPICAL 3RD FLOOR WINDOW**  
4  
A6.1 1 1/2" = 1'-0"

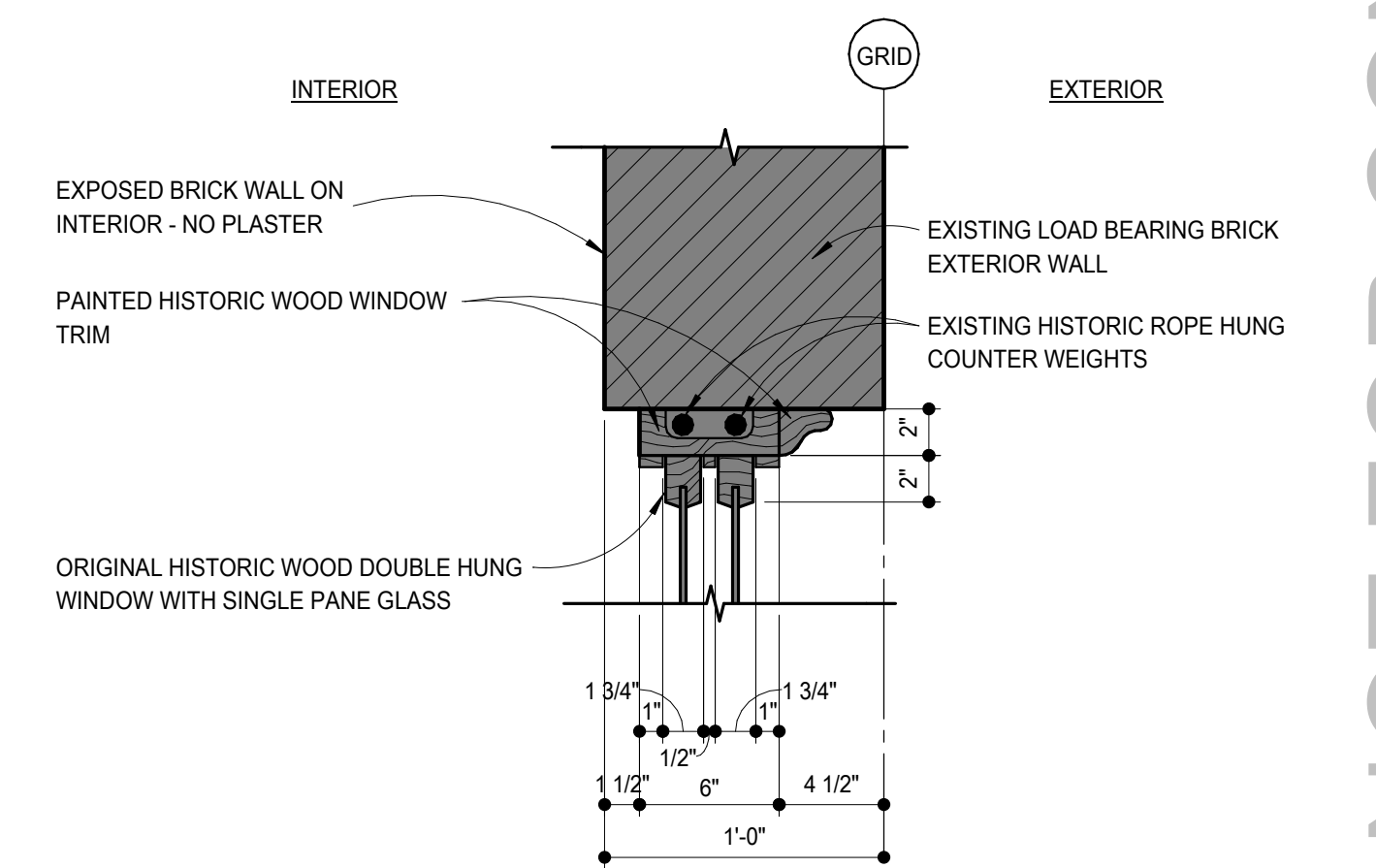


**PROPOSED SILL DETAIL MODIFICATIONS  
AT TYPICAL 3RD FLOOR WINDOW**  
2  
A6.1 1 1/2" = 1'-0"

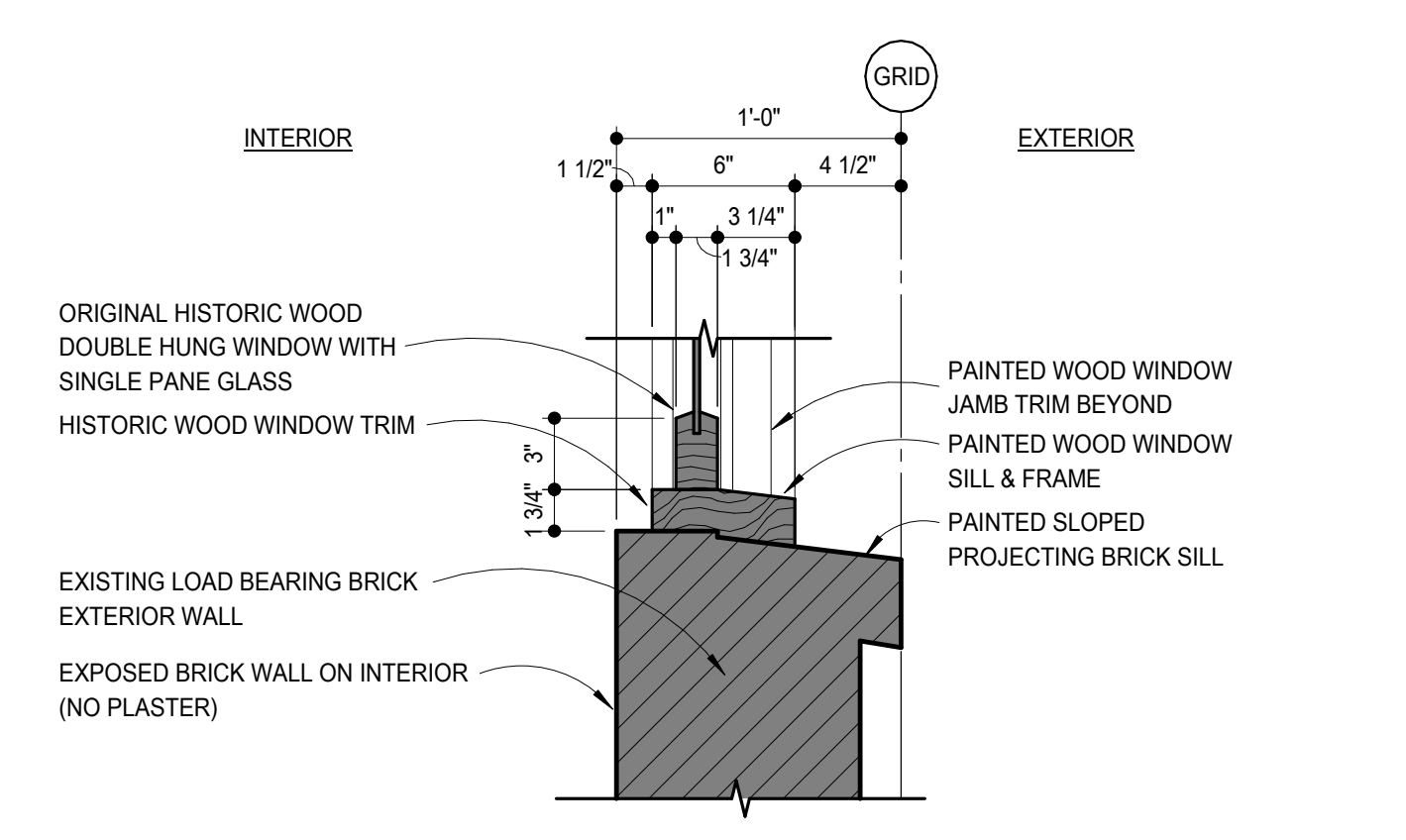
**EXISTING THIRD FLOOR WINDOWS  
EXISTING CONDITIONS**



**EXISTING HEAD DETAIL AT  
TYPICAL 3RD FLOOR WINDOW**  
5  
A6.1 1 1/2" = 1'-0"



**EXISTING JAMB DETAIL AT  
TYPICAL 3RD FLOOR WINDOW**  
3  
A6.1 1 1/2" = 1'-0"



**EXISTING SILL DETAIL AT  
TYPICAL 3RD FLOOR WINDOW**  
1  
A6.1 1 1/2" = 1'-0"

NOT FOR CONSTRUCTION

**HISTORIC WINDOW  
DETAILS**

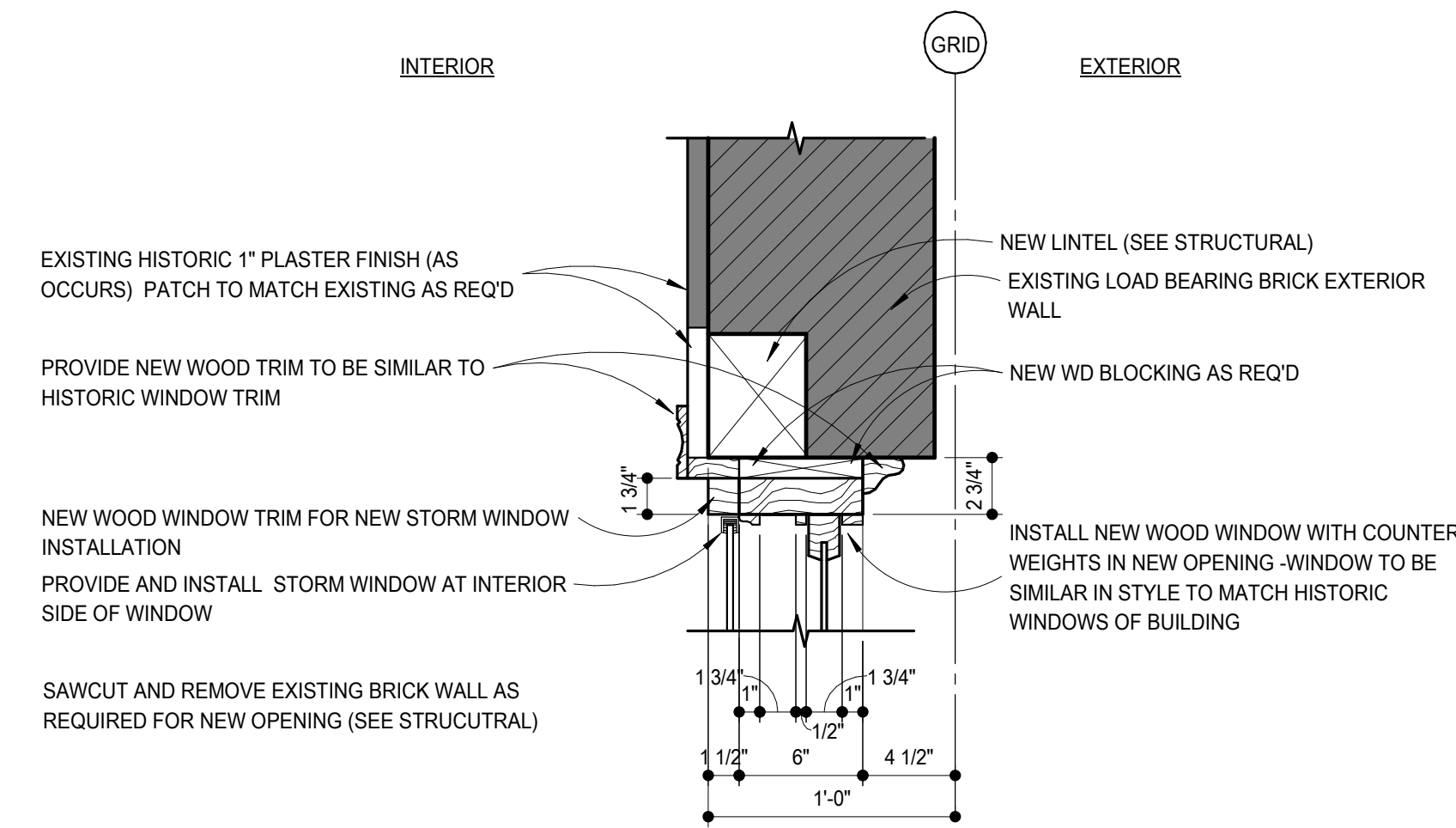
Issue No	Date
50% CD ISSUE	4-19-17
PVN REVISIONS	4-26-17
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	SRB
Checked by	DTP

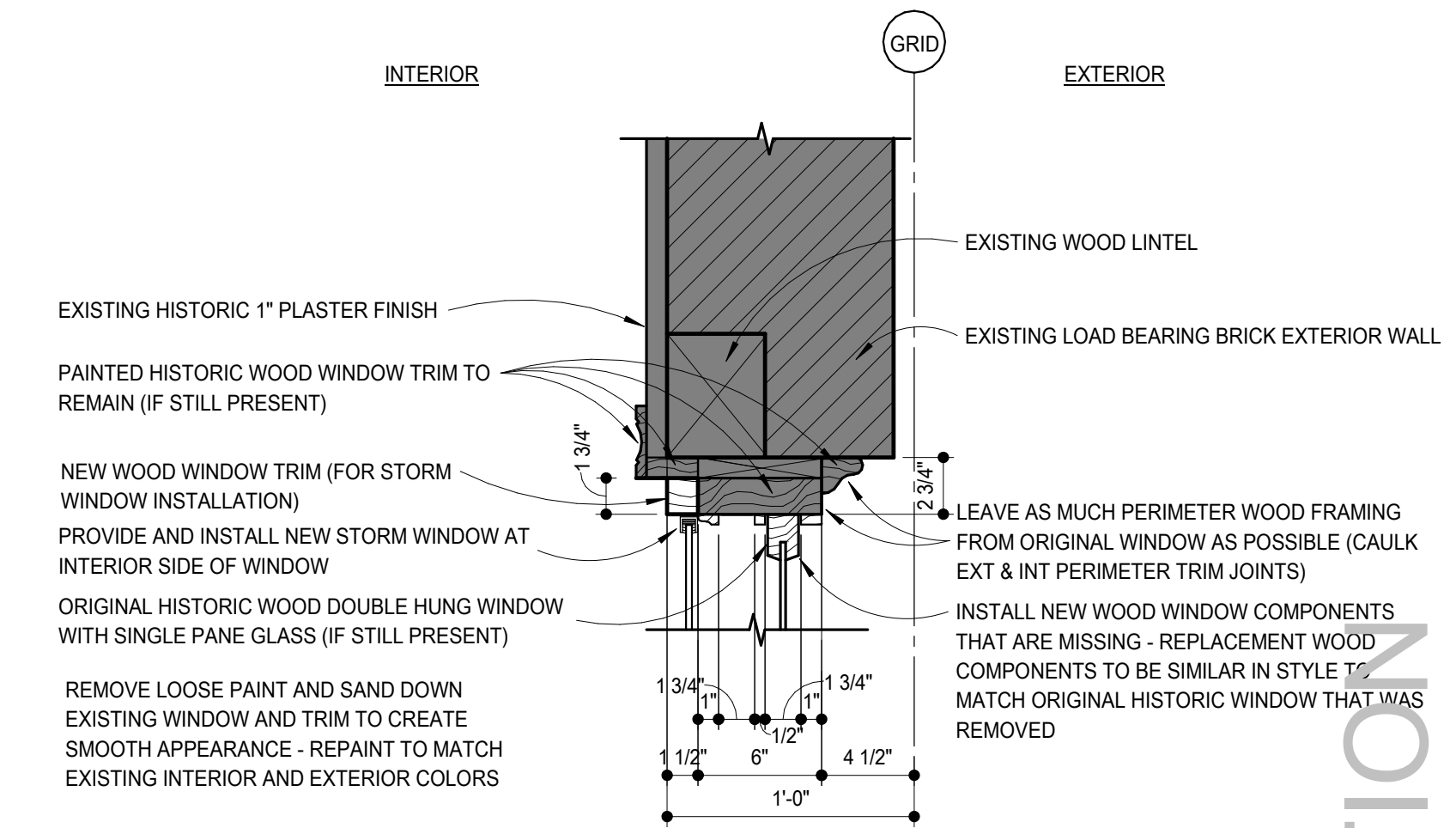
SHEET

**NEW WINDOWS  
IN NEW OPENINGS**

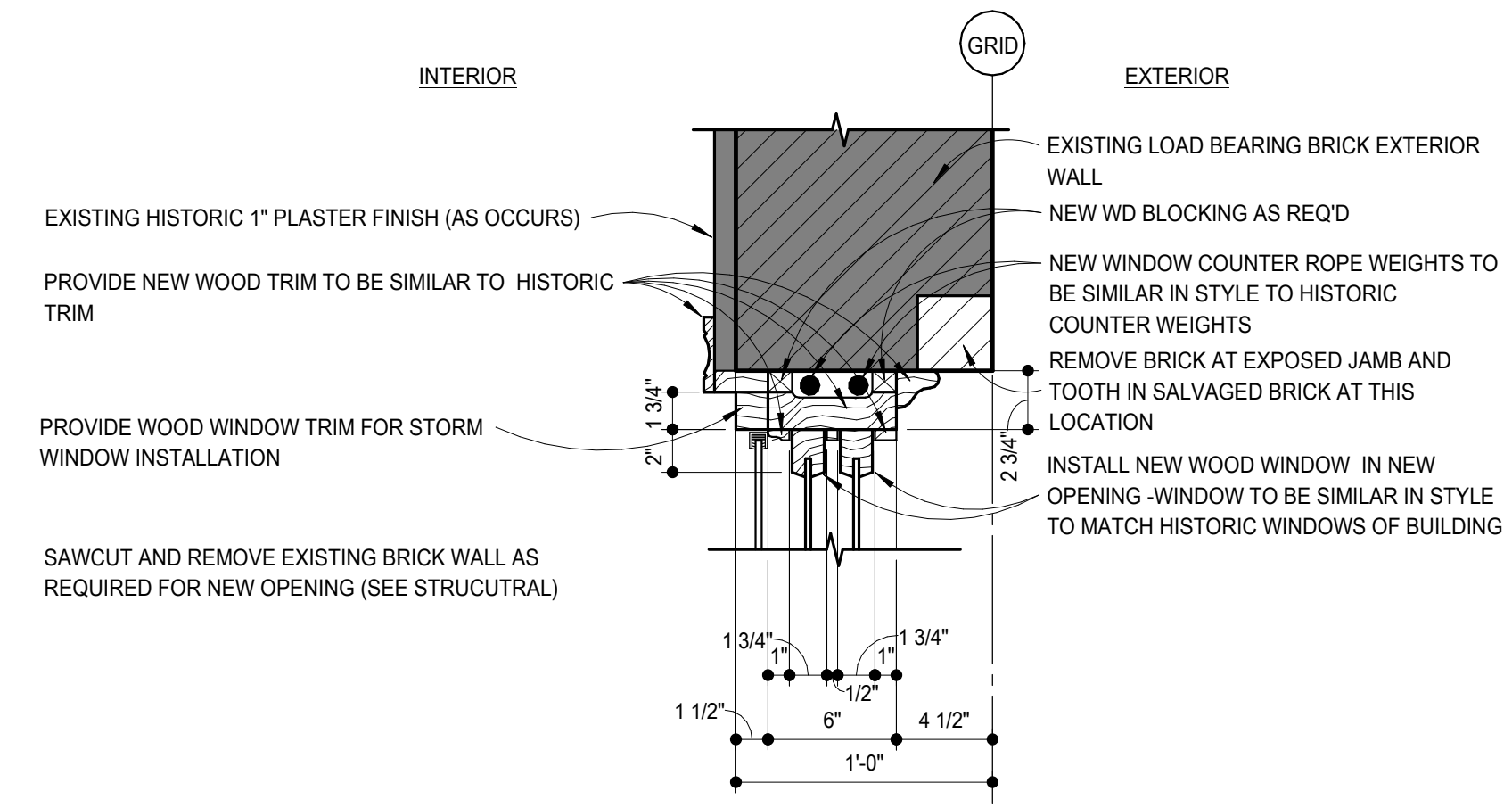
**REPLACEMENT WINDOWS  
IN EXISTING OPENINGS**



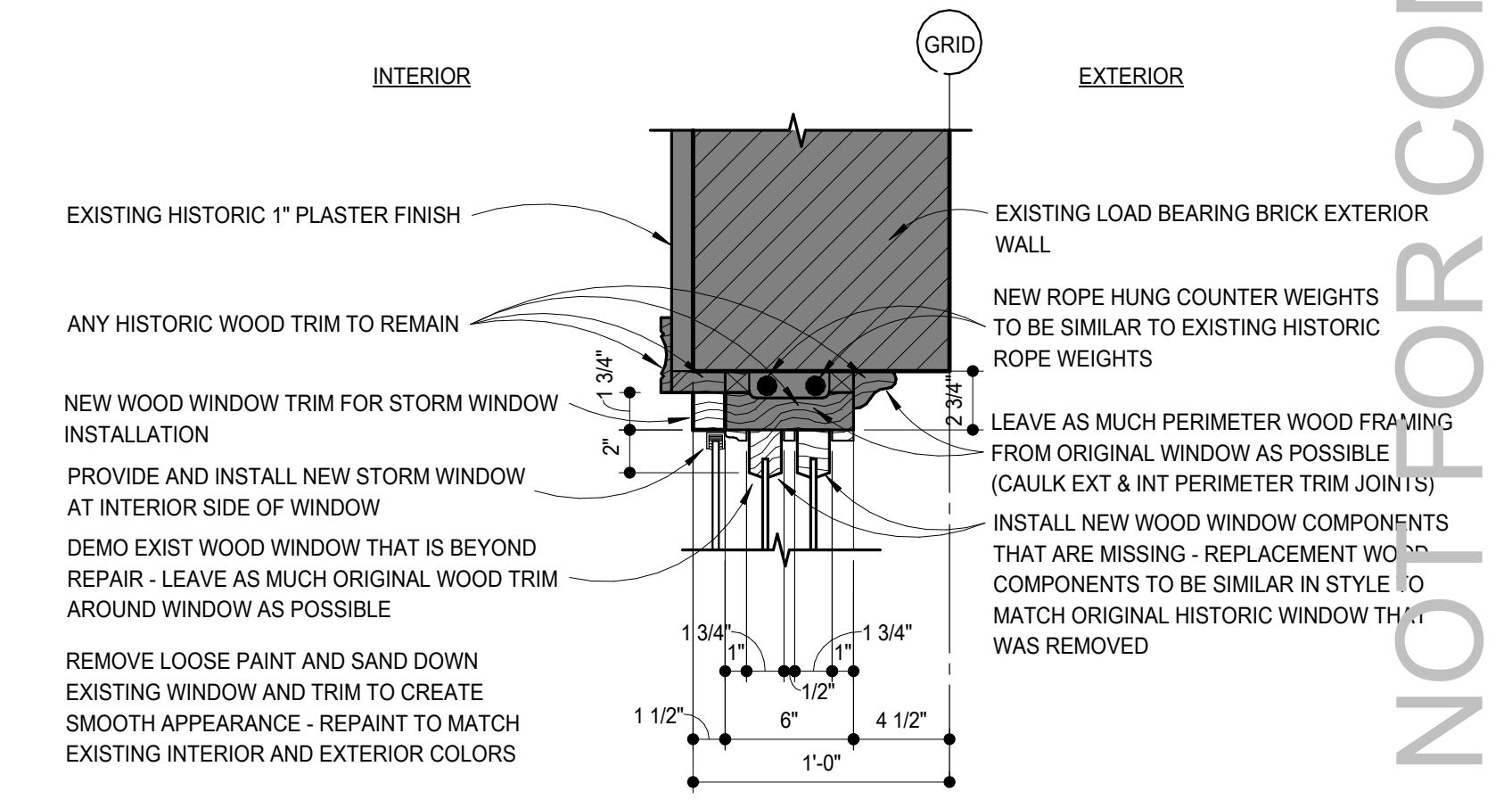
**PROPOSED HEAD DETAIL AT  
NEW WINDOW IN NEW OPENING**  
1 1/2" = 1'-0"



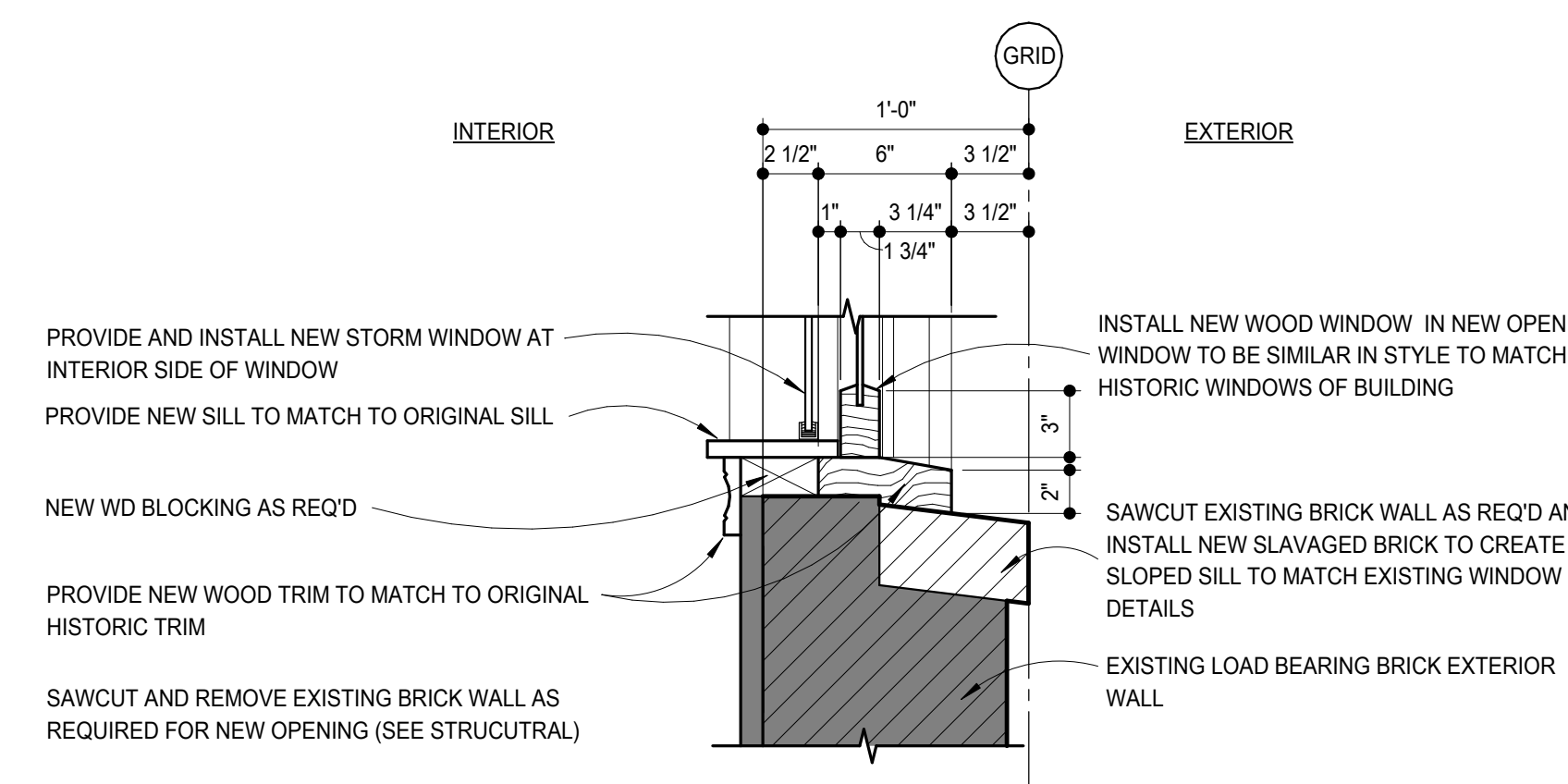
**PROPOSED HEAD DETAIL AT  
REPLACEMENT WINDOW**  
1 1/2" = 1'-0"



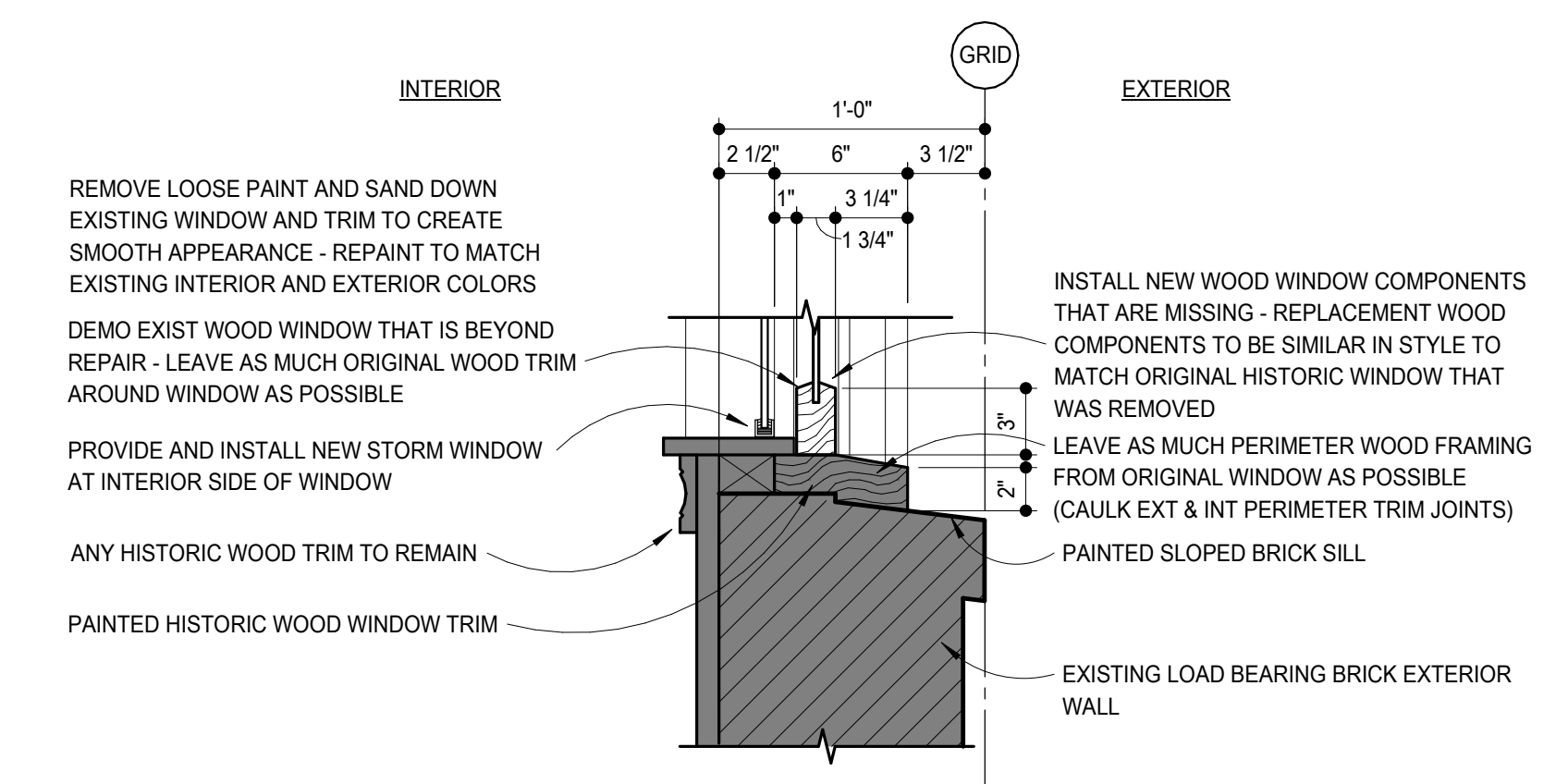
**PROPOSED JAMB DETAIL AT  
NEW WINDOW IN NEW OPENING**  
1 1/2" = 1'-0"



**PROPOSED JAMB DETAIL AT  
REPLACEMENT WINDOW**  
1 1/2" = 1'-0"



**PROPOSED SILL DETAIL AT  
NEW WINDOW IN NEW OPENING**  
1 1/2" = 1'-0"



**PROPOSED SILL DETAIL AT  
REPLACEMENT WINDOW**  
1 1/2" = 1'-0"

NOT FOR CONSTRUCTION

**HISTORIC WINDOW  
DETAILS**

Revision	
PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	SRB
Checked by	DTP

SHEET

**A6.2**



NOT FOR CONSTRUCTION

DETAILS

HPC REVISIONS 2-2-18

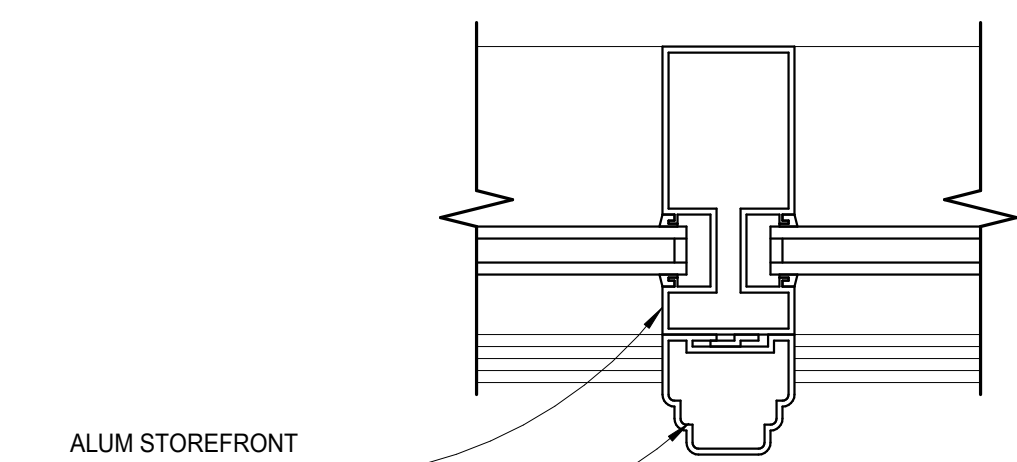
Commission No: 55678-17047  
Drawn by: Author  
Checked by: Checker

SHEET

A6.4

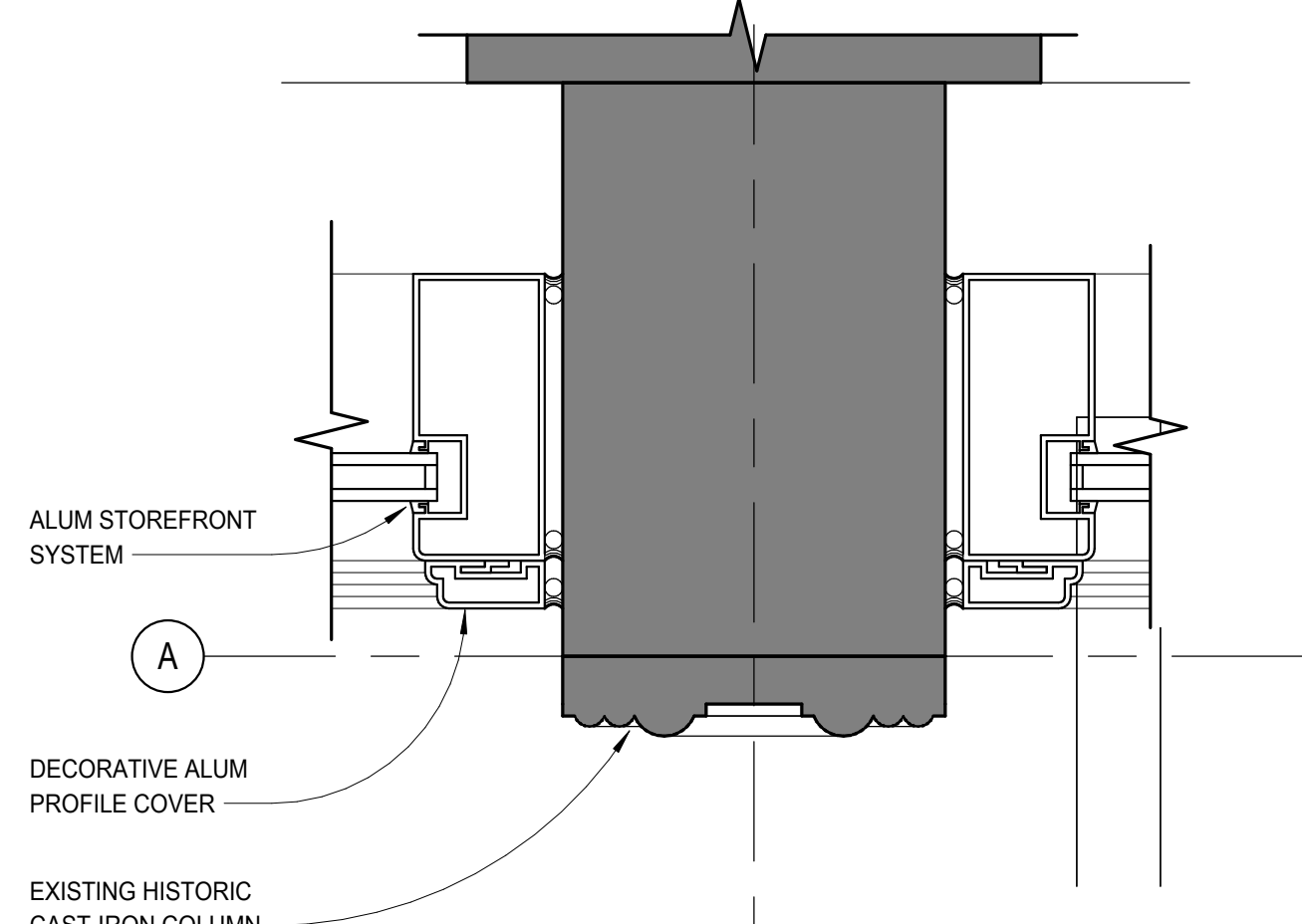


NOT FOR CONSTRUCTION



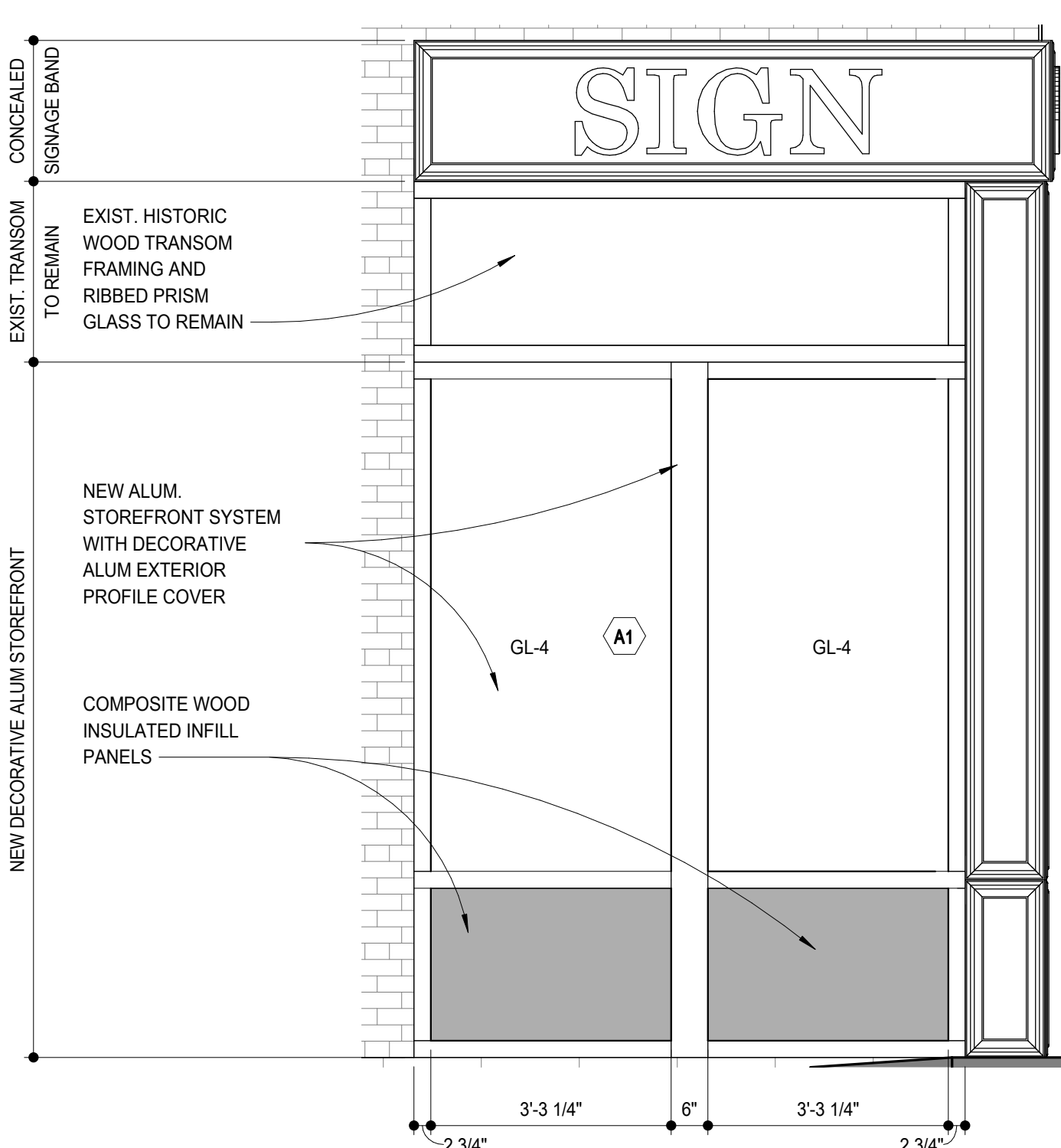
ALUM STOREFRONT SYSTEM  
DECORATIVE ALUM PROFILE COVER

8 STOREFRONT MULLION DETAIL  
3" = 1'-0"

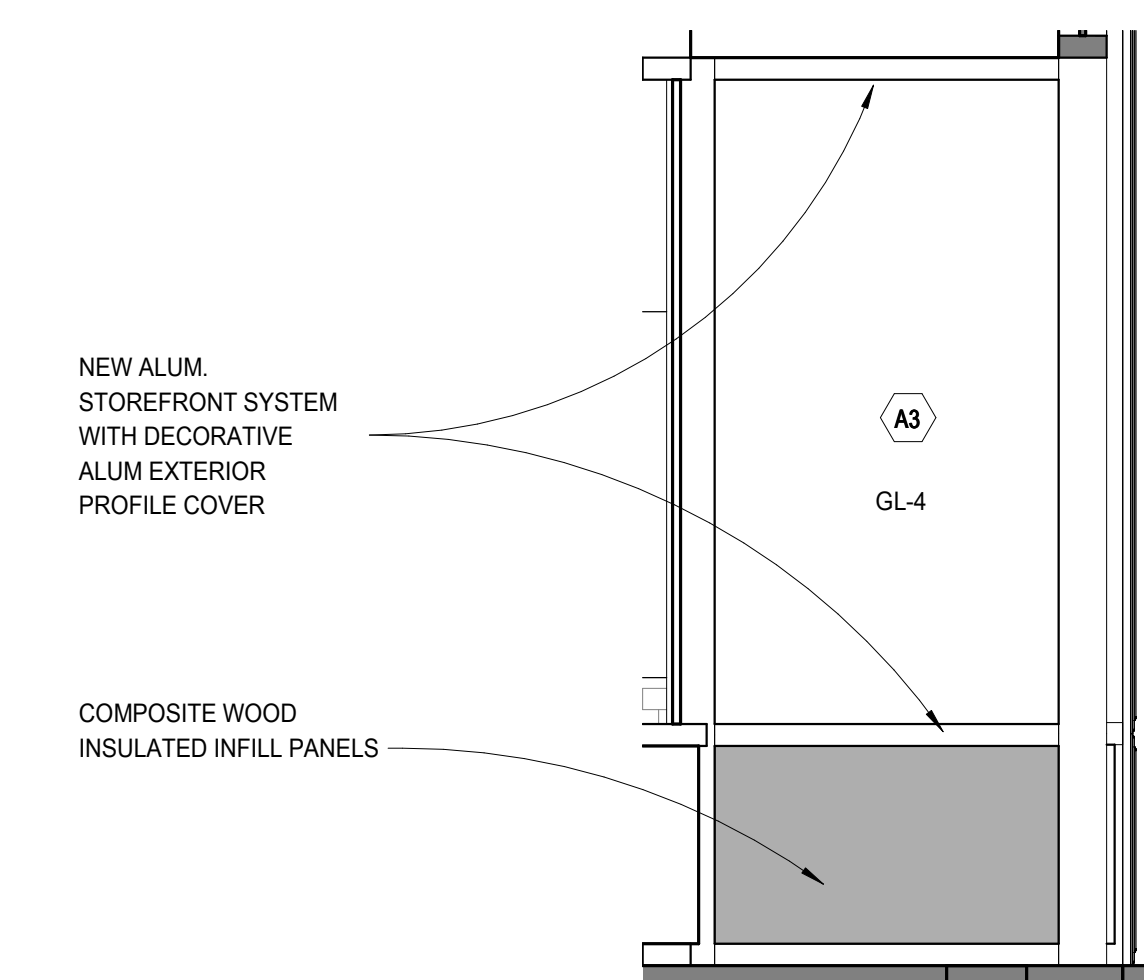


ALUM STOREFRONT SYSTEM  
DECORATIVE ALUM PROFILE COVER  
EXISTING HISTORIC CAST-IRON COLUMN

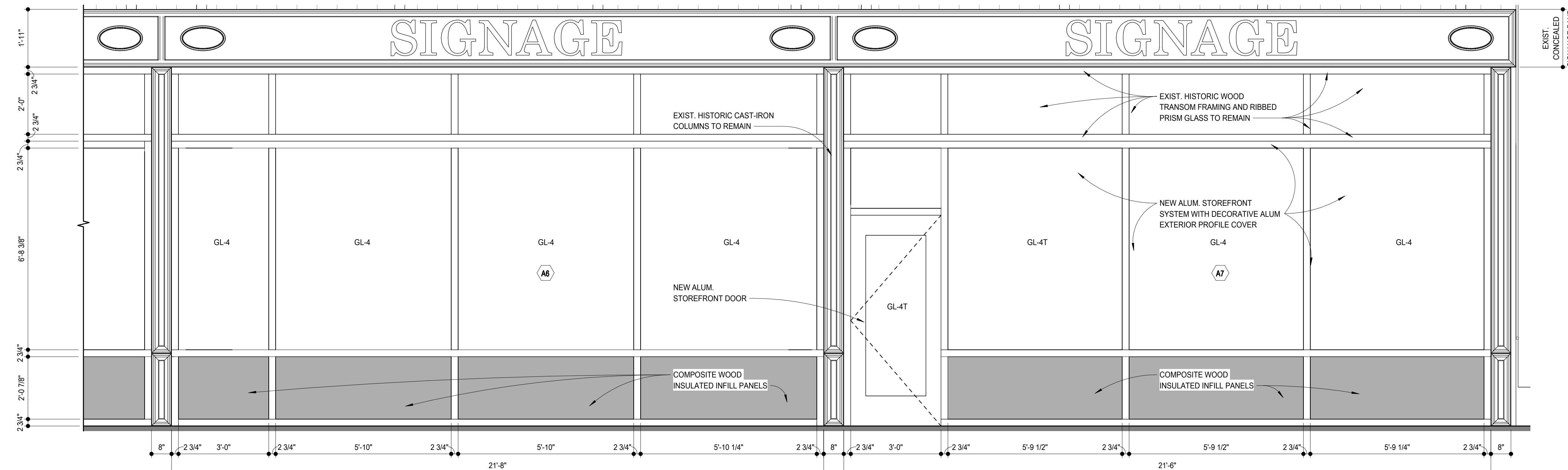
7 STOREFRONT JAMB DETAIL  
3" = 1'-0"



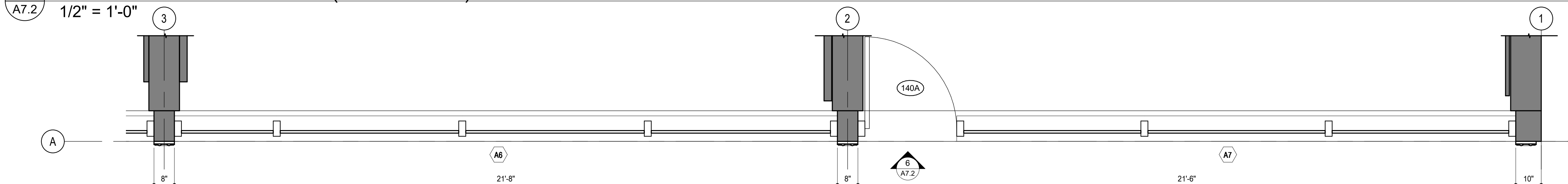
4 STOREFRONT ELEVATION  
1/2" = 1'-0"



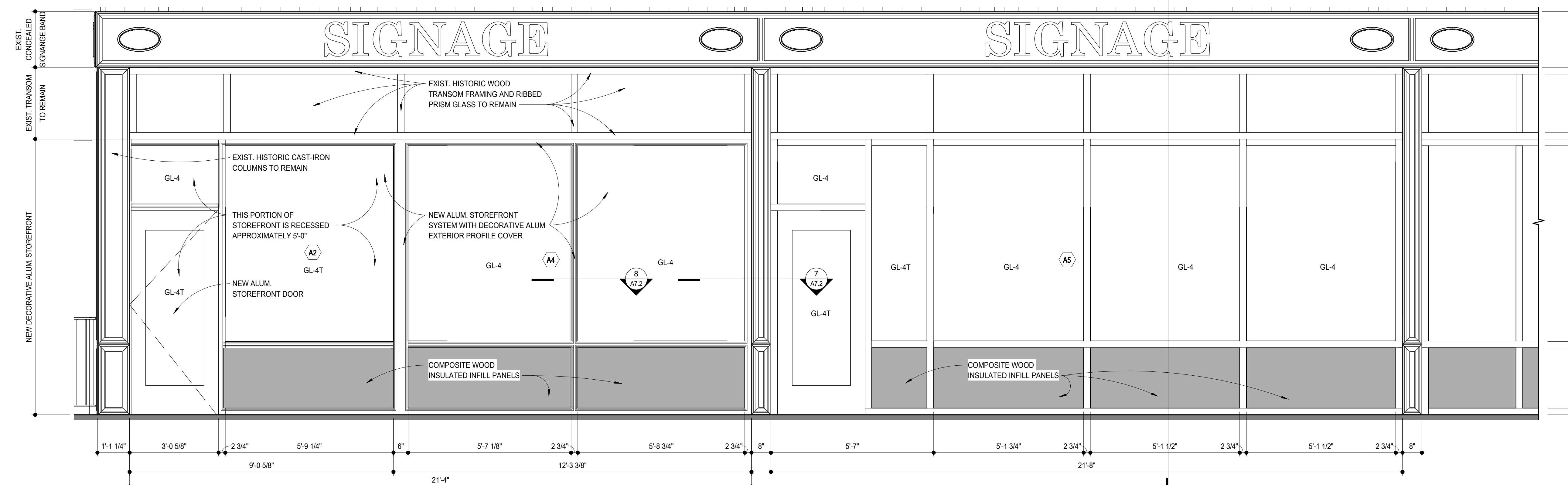
2 STOREFRONT ELEV  
1/2" = 1'-0"



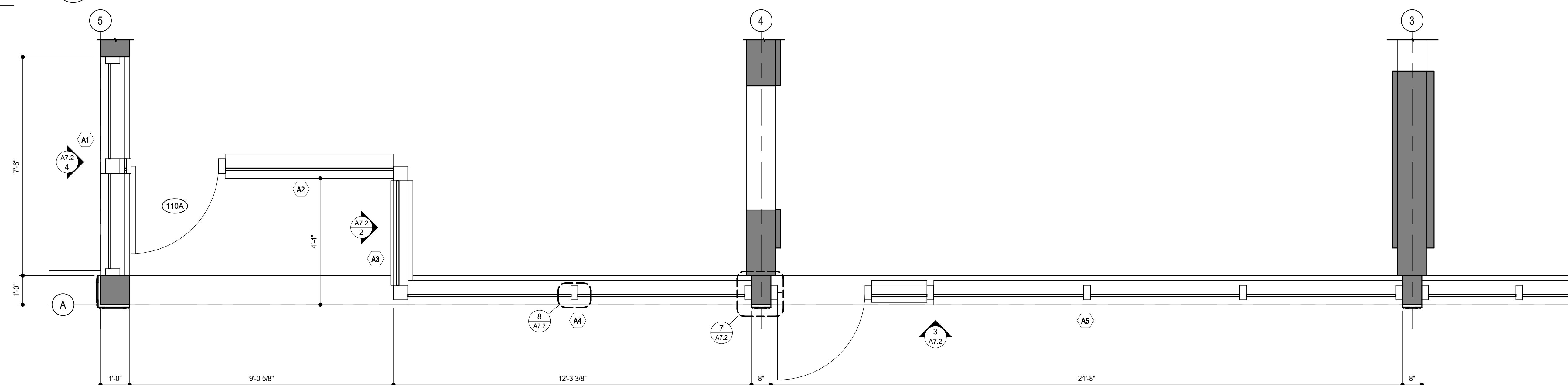
6 STOREFRONT ELEVATION (CONTINUED)  
1/2" = 1'-0"



5 FIRST LEVEL STOREFRONT PLAN (CONTINUED)  
1/2" = 1'-0"



3 STOREFRONT ELEVATION  
1/2" = 1'-0"



1 FIRST LEVEL STOREFRONT PLAN  
1/2" = 1'-0"

STOREFRONT FRAME ELEVATIONS

Part 2 Amend. 1 11-30-17  
HPC REVISIONS 2-2-18

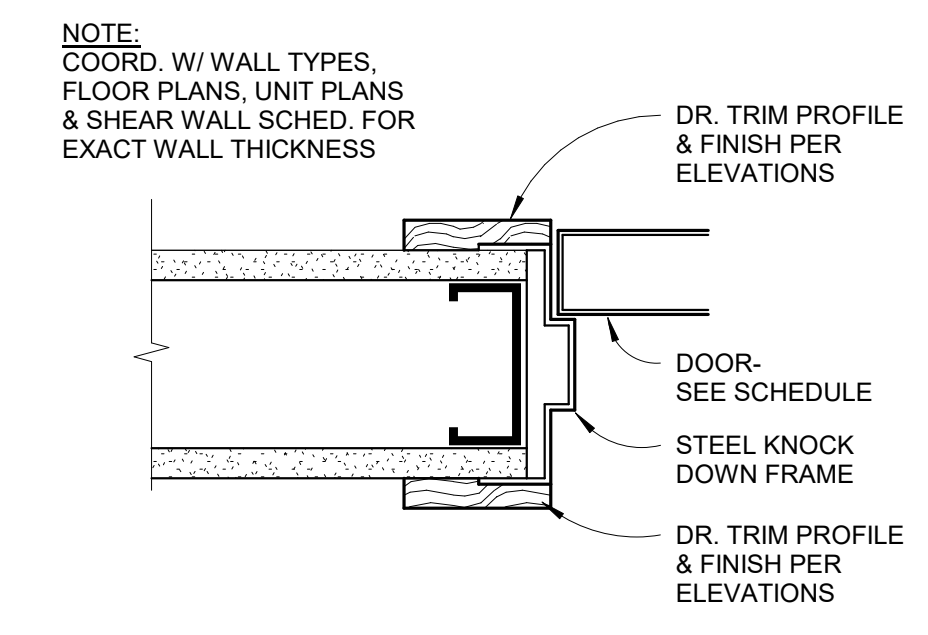
Commission No. 55678-17047  
Drawn by LL  
Checked by DTP

SHEET

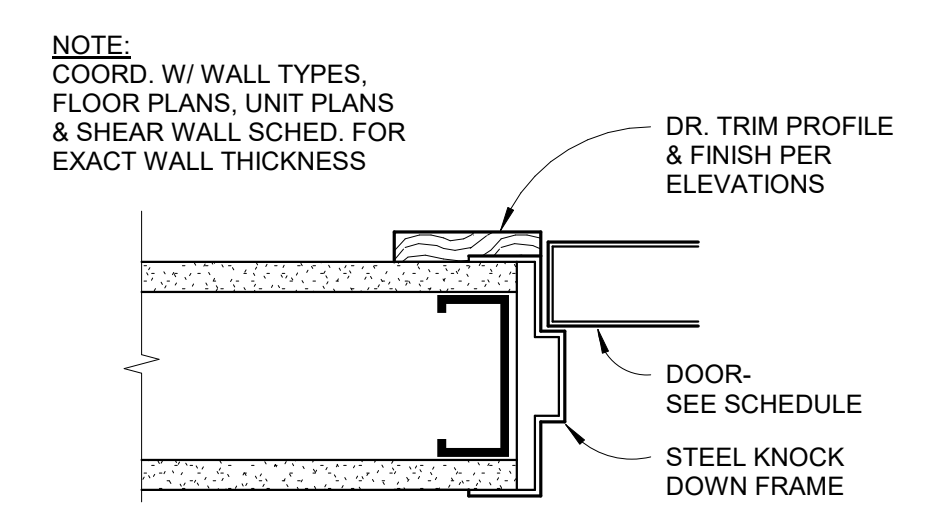
A7.2

1" = 12" SCALE  
C:\Revol Projects\05078-17047\_Seeded Renovation\05078-17047\_Sheet.dwg

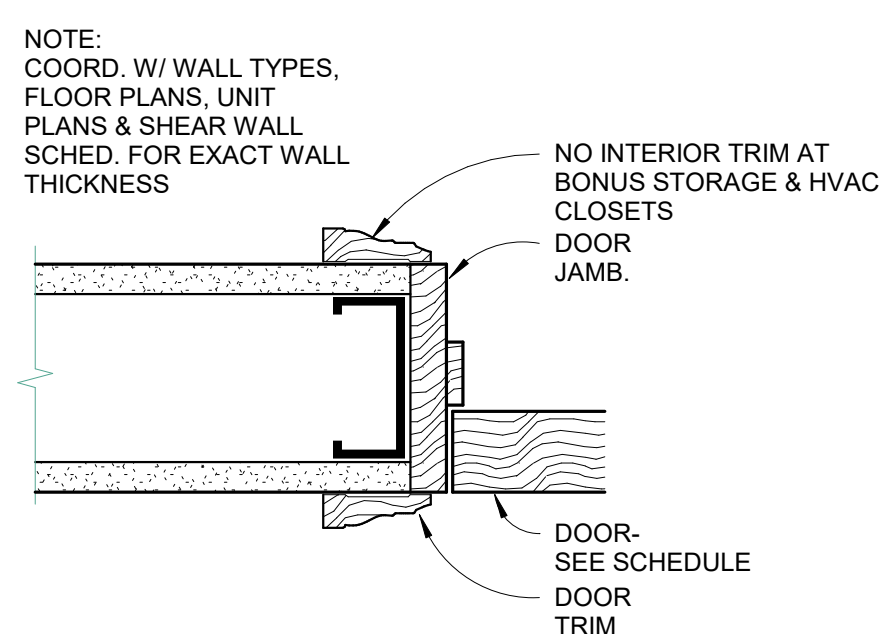
NOT FOR CONSTRUCTION



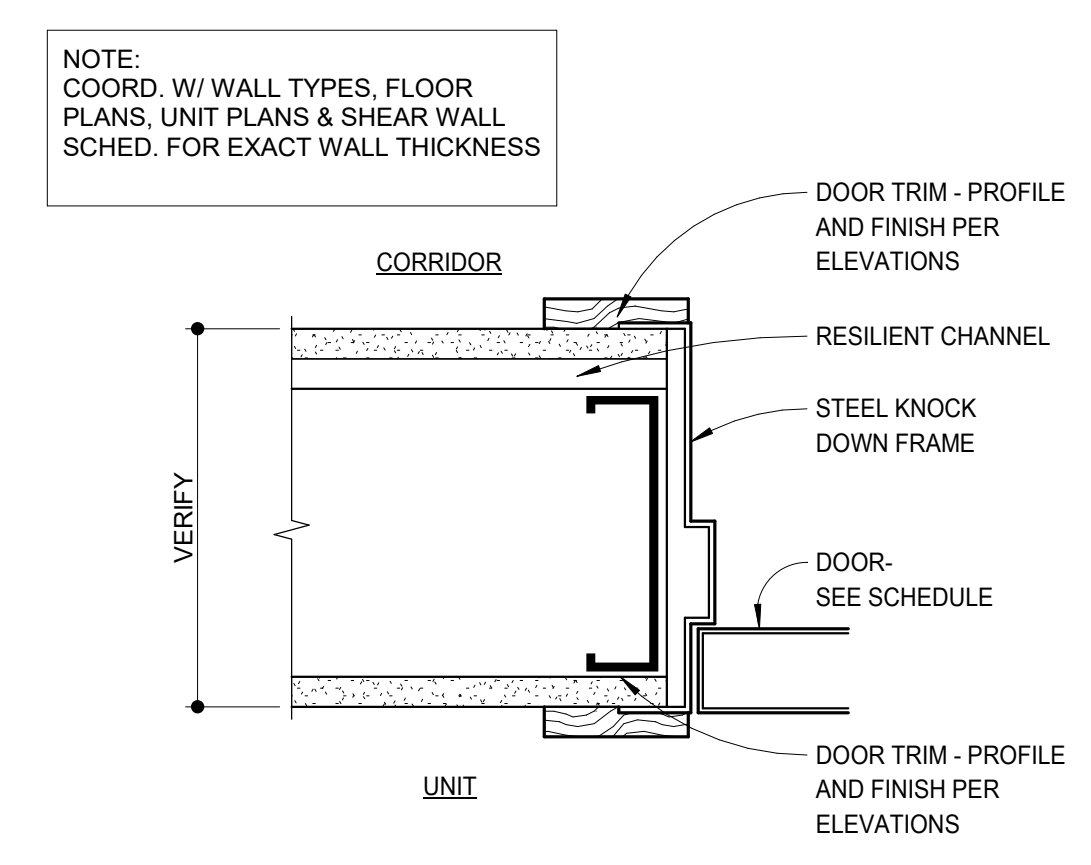
24  
A7.3  
**K.D. JAMB DETAIL - TRIM BOTH SIDES**  
3" = 1'-0"



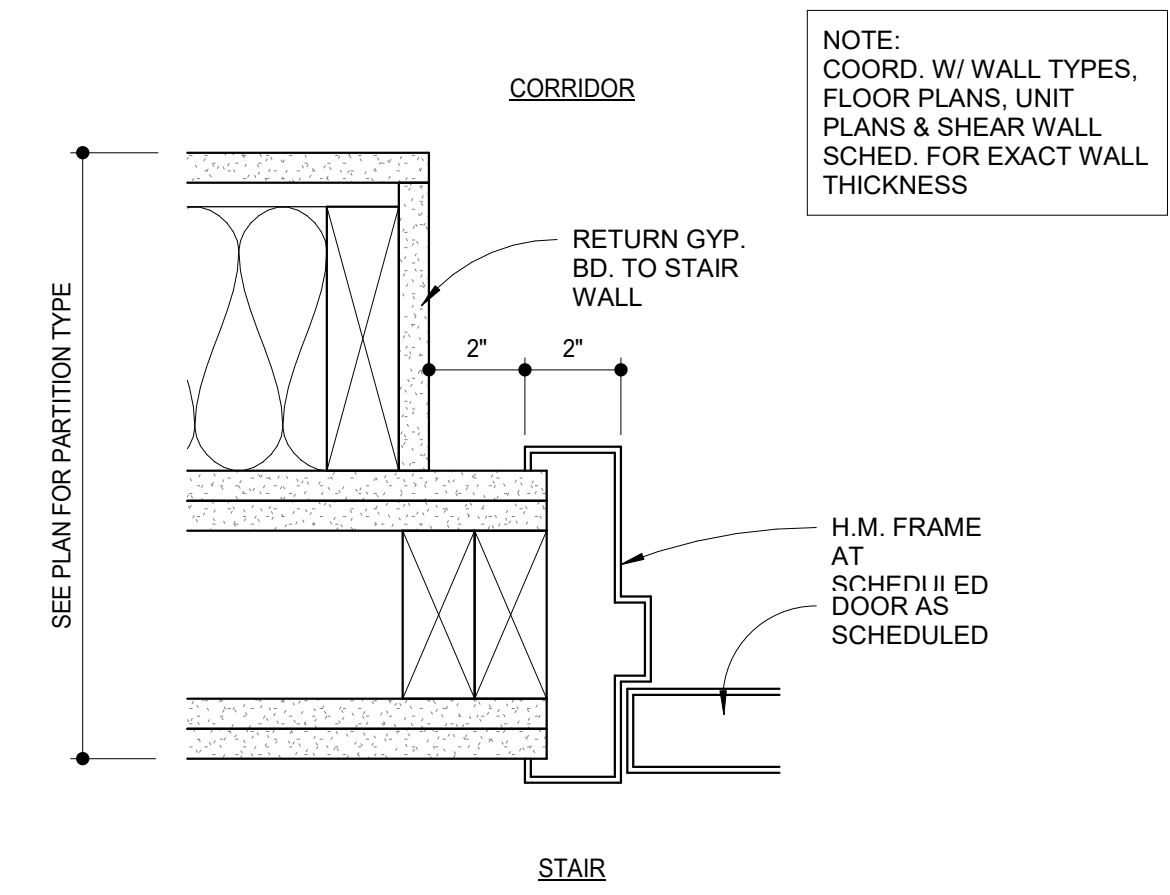
23  
A7.3  
**K.D. JAMB DETAIL - TRIM ONE SIDE**  
3" = 1'-0"



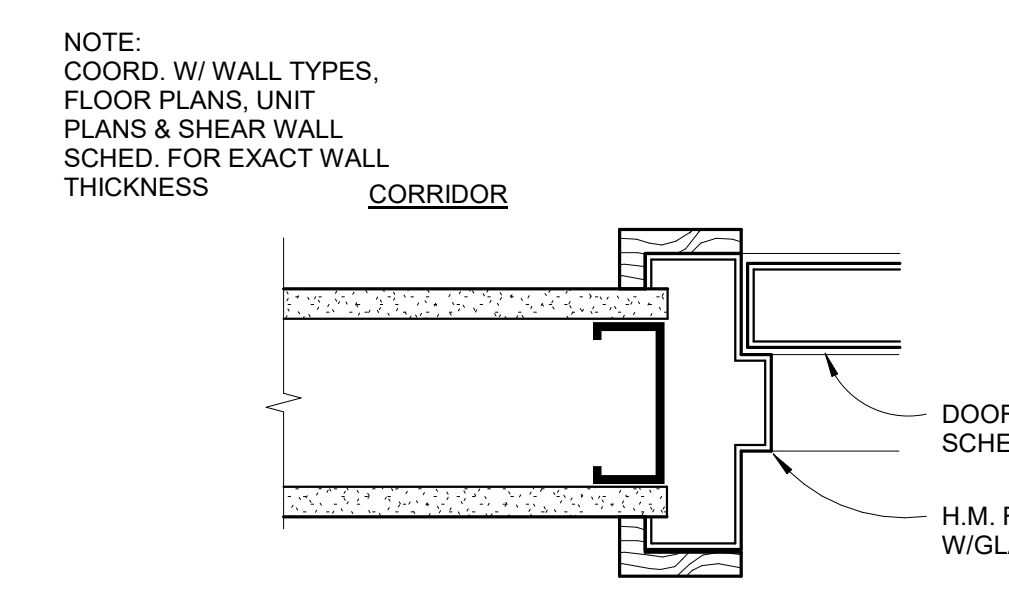
22  
A7.3  
**INTERIOR UNIT DR DETAIL**  
3" = 1'-0"



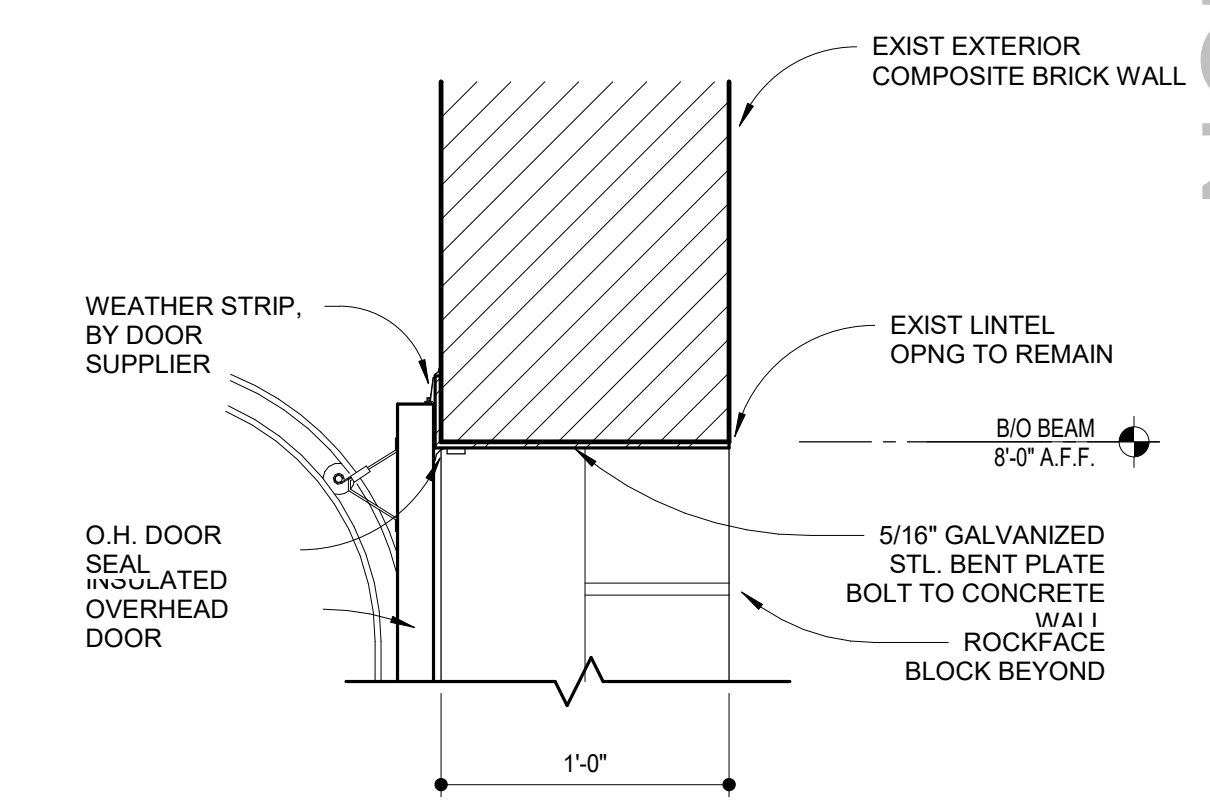
21  
A7.3  
**UNIT ENTRY K.D. JAMB DETAIL**  
3" = 1'-0"



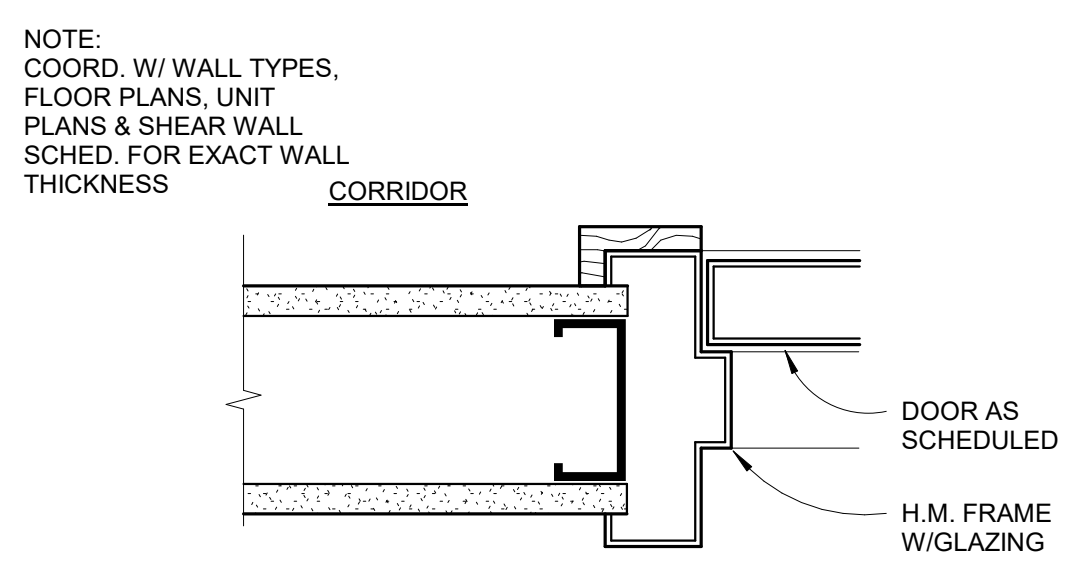
20  
A7.3  
**DOOR JAMB DETAIL AT STAIR**  
3" = 1'-0"



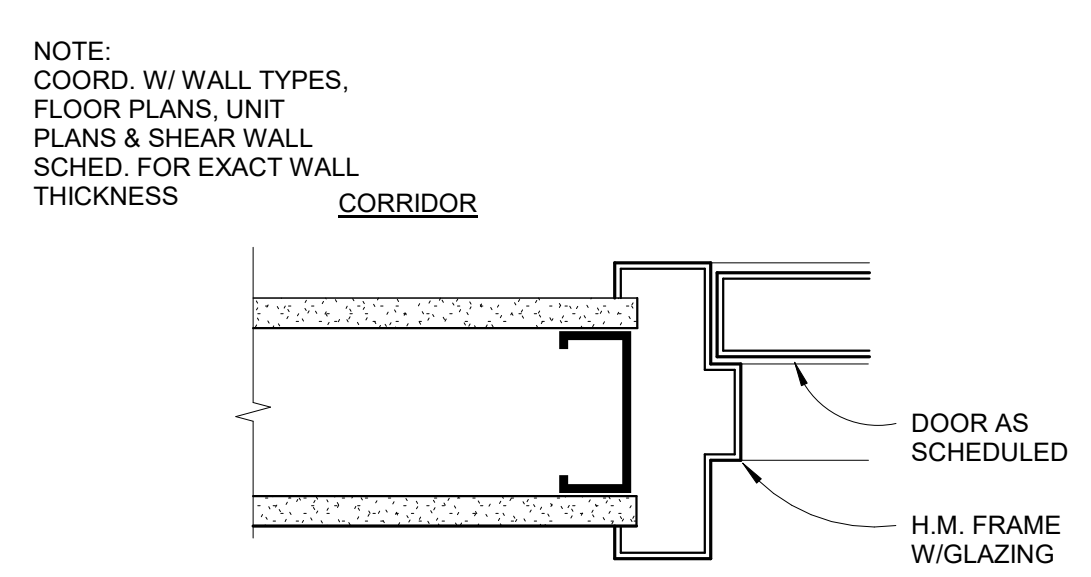
19  
A7.3  
**HM DOOR JAMB DETAIL - TRIM BOTH SIDES**  
3" = 1'-0"



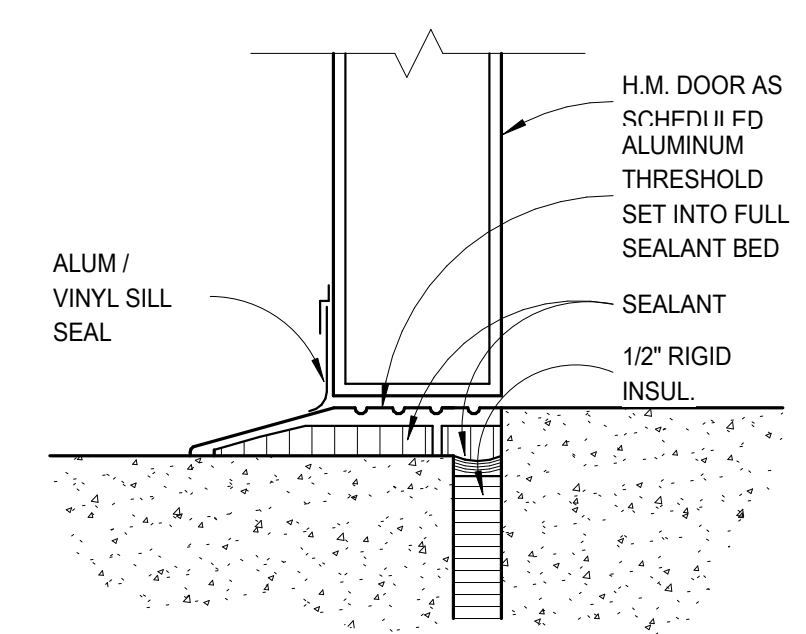
25  
A7.3  
**OVERHEAD DOOR HEAD**  
1 1/2" = 1'-0"



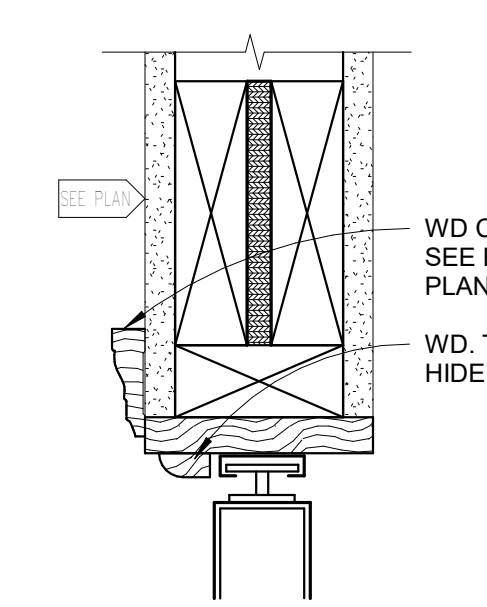
18  
A7.3  
**HM DOOR JAMB DETAIL - TRIM ONE SIDE**  
3" = 1'-0"



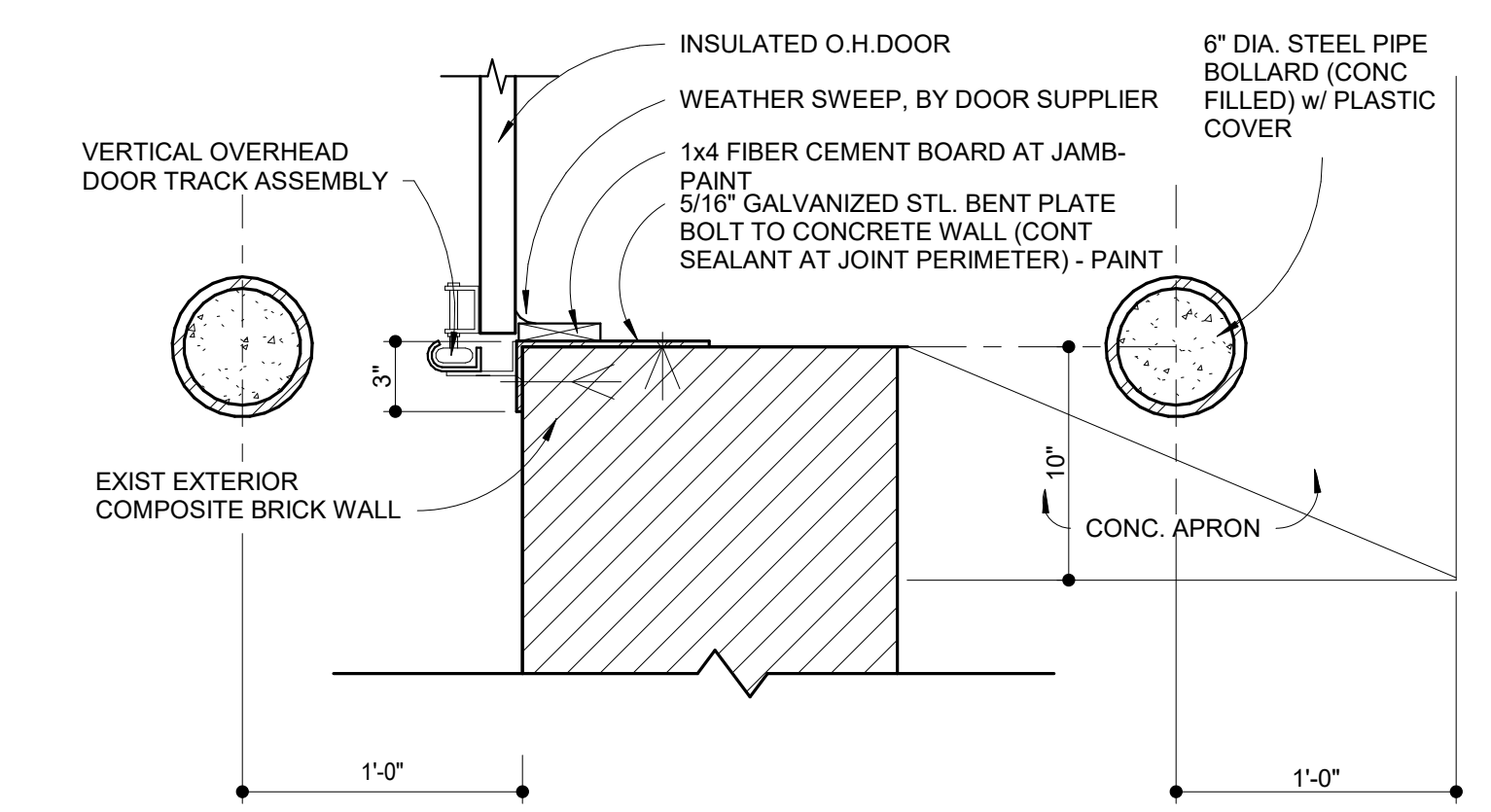
17  
A7.3  
**HM DOOR JAMB DETAIL - NO TRIM**  
3" = 1'-0"



10  
A7.3  
**THRESHOLD @ EXT. CONDITION**  
6" = 1'-0"



9  
A7.3  
**BI-FOLD DOOR HEAD DETAIL**  
3" = 1'-0"



6  
A7.3  
**OVERHEAD DOOR JAMB**  
1 1/2" = 1'-0"

**OPENING DETAILS**

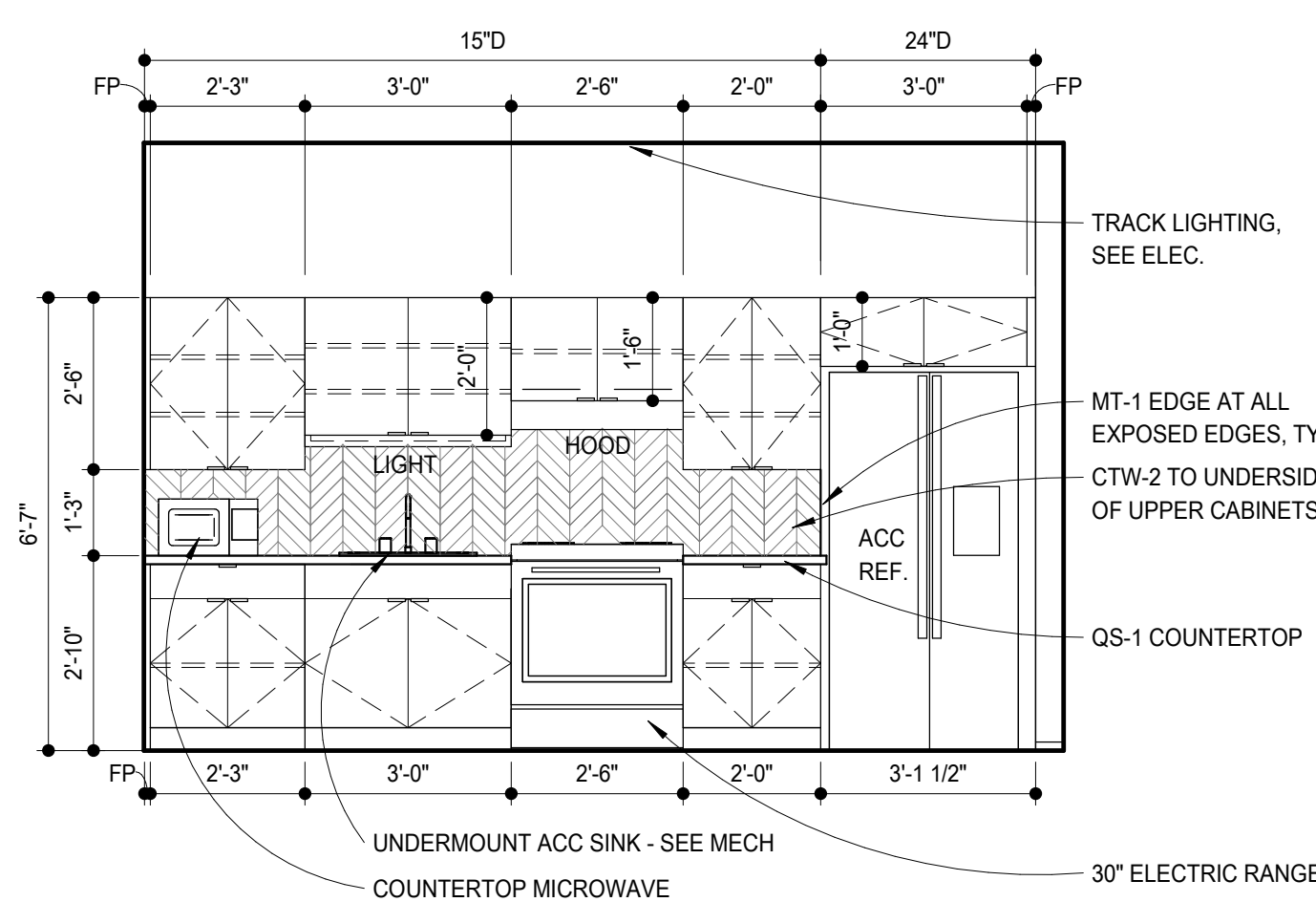
Part 2 Amend. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	Author
Checked by	Checker

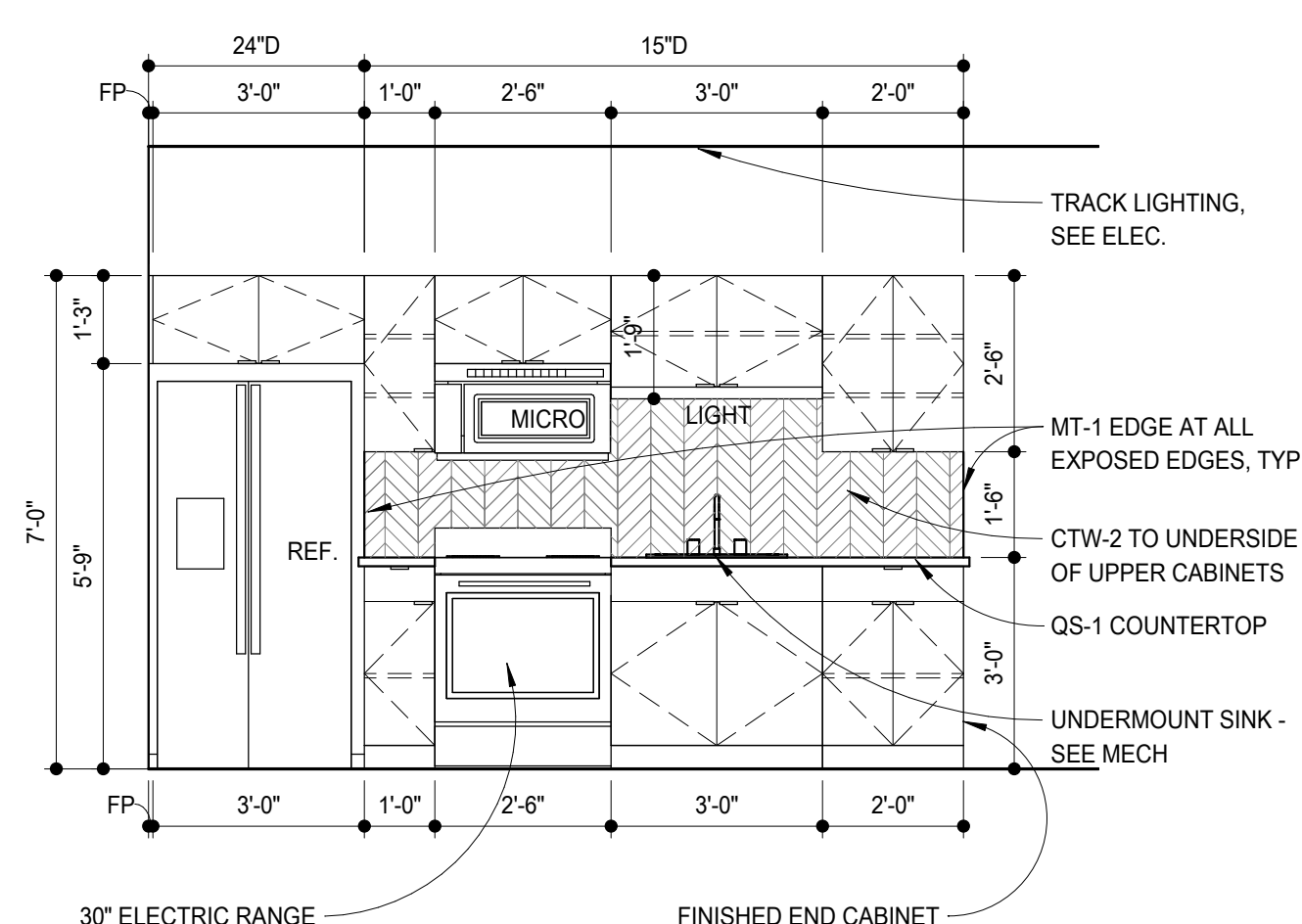
SHEET

**A7.3**

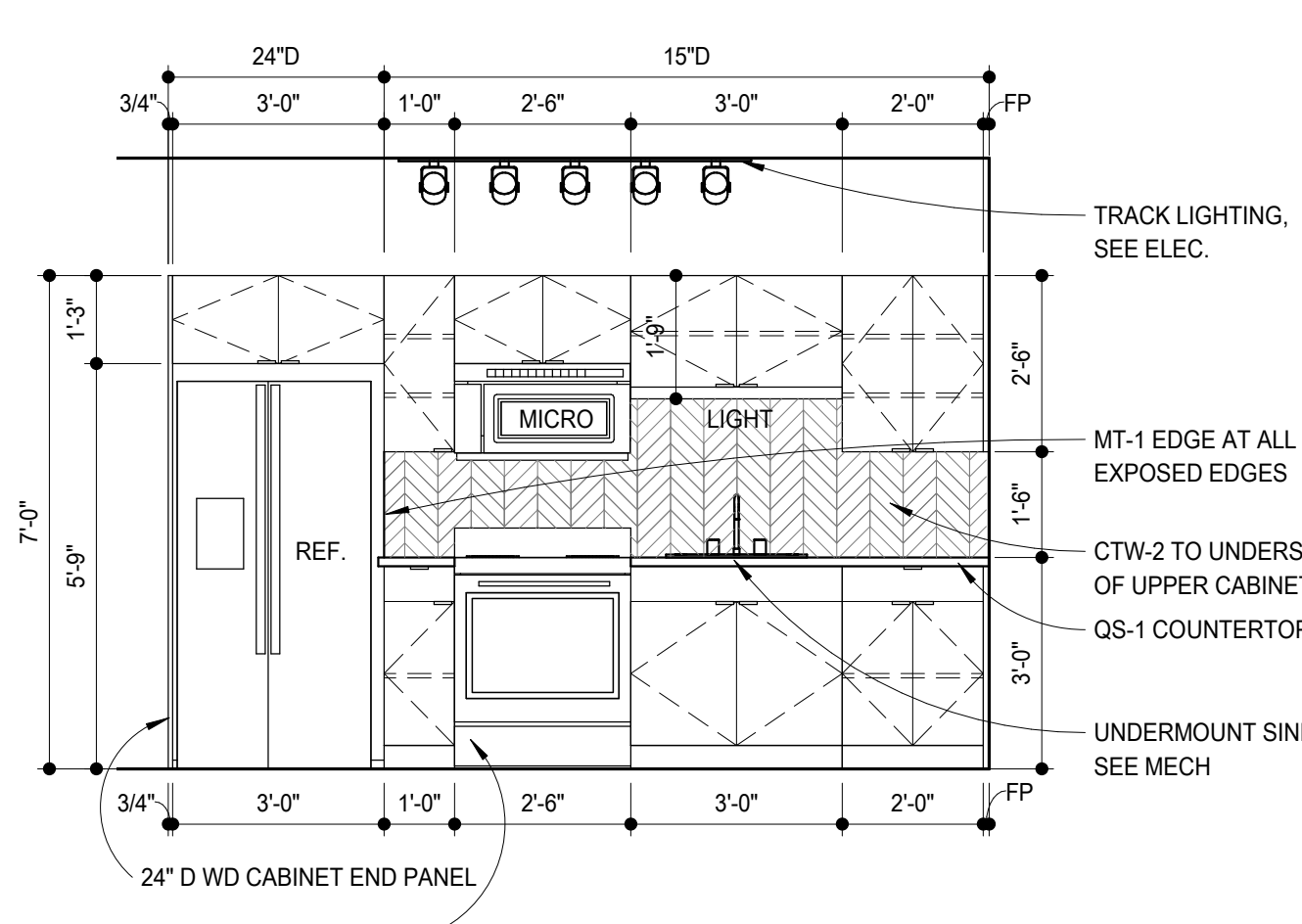
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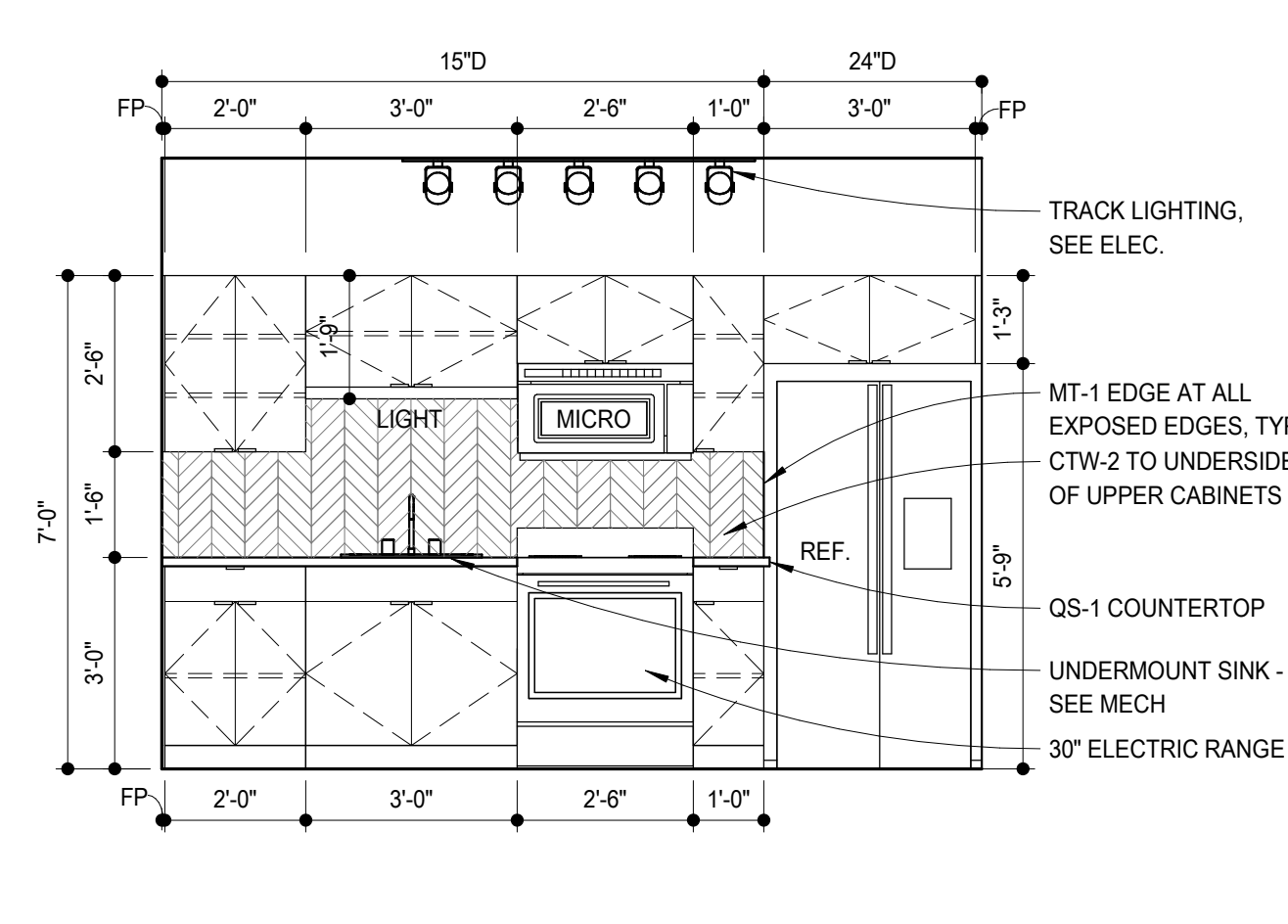
6 ACCESSIBLE KITCHEN  
A8.1 3/8" = 1'-0"



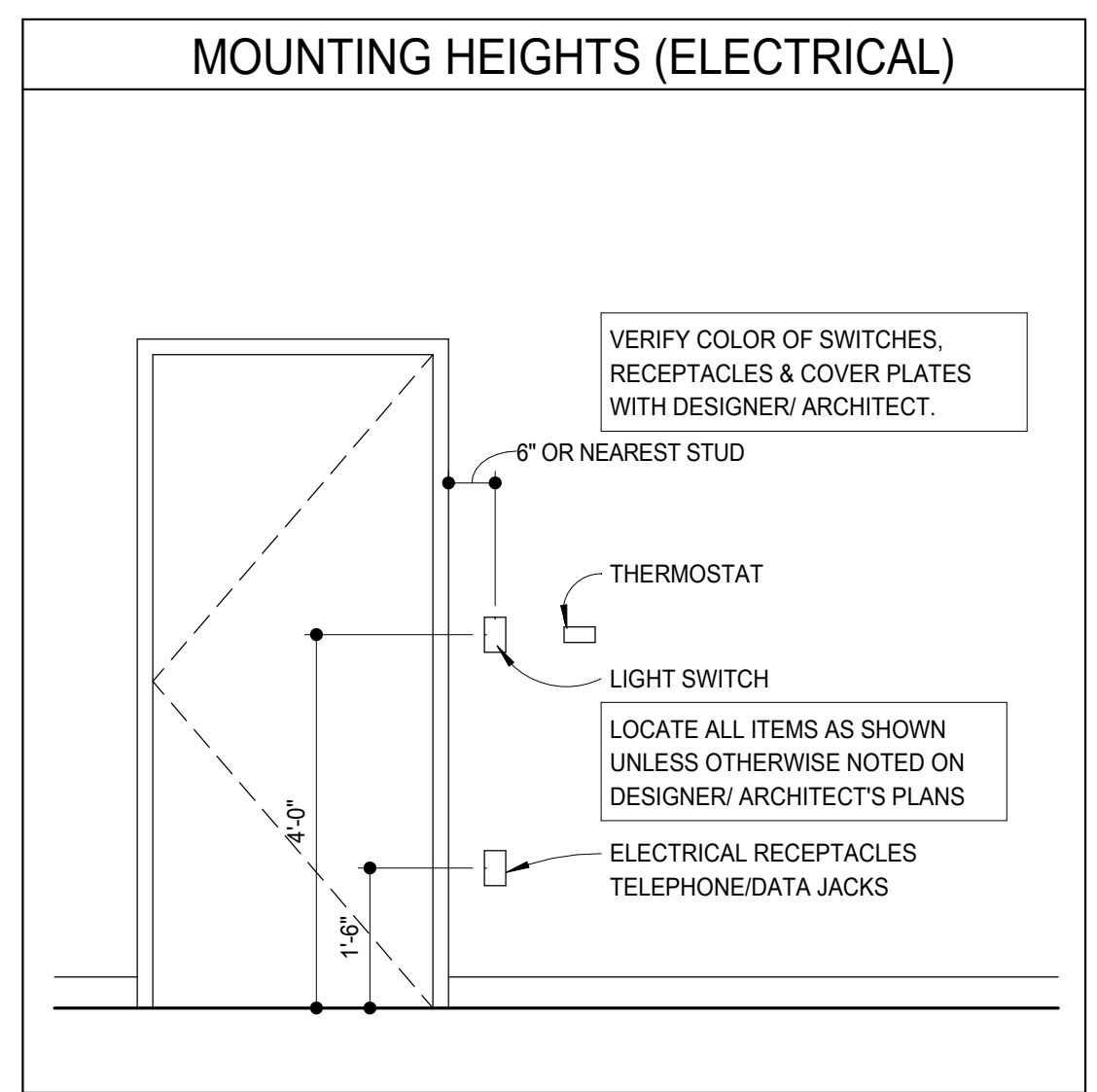
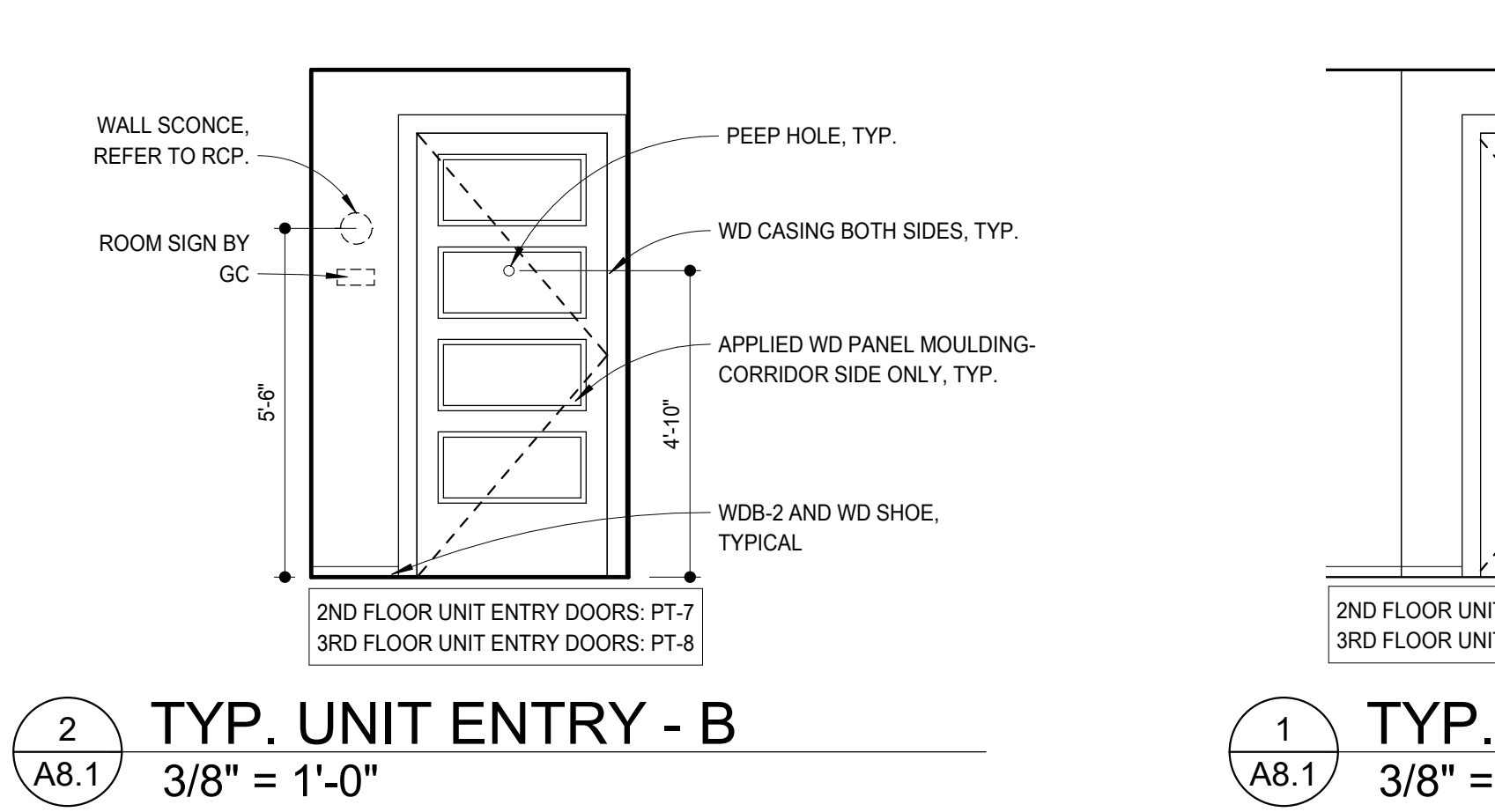
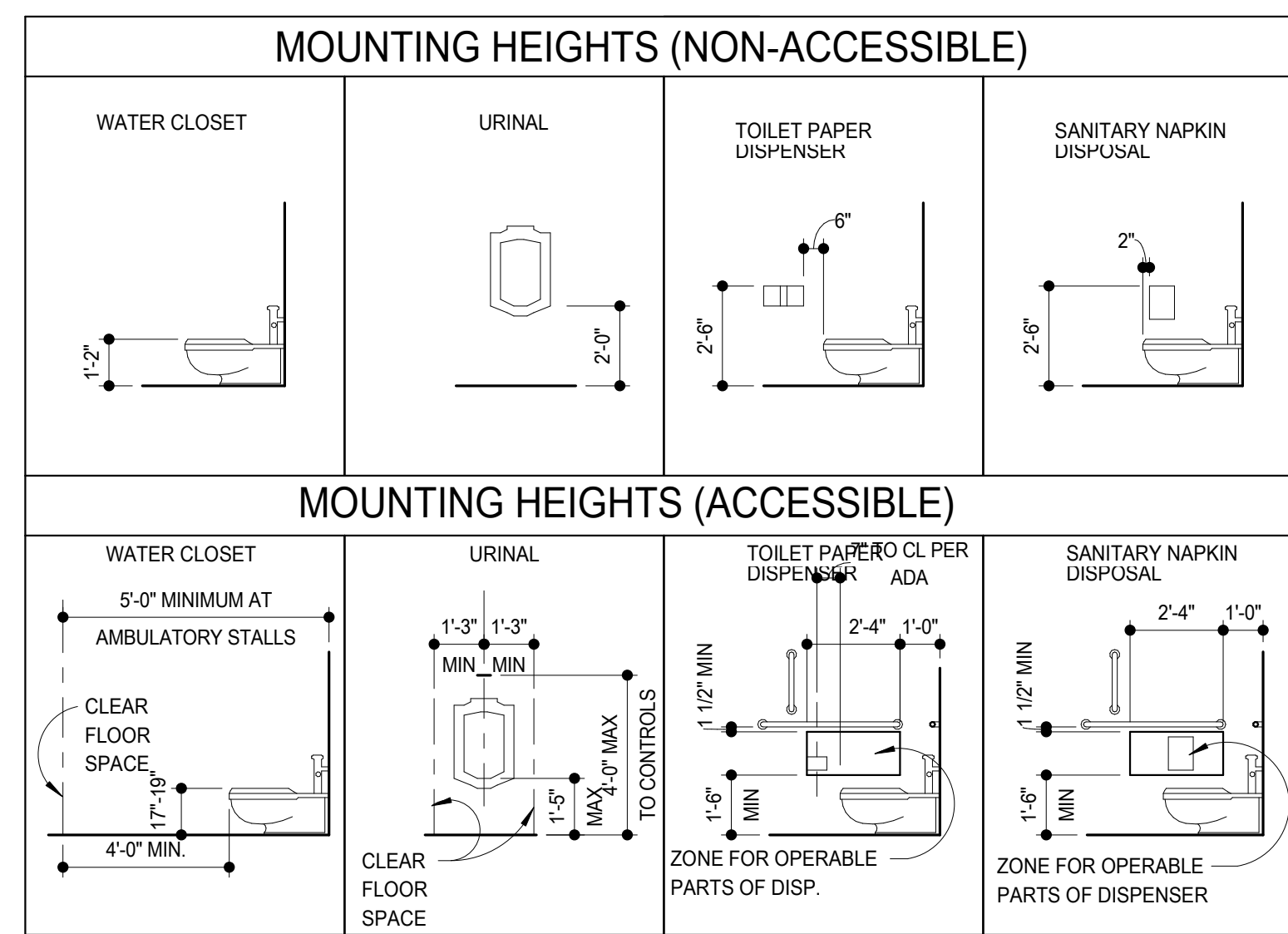
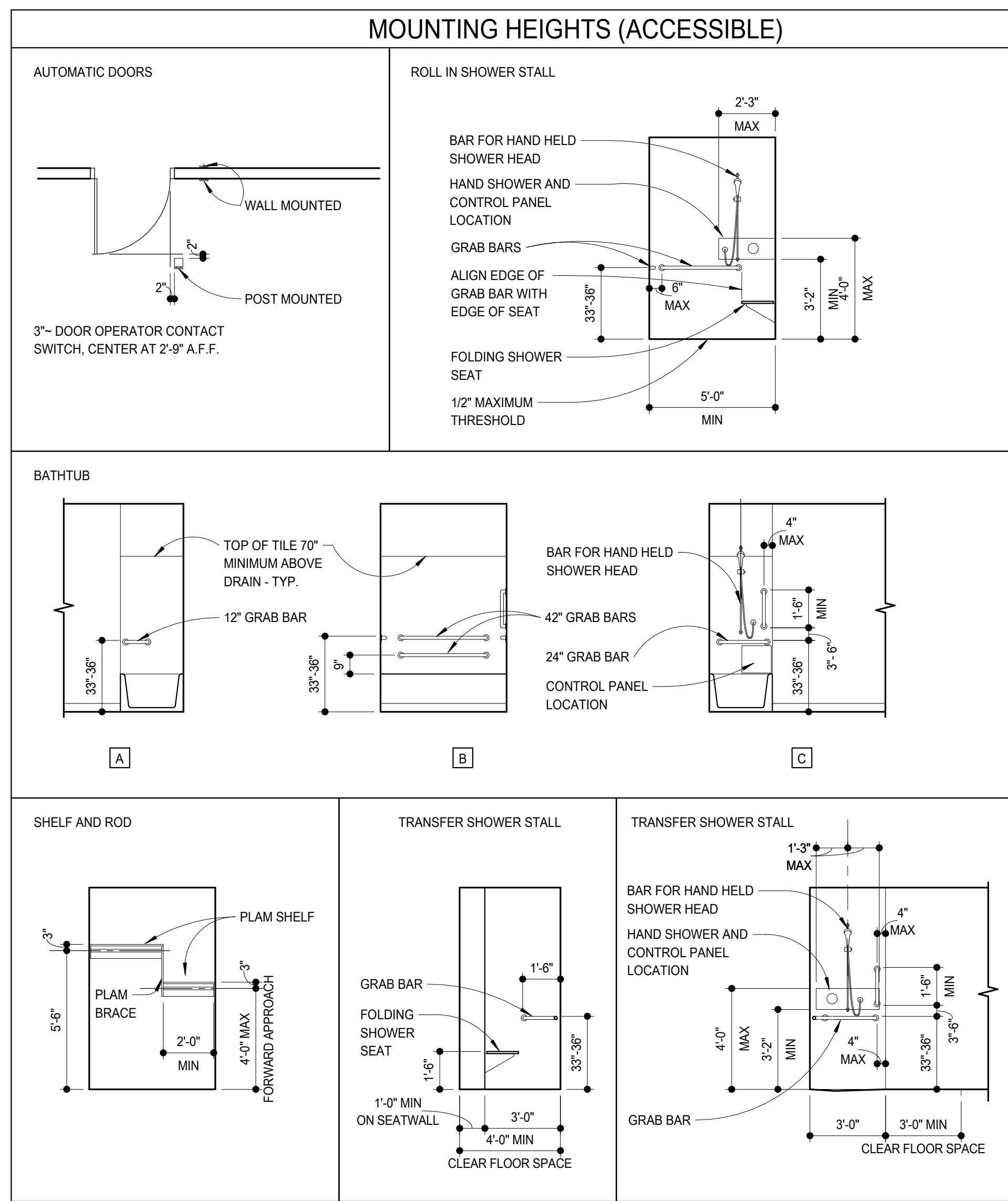
5 KITCHEN 3  
A8.1 3/8" = 1'-0"



4 KITCHEN 2  
A8.1 3/8" = 1'-0"



3 KITCHEN 1  
A8.1 3/8" = 1'-0"



TYPICAL MOUNTING HEIGHTS FOR ACCESSIBLE & NON-ACCESSIBLE ACCESSORIES  
1/4" = 1'-0"

TYPICAL MOUNTING HEIGHTS FOR ELECTRICAL  
1/2" = 1'-0"

TYPICAL MOUNTING HEIGHTS AND INTERIOR ELEVATIONS

Revision History

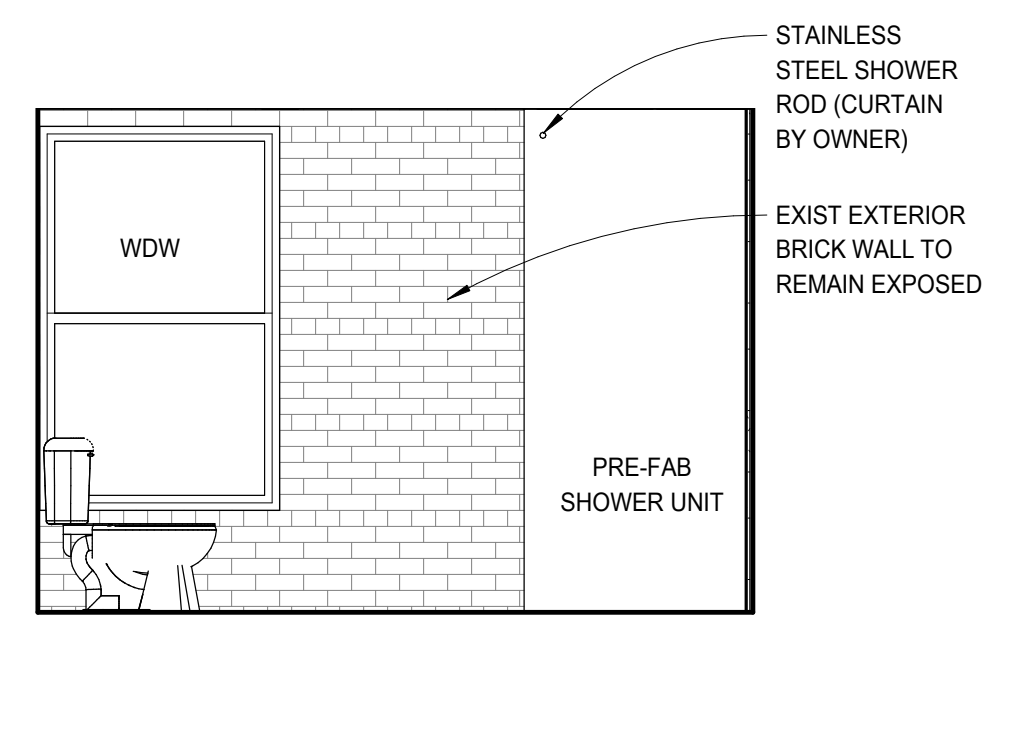
NO.	REVISIONS	DATE
HPC	REVISIONS	2-2-18

Commission No: 55678-17047  
Prep by: MX  
Check by: MM

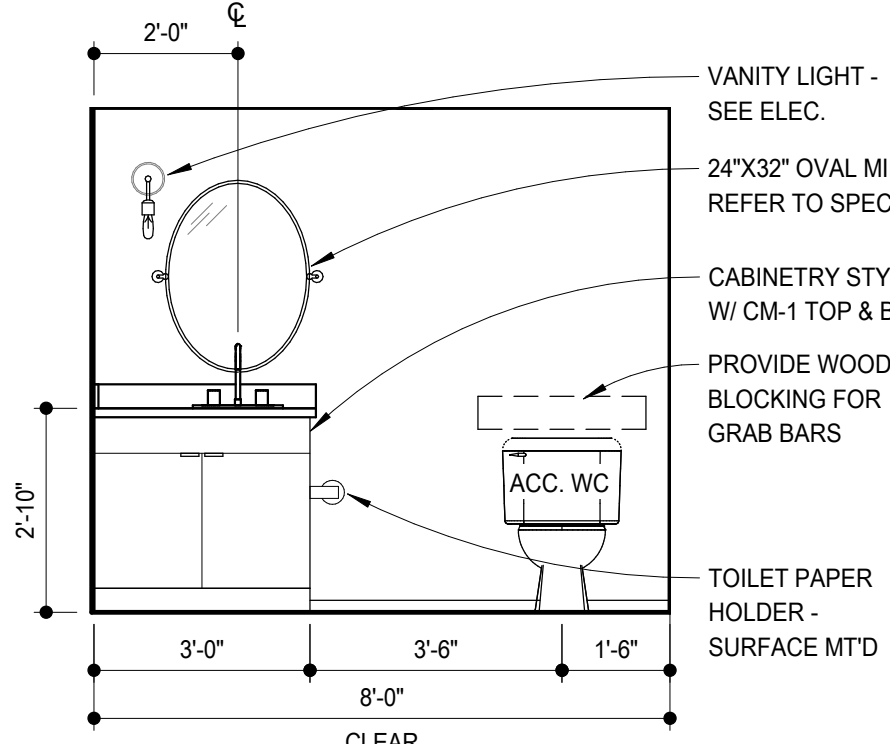
SHEET

A8.1

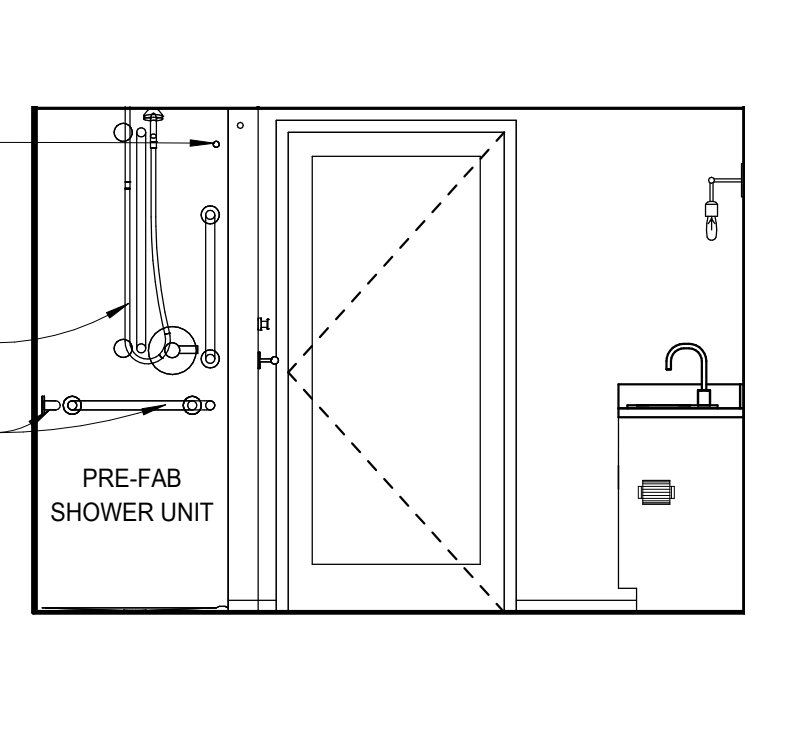
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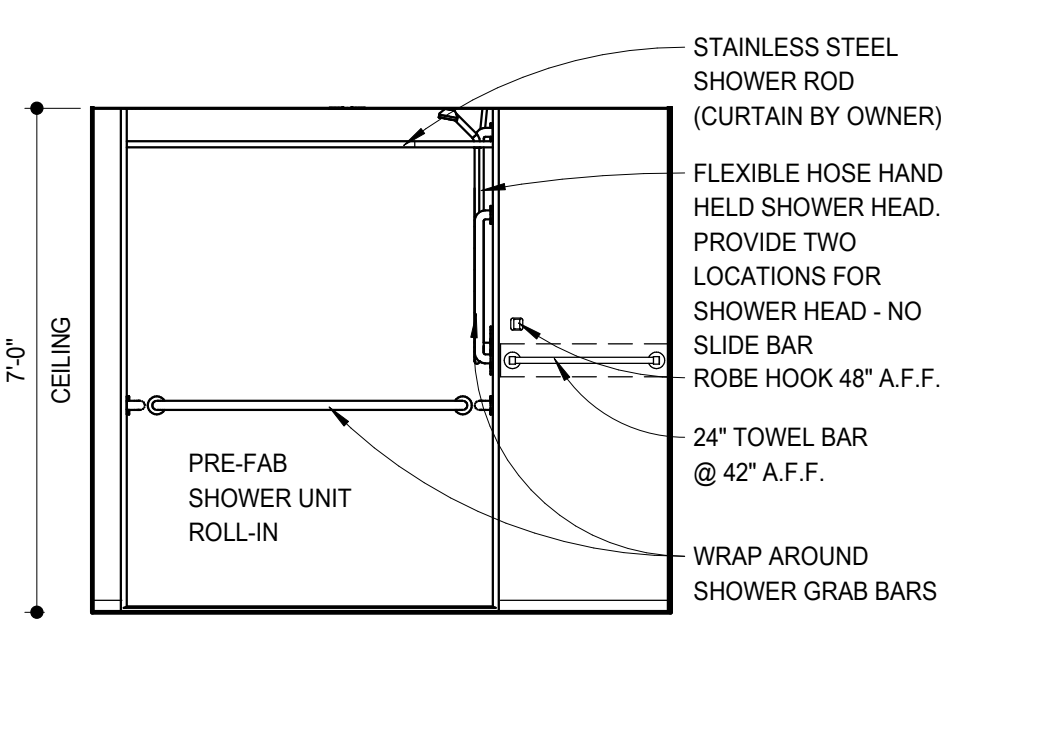
**30**  
A8.2 **ACCESSIBLE BATH 8 - A**  
3/8" = 1'-0"



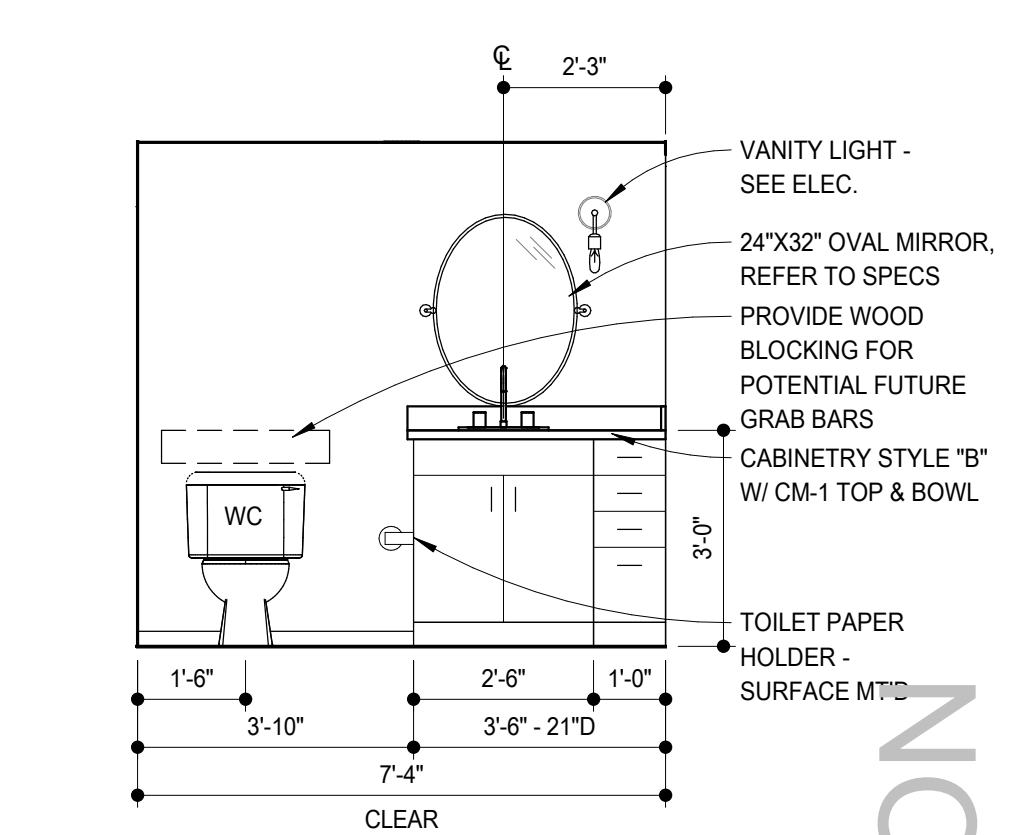
**31**  
A8.2 **ACCESSIBLE BATH 8 - B**  
3/8" = 1'-0"



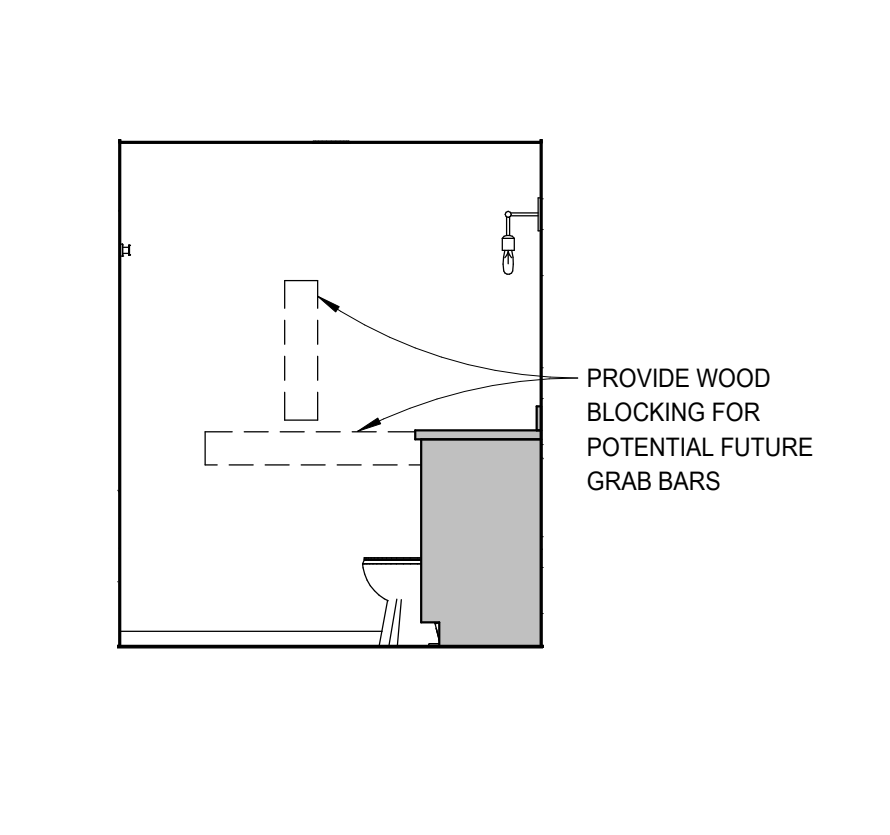
**32**  
A8.2 **ACCESSIBLE BATH 8 - C**  
3/8" = 1'-0"



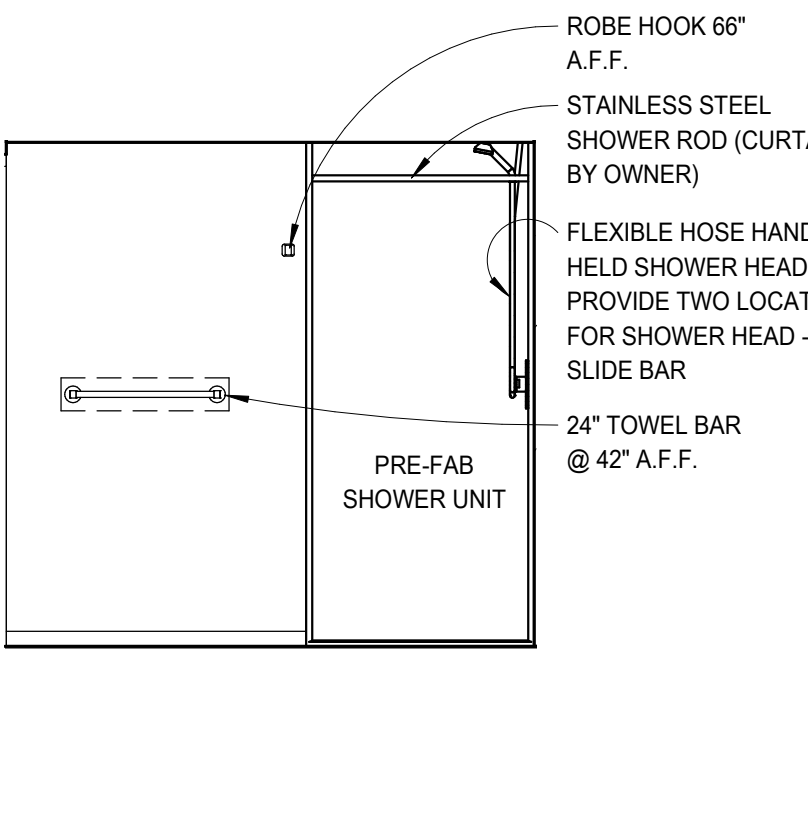
**29**  
A8.2 **ACCESSIBLE BATH 8 - D**  
3/8" = 1'-0"



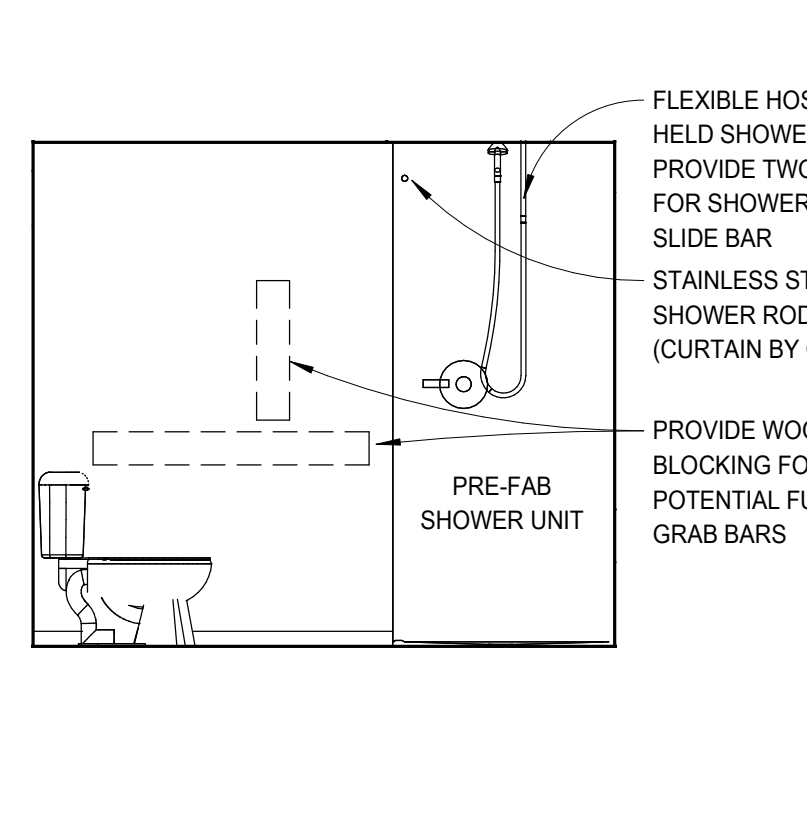
**28**  
A8.2 **UNIT BATH 7 - D**  
3/8" = 1'-0"



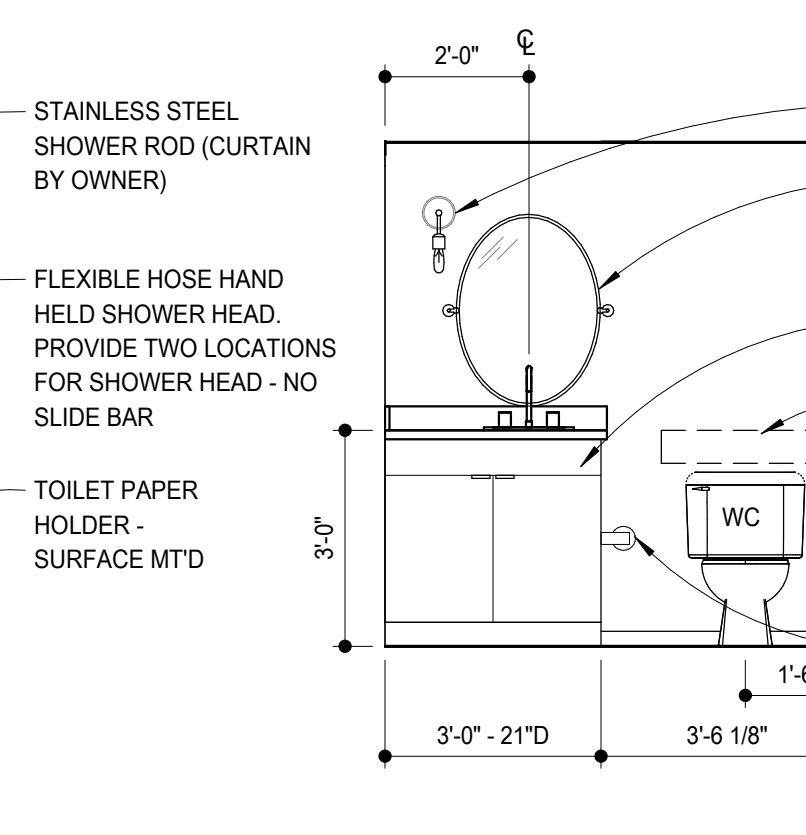
**27**  
A8.2 **UNIT BATH 7 - C**  
3/8" = 1'-0"



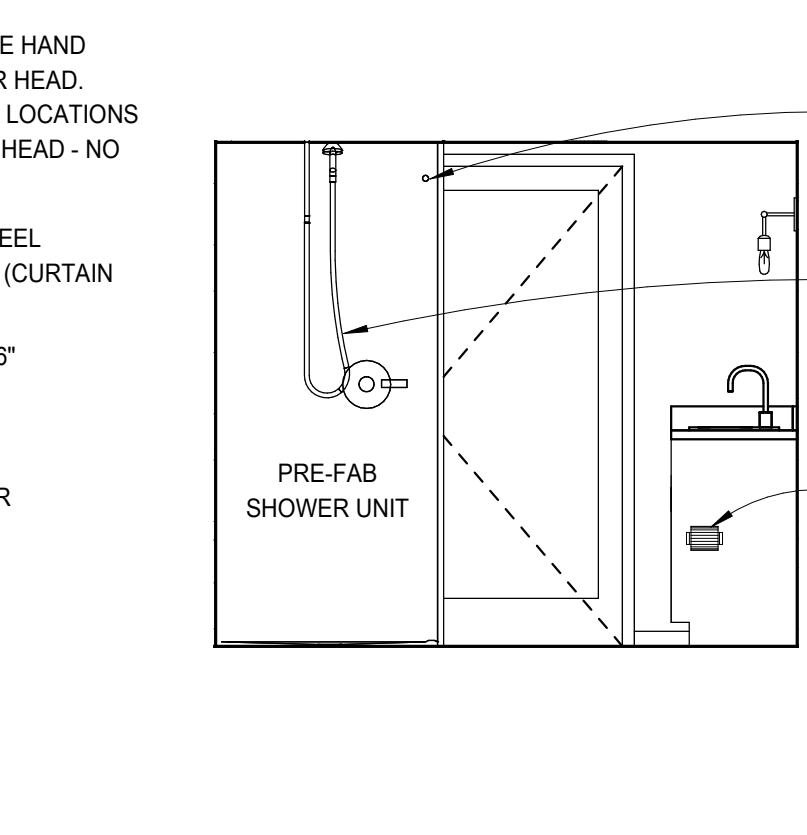
**26**  
A8.2 **UNIT BATH 7 - B**  
3/8" = 1'-0"



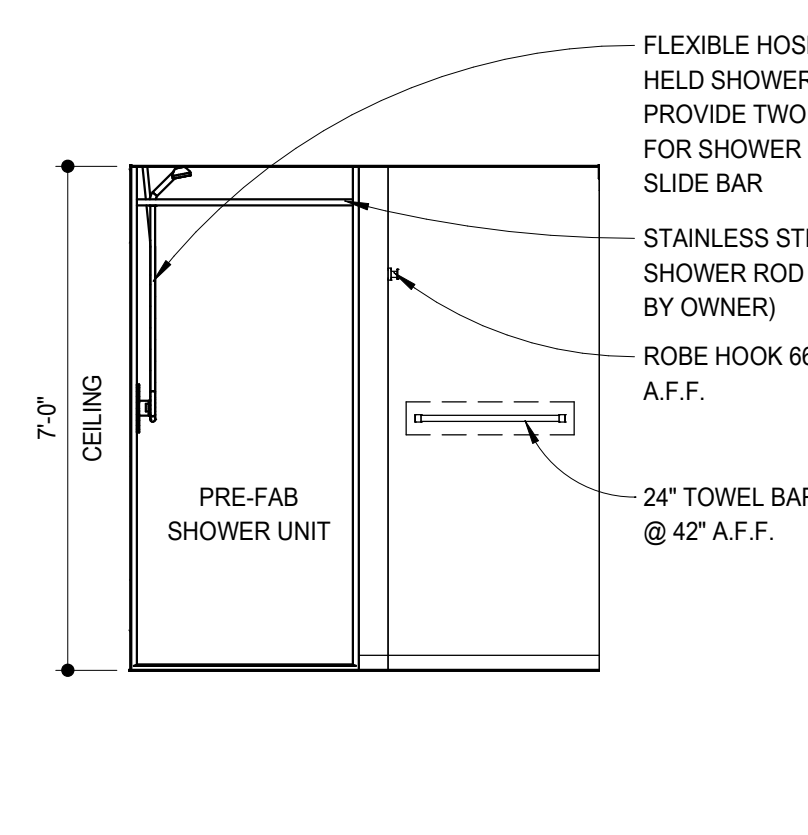
**25**  
A8.2 **UNIT BATH 7 - A**  
3/8" = 1'-0"



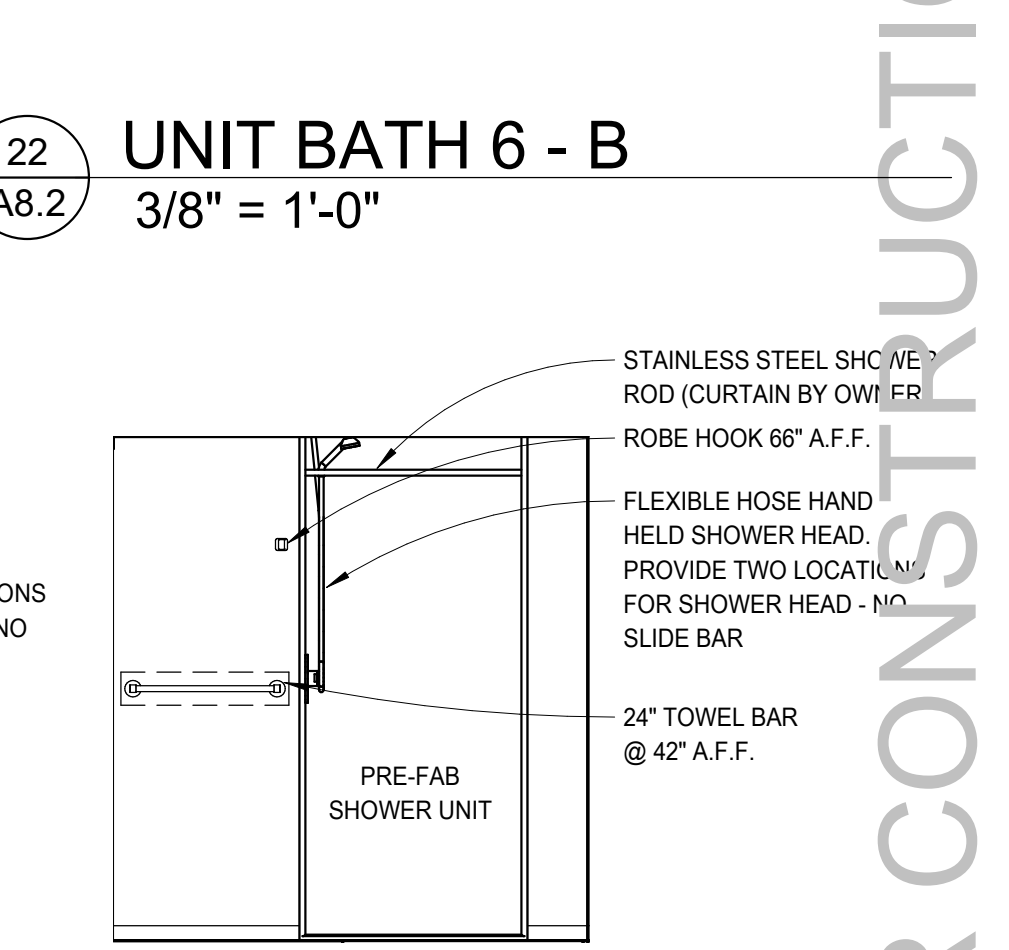
**24**  
A8.2 **UNIT BATH 6 - D**  
3/8" = 1'-0"



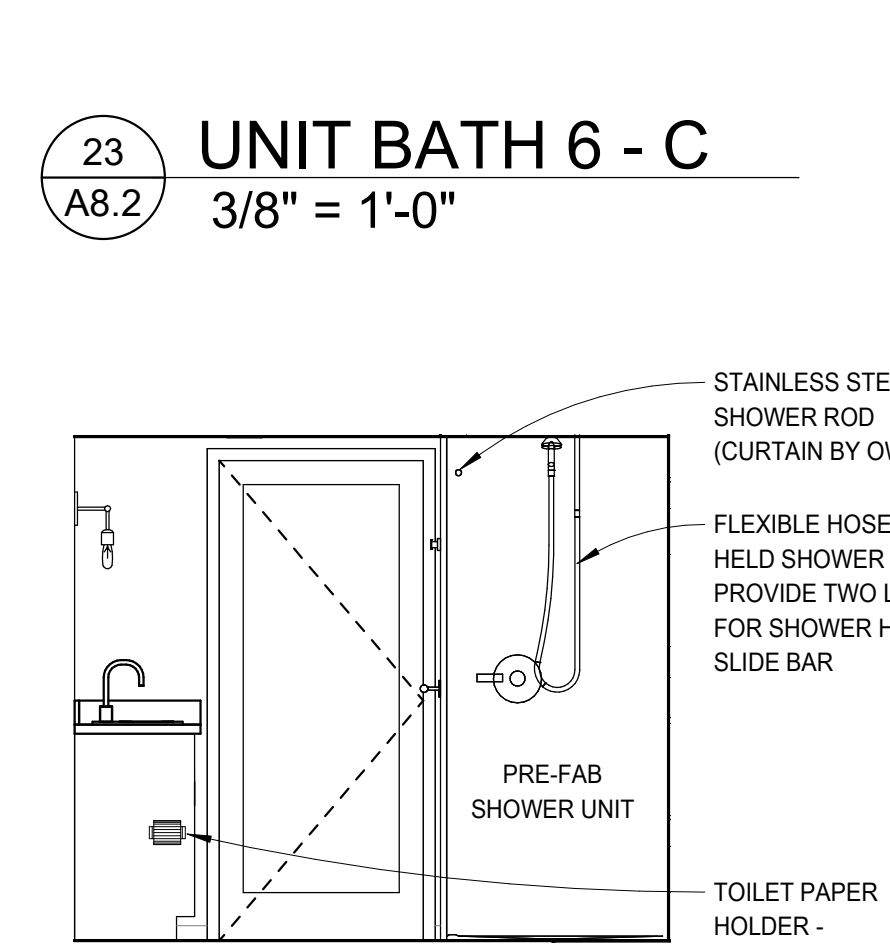
**23**  
A8.2 **UNIT BATH 6 - C**  
3/8" = 1'-0"



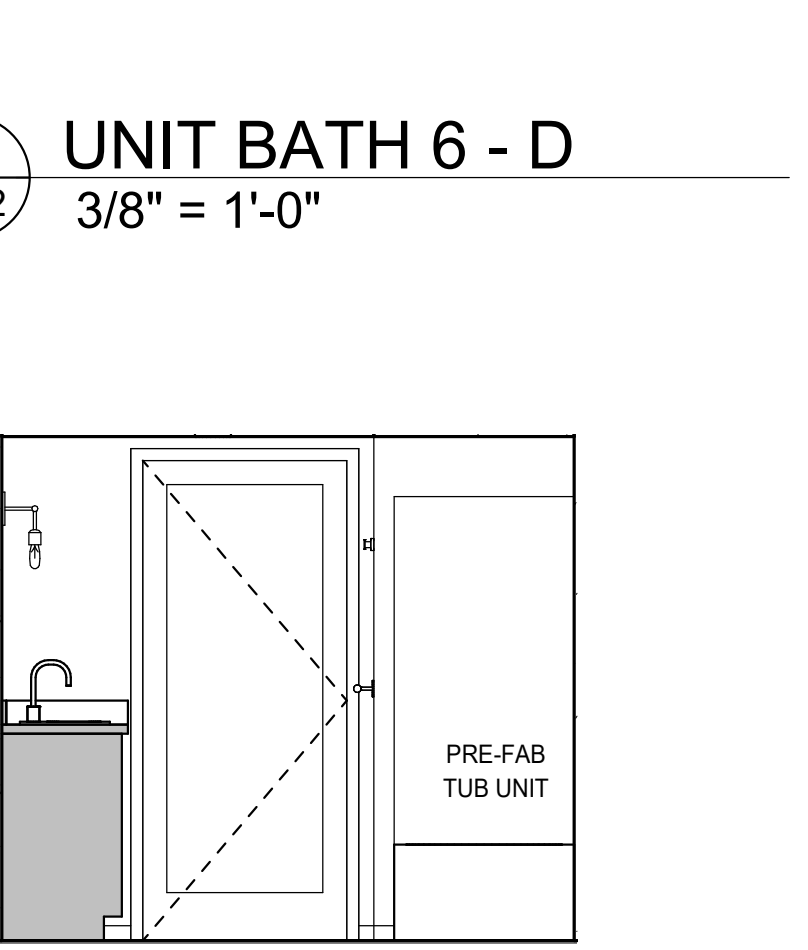
**22**  
A8.2 **UNIT BATH 6 - B**  
3/8" = 1'-0"



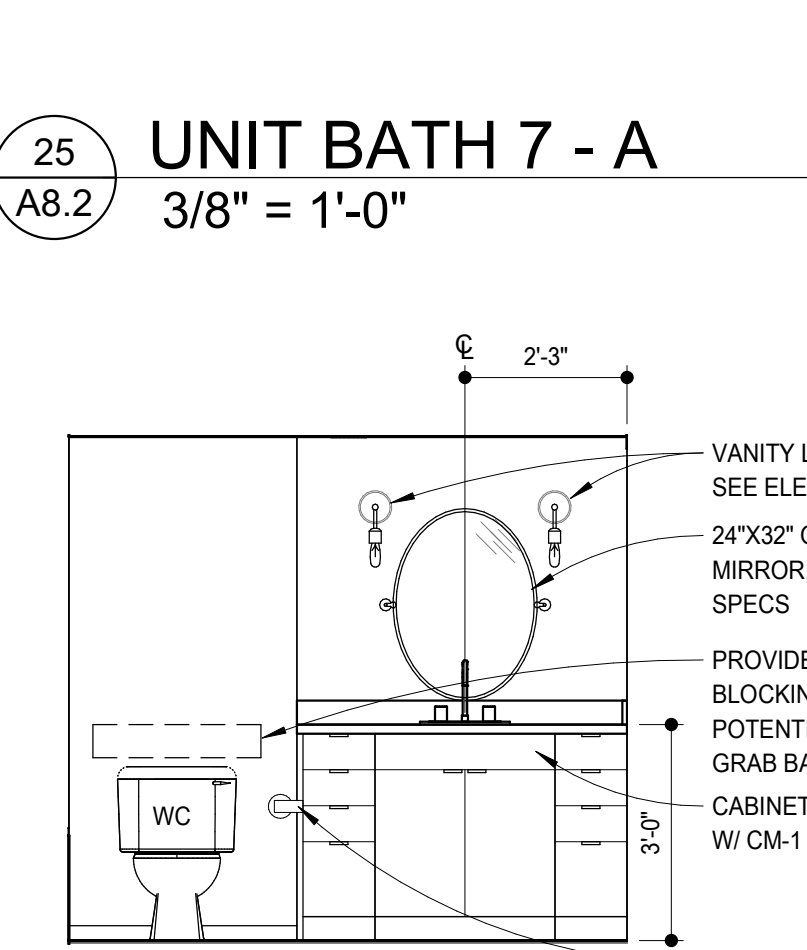
**21**  
A8.2 **UNIT BATH 5 - D**  
3/8" = 1'-0"



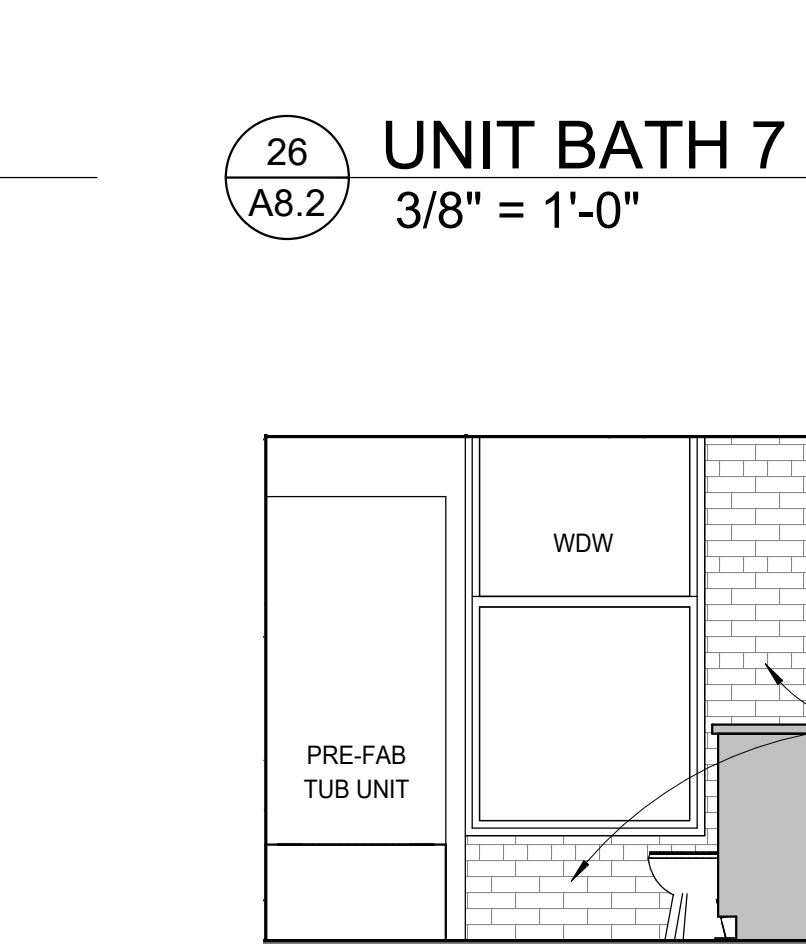
**20**  
A8.2 **UNIT BATH 5 - C**  
3/8" = 1'-0"



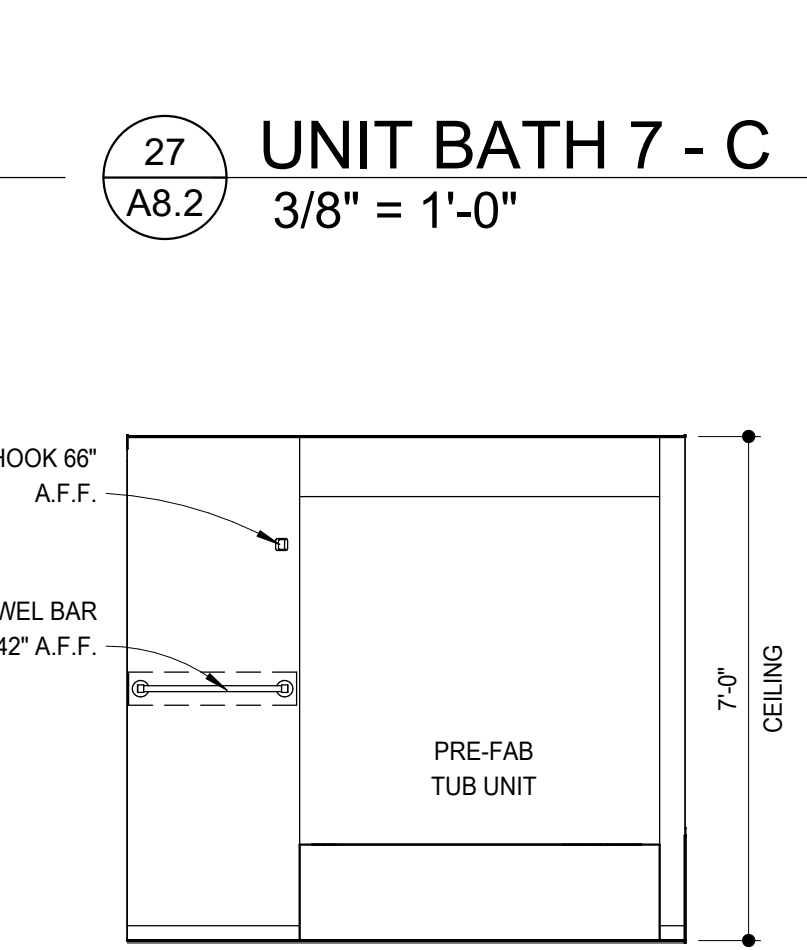
**19**  
A8.2 **UNIT BATH 5 - B**  
3/8" = 1'-0"



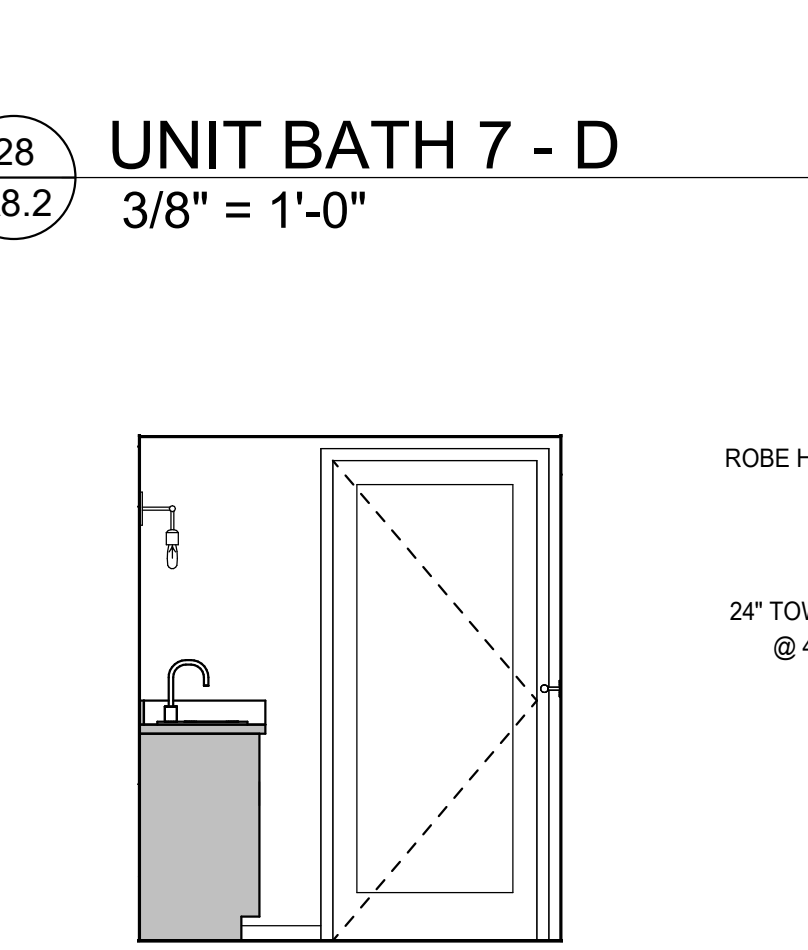
**18**  
A8.2 **UNIT BATH 5 - A**  
3/8" = 1'-0"



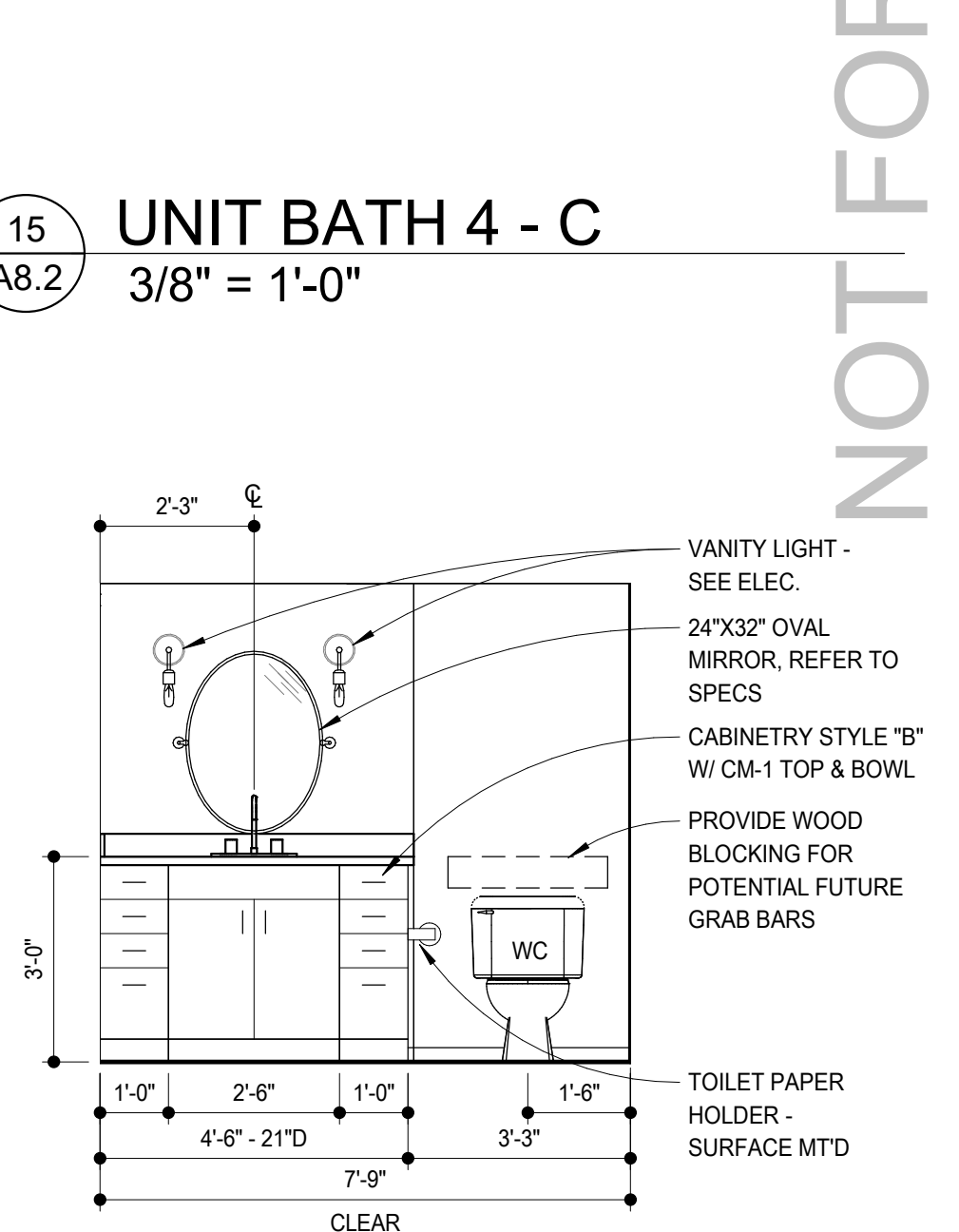
**17**  
A8.2 **UNIT BATH 4 - D**  
3/8" = 1'-0"



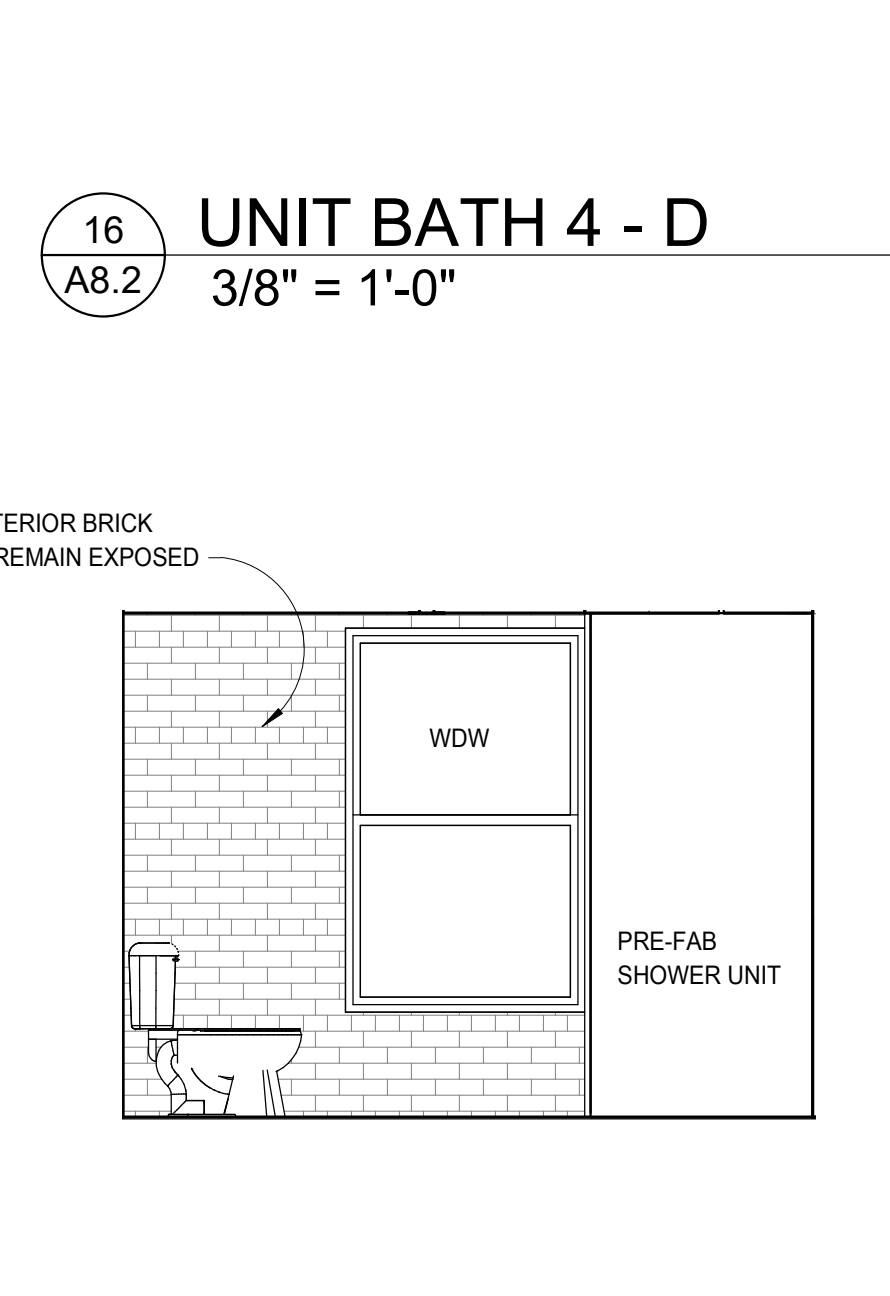
**16**  
A8.2 **UNIT BATH 4 - C**  
3/8" = 1'-0"



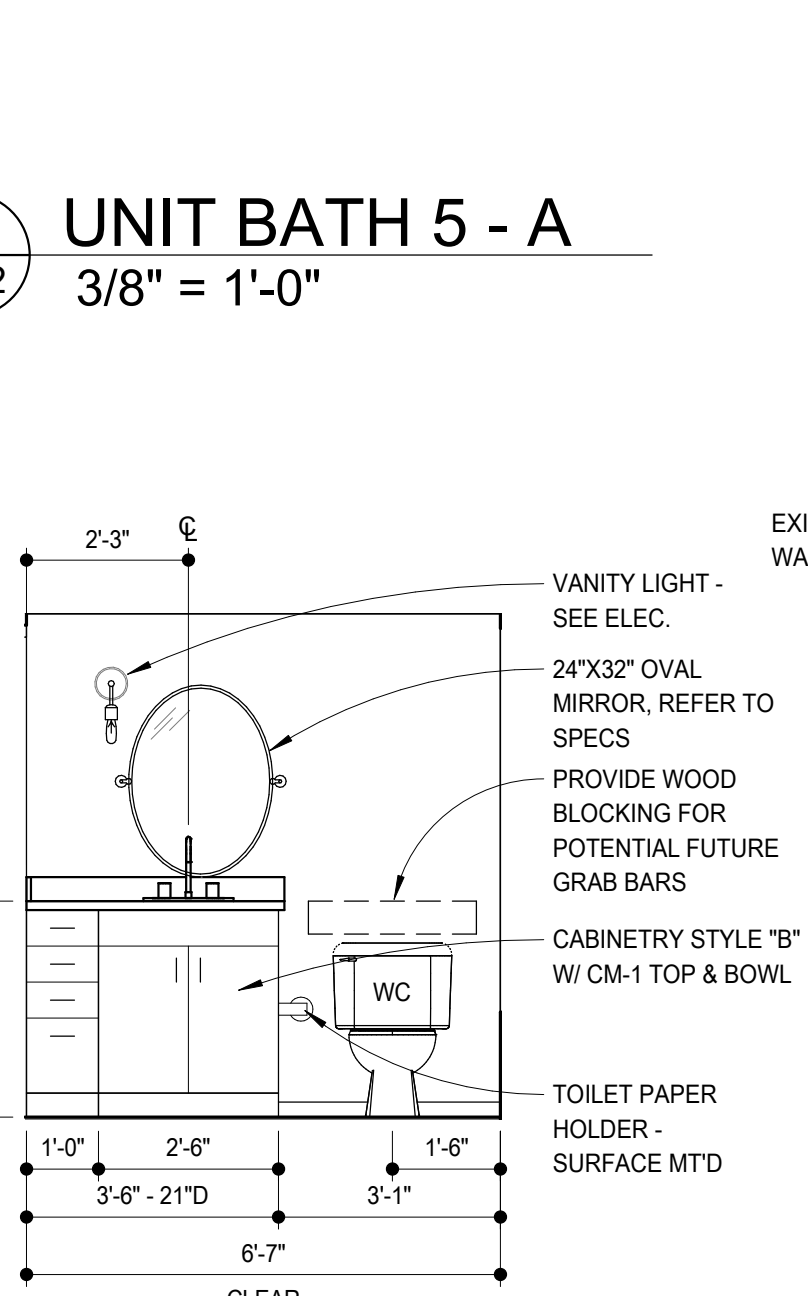
**15**  
A8.2 **UNIT BATH 4 - B**  
3/8" = 1'-0"



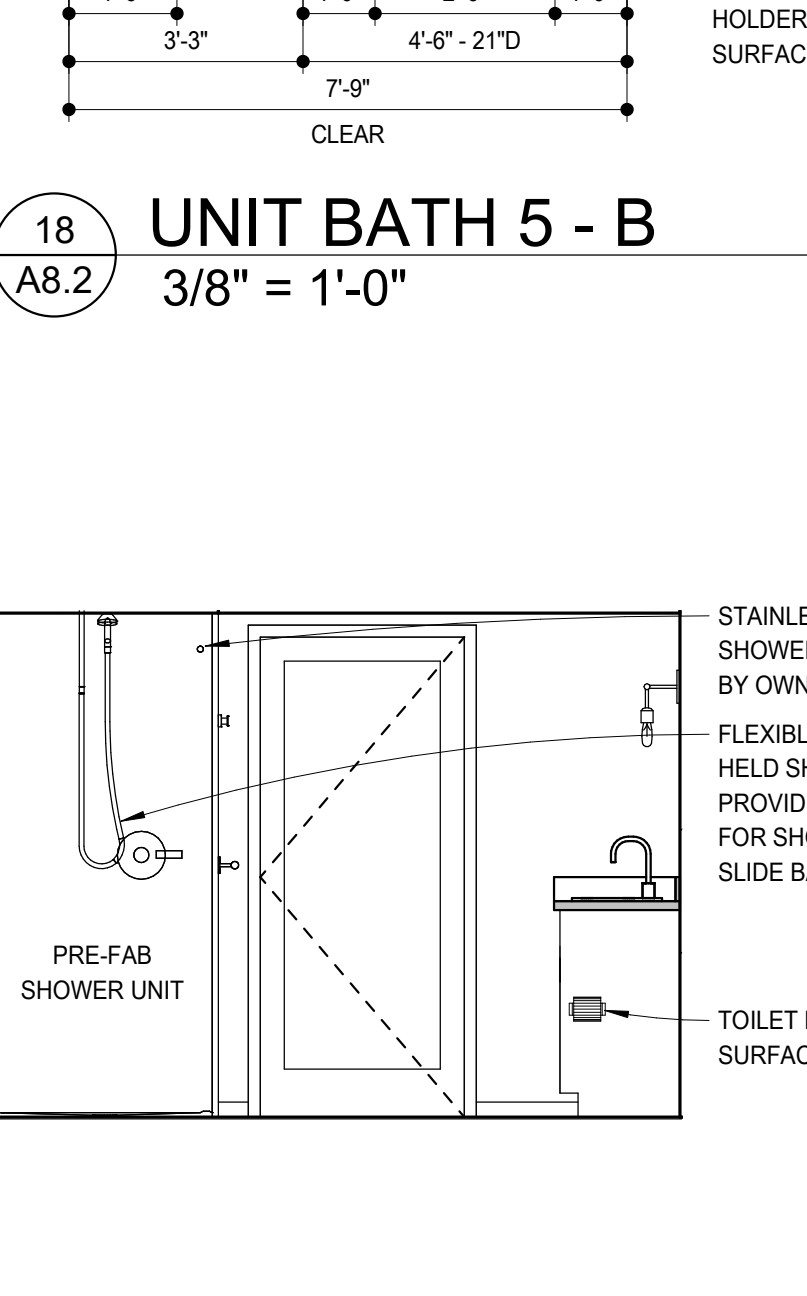
**21**  
A8.2 **UNIT BATH 3 - D**  
3/8" = 1'-0"



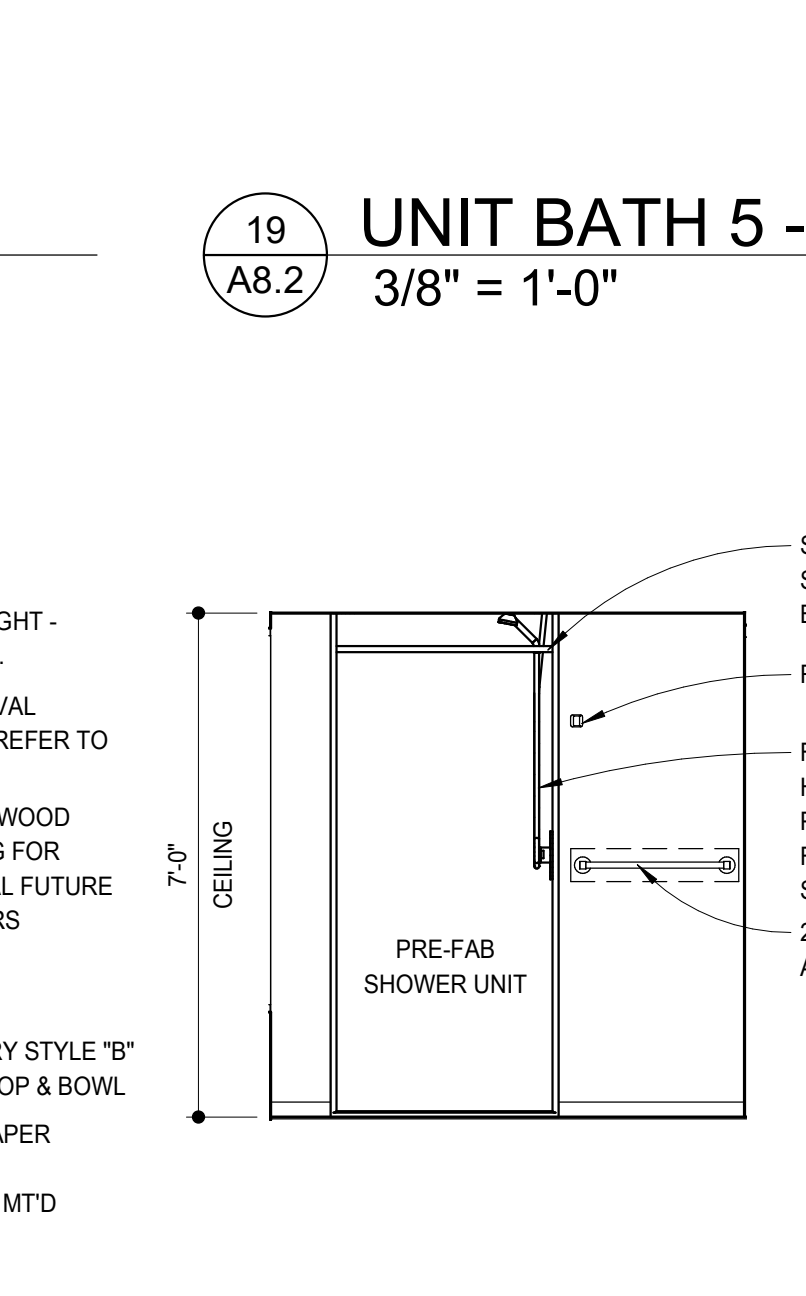
**20**  
A8.2 **UNIT BATH 3 - C**  
3/8" = 1'-0"



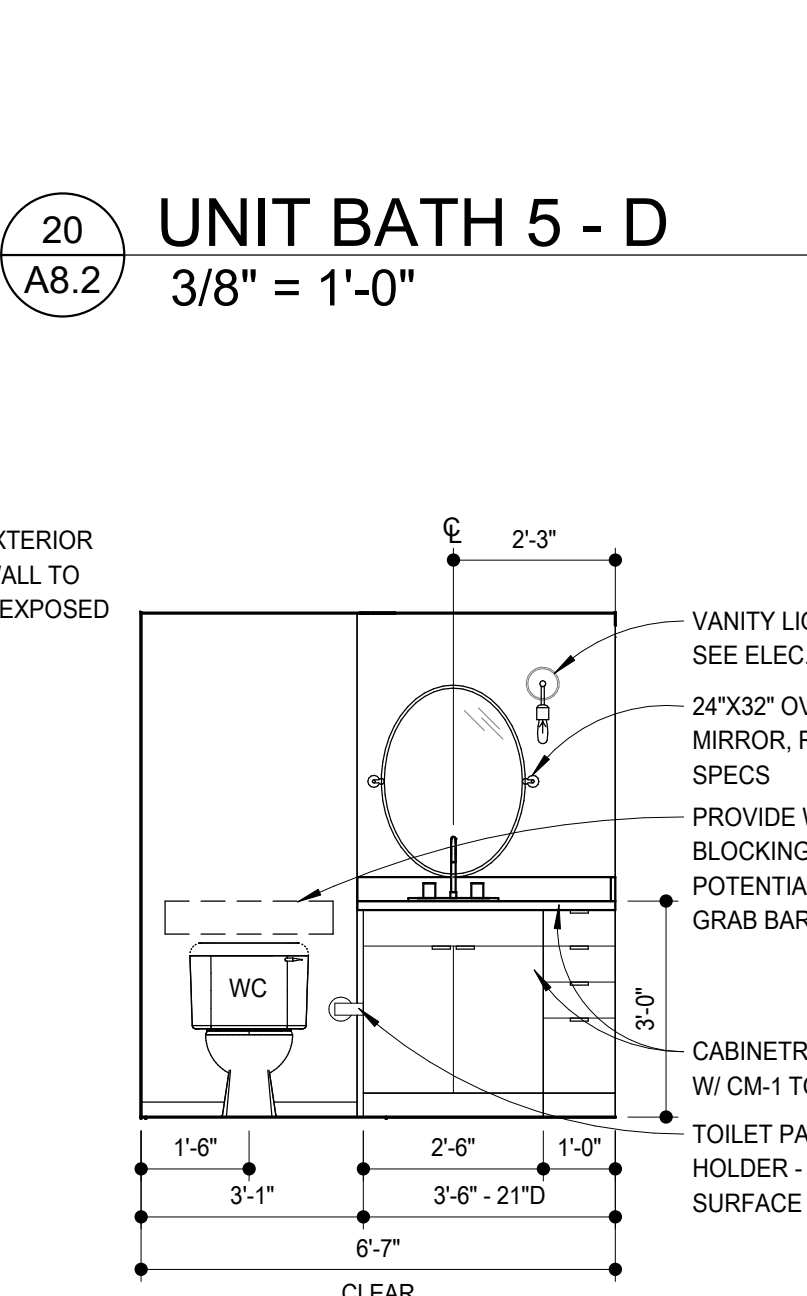
**19**  
A8.2 **UNIT BATH 3 - B**  
3/8" = 1'-0"



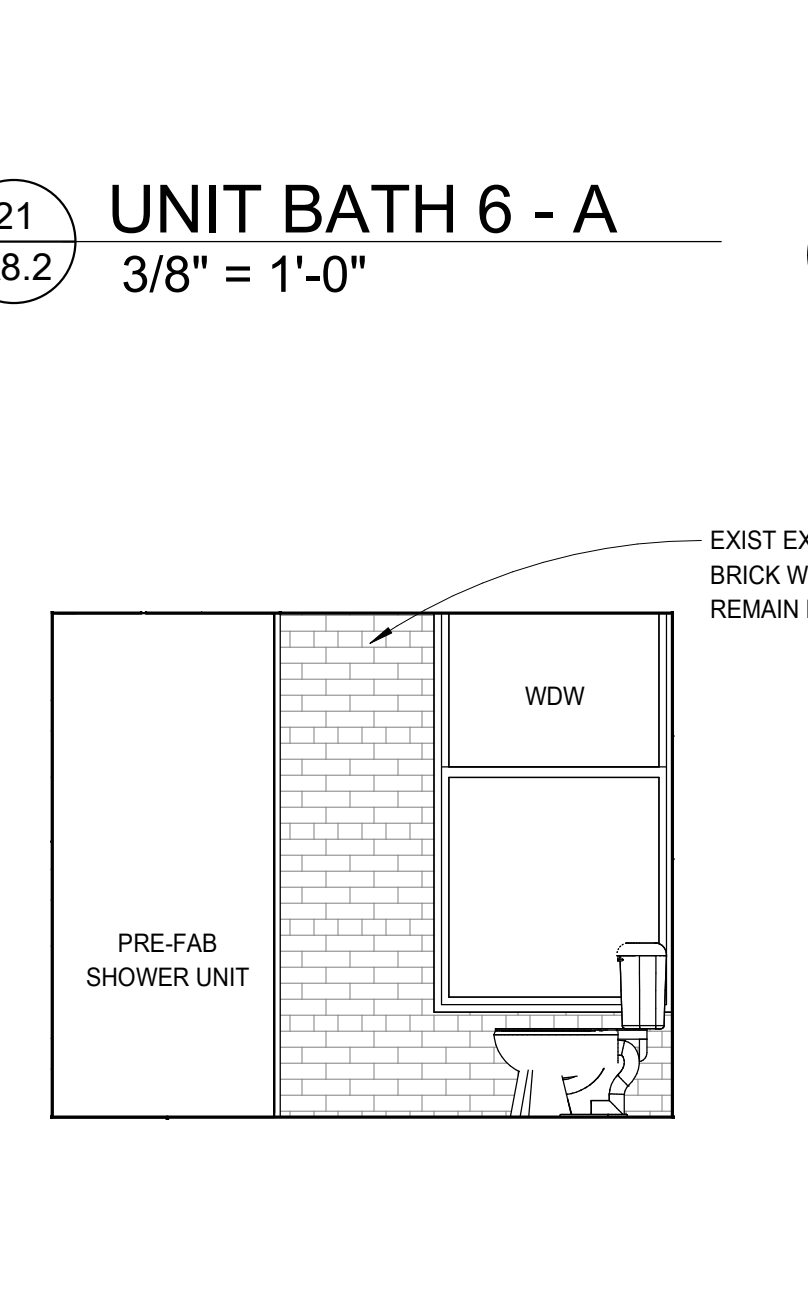
**18**  
A8.2 **UNIT BATH 3 - A**  
3/8" = 1'-0"



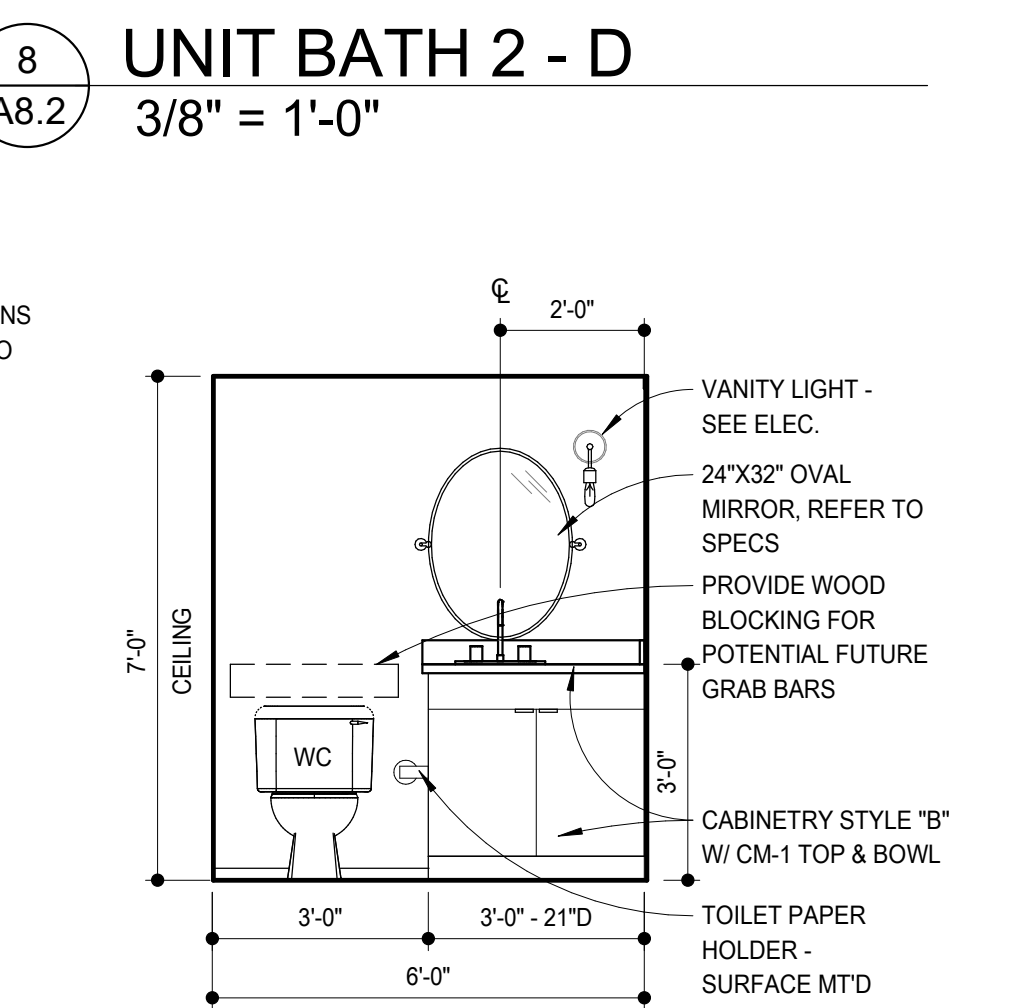
**14**  
A8.2 **UNIT BATH 2 - D**  
3/8" = 1'-0"



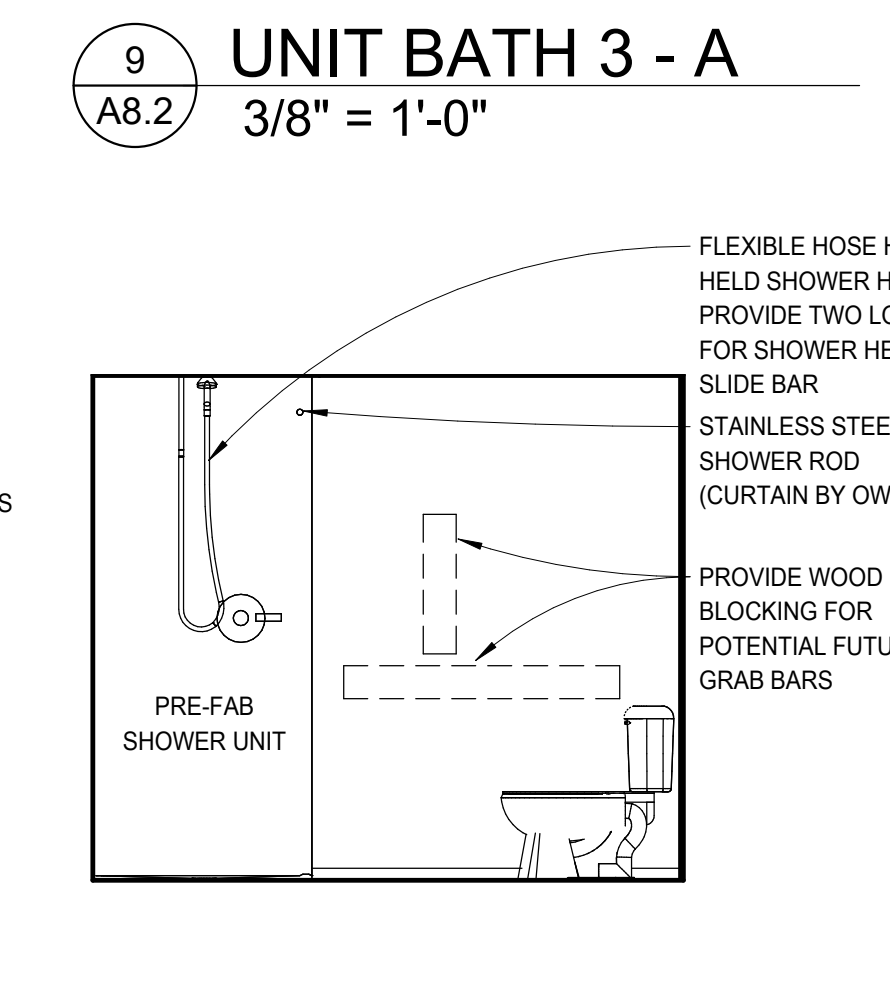
**13**  
A8.2 **UNIT BATH 2 - C**  
3/8" = 1'-0"



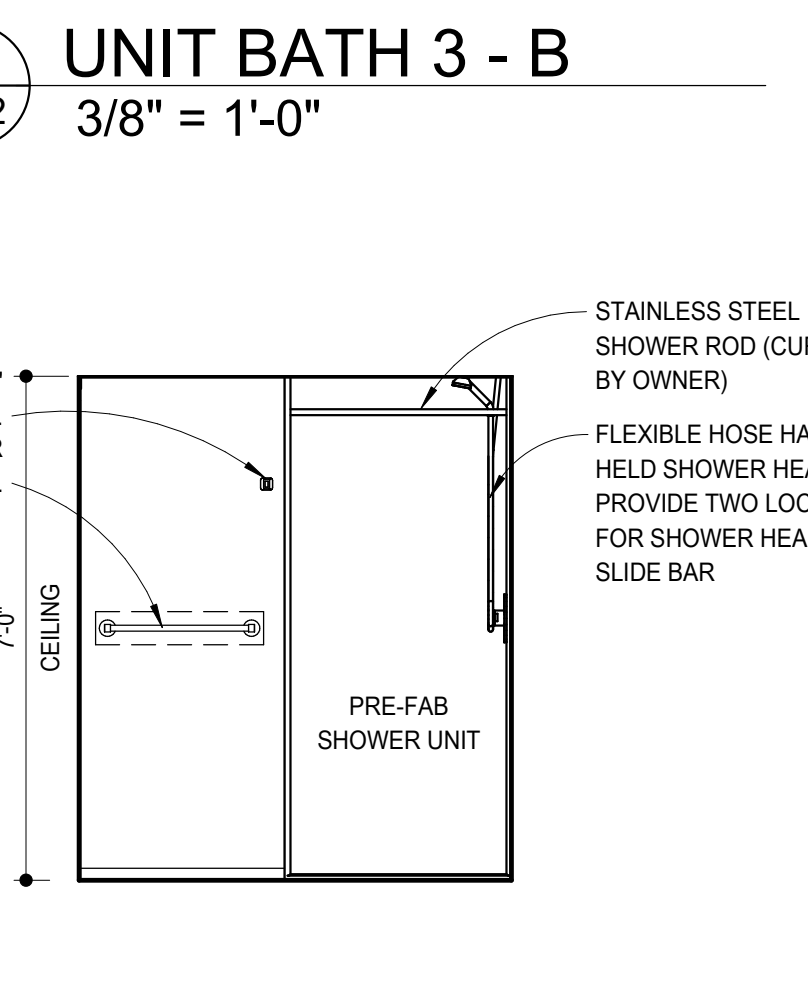
**12**  
A8.2 **UNIT BATH 2 - B**  
3/8" = 1'-0"



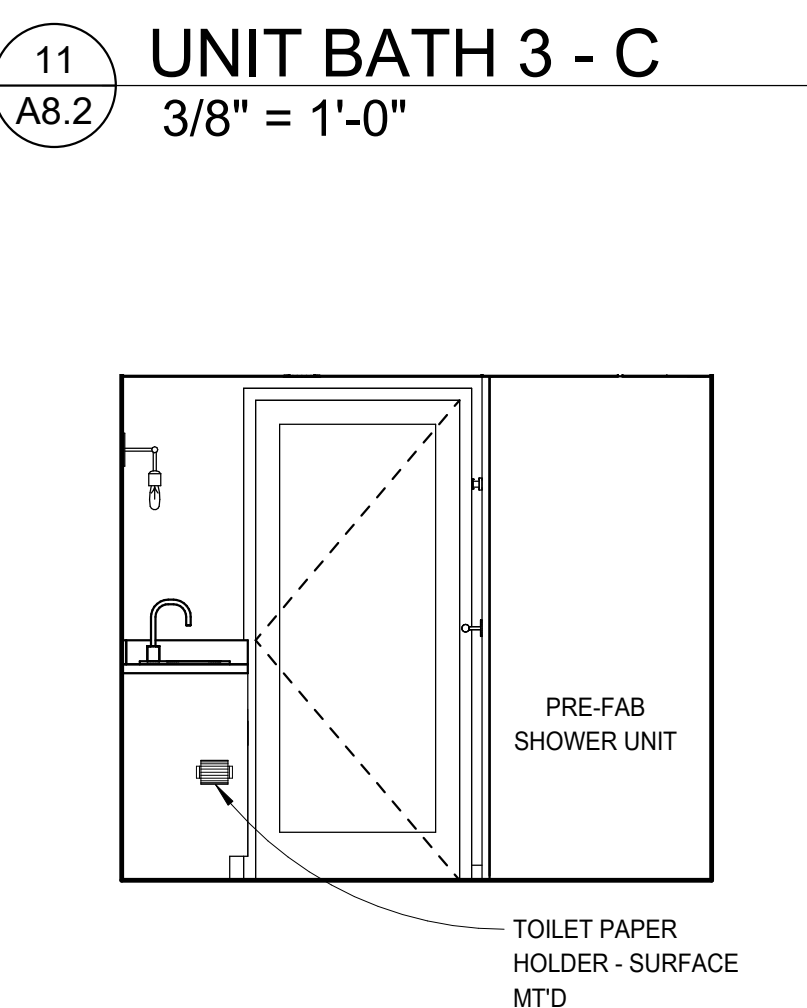
**11**  
A8.2 **UNIT BATH 1 - D**  
3/8" = 1'-0"



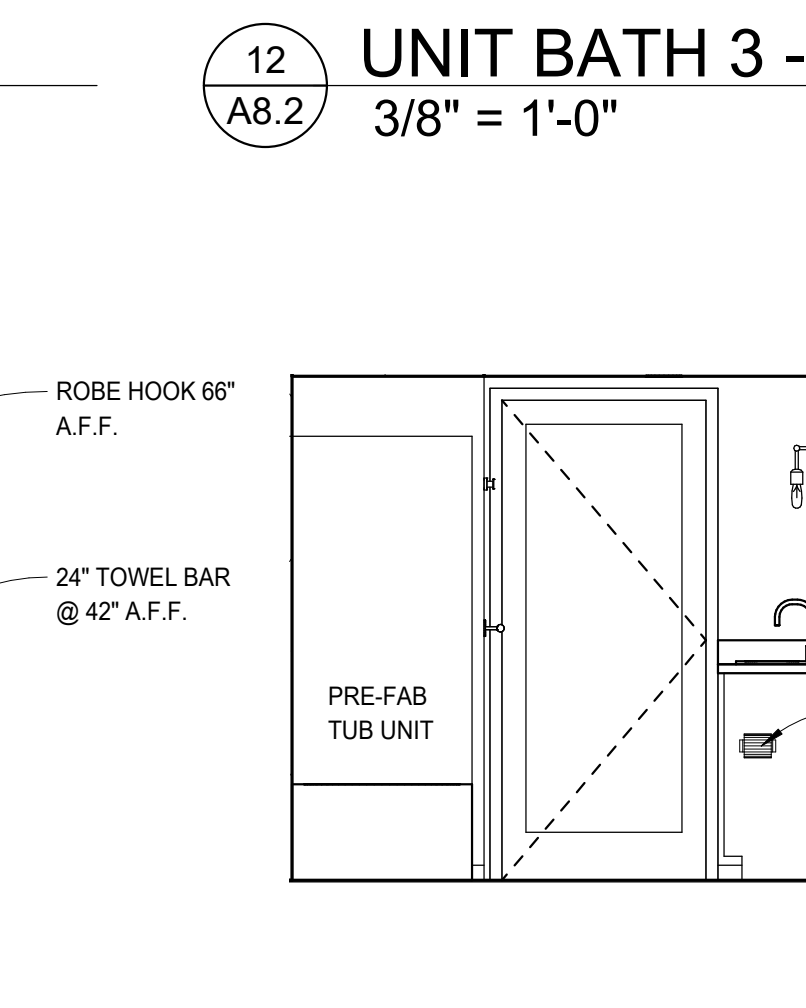
**10**  
A8.2 **UNIT BATH 1 - C**  
3/8" = 1'-0"



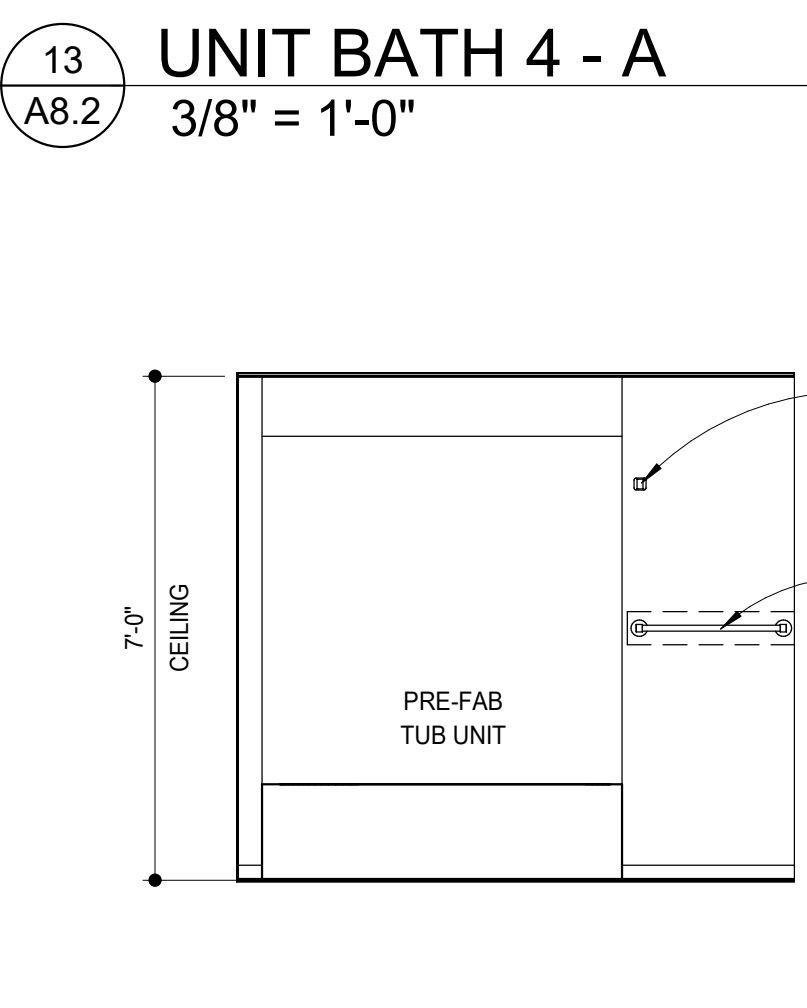
**9**  
A8.2 **UNIT BATH 1 - B**  
3/8" = 1'-0"



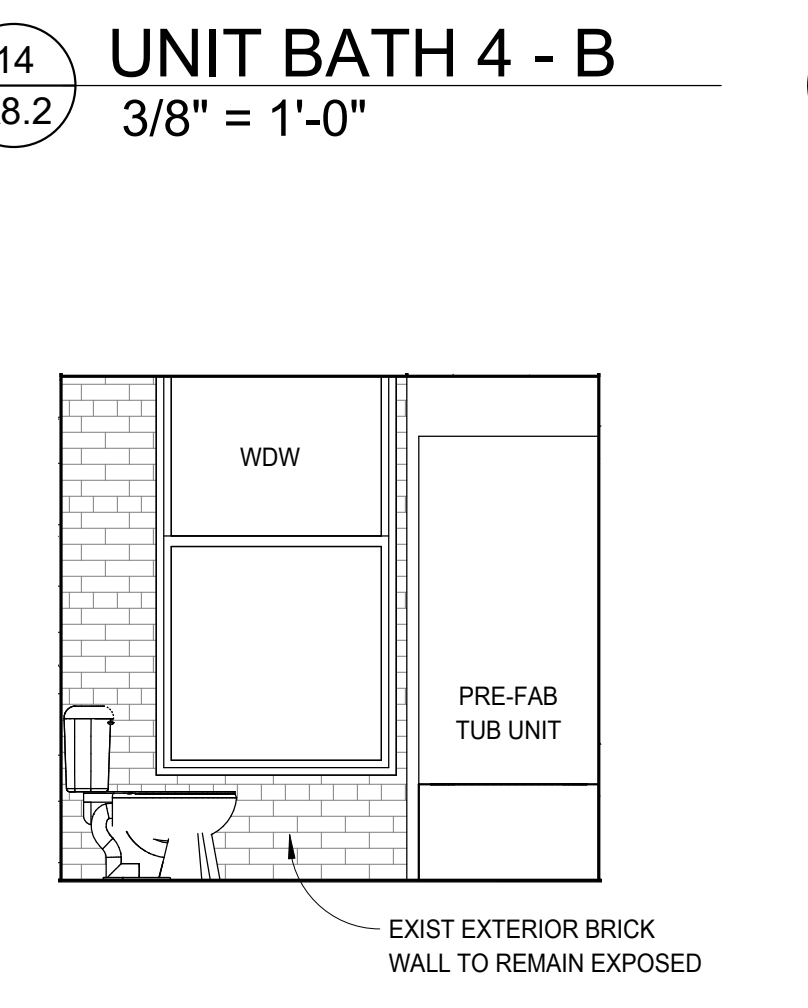
**8**  
A8.2 **UNIT BATH 1 - A**  
3/8" = 1'-0"



**7**  
A8.2 **UNIT BATH 1 - D**  
3/8" = 1'-0"



**6**  
A8.2 **UNIT BATH 1 - C**  
3/8" = 1'-0"



**5**  
A8.2 **UNIT BATH 1 - B**  
3/8" = 1'-0"

**INTERIOR ELEVATIONS**

Revision Log:

NO.	DATE	DESCRIPTION
1	2-2-18	HPC REVISIONS

56678-17047  
LL,MM  
DTP

SHEET

NOT FOR CONSTRUCTION

INTERIOR  
ELEVATIONS AND  
DETAILS

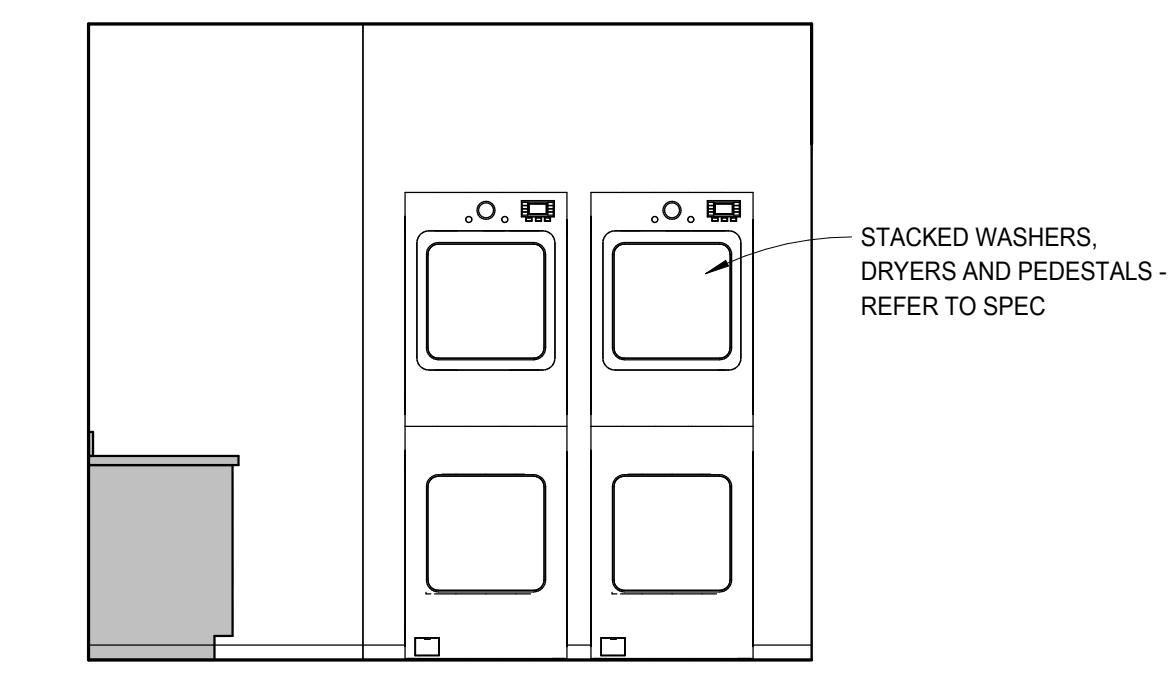
Revised Revisions:

NO.	DESCRIPTION	DATE
1	HPC REVISIONS	2-2-18

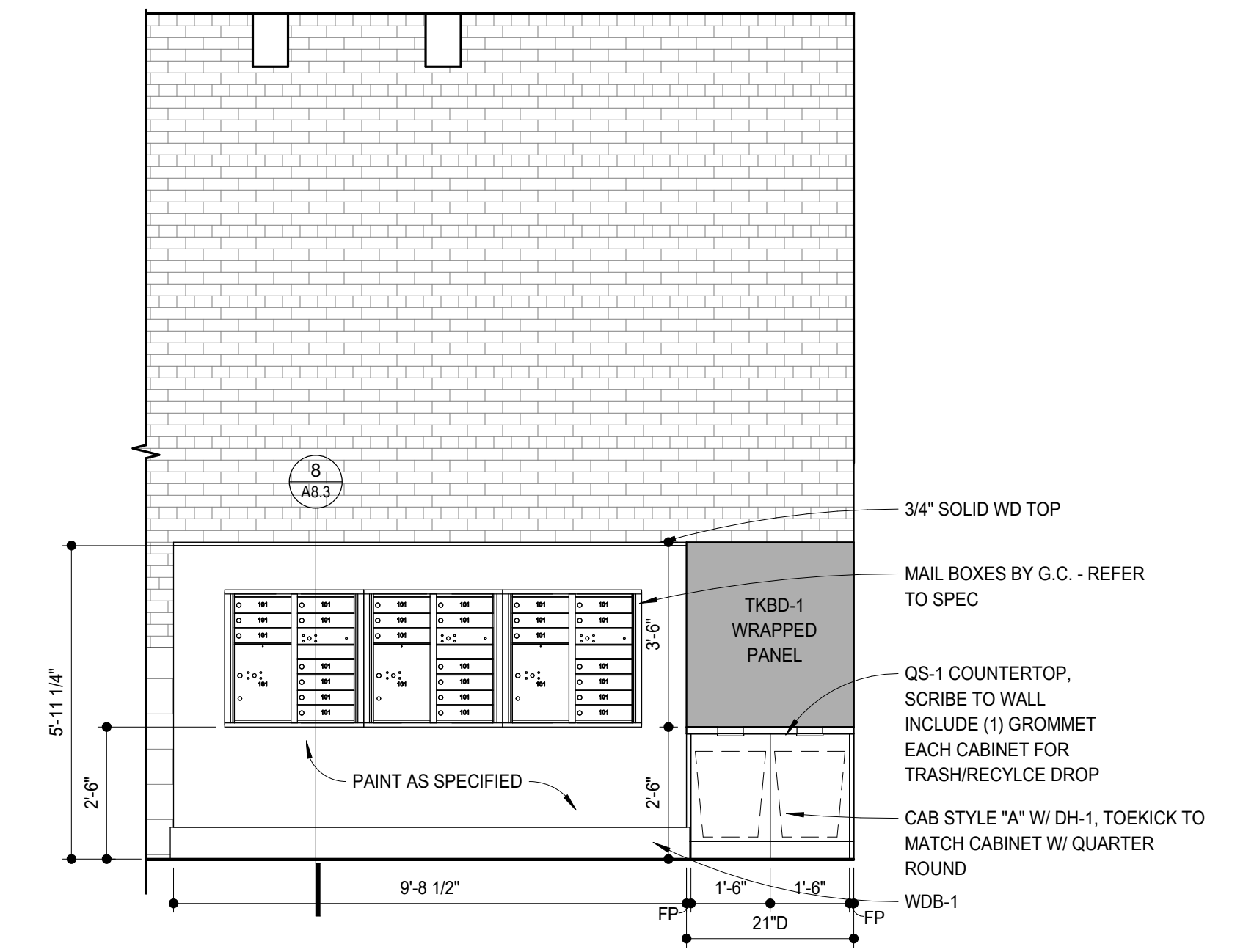
Commission No.	55678-17047
Drawn by	LL, MM
Checked by	DP

SHEET

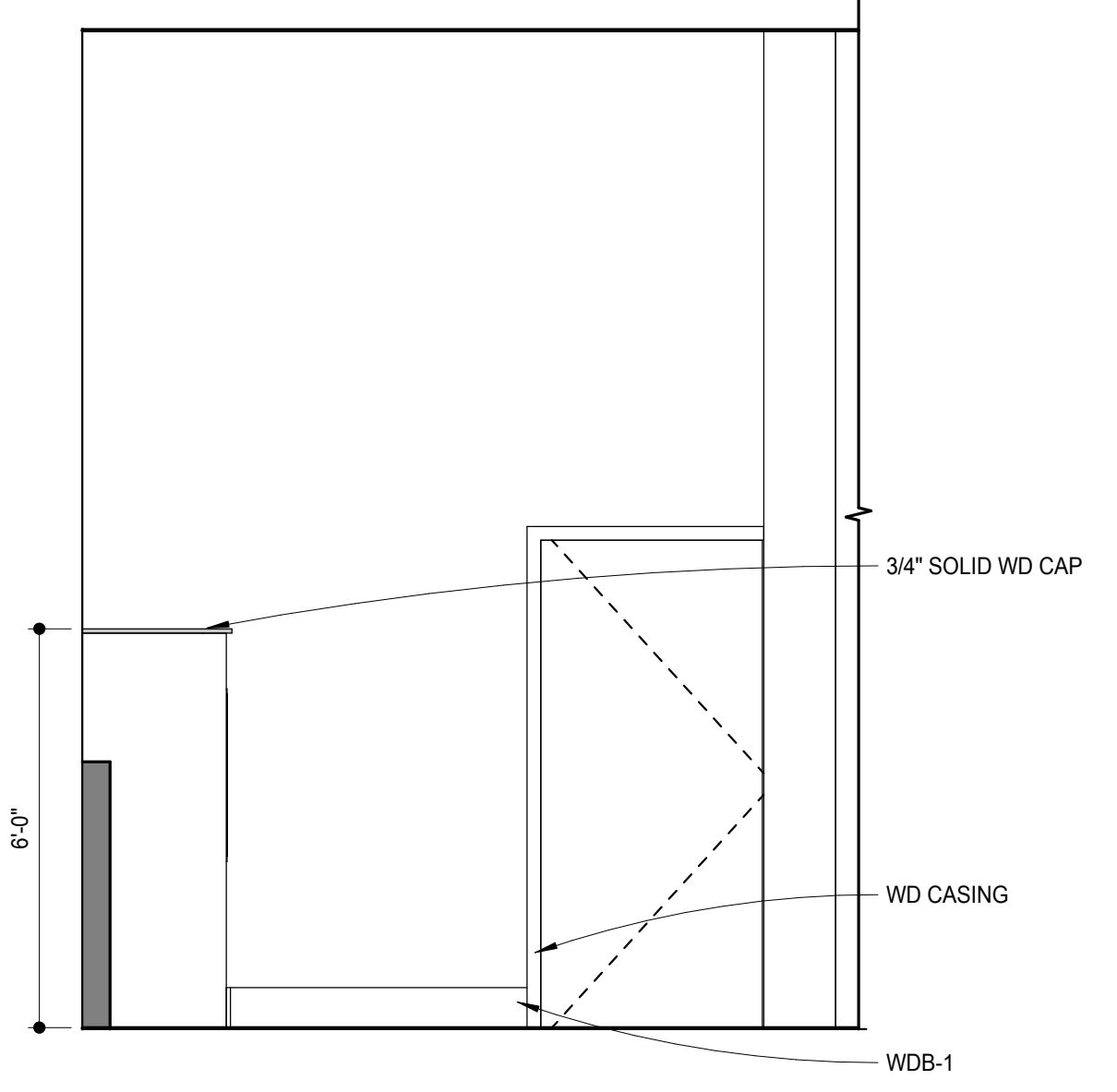
**A8.3**



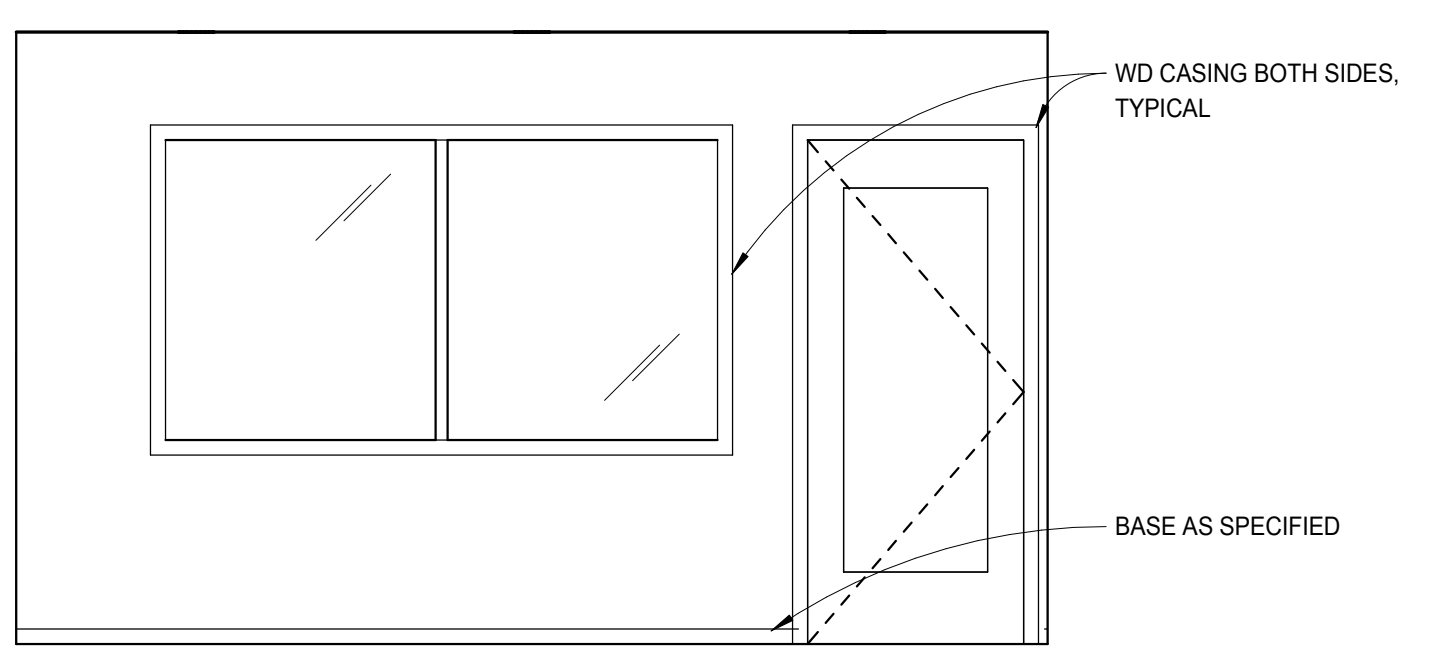
7  
A8.3 LAUNDRY 214, 314 - B  
3/8" = 1'-0"



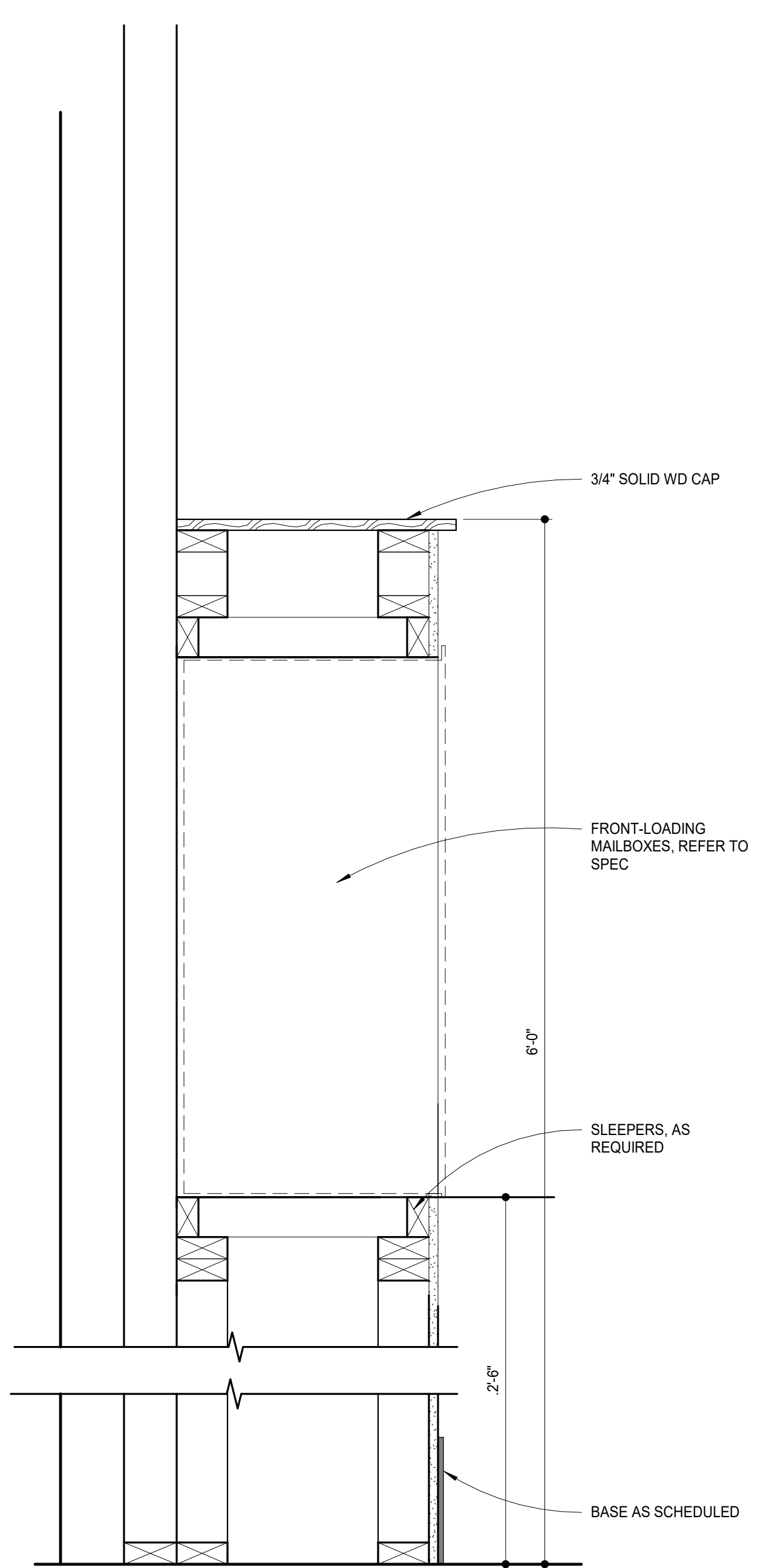
4  
A8.3 LOBBY 102 - A  
3/8" = 1'-0"



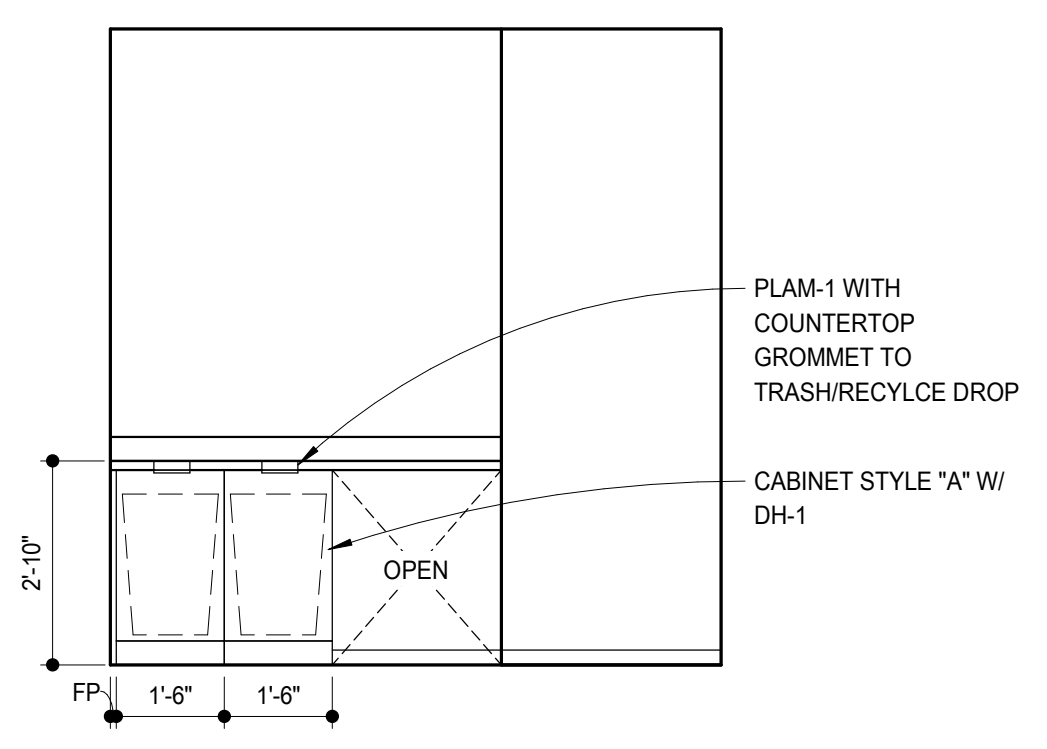
5  
A8.3 LOBBY 102 - B  
3/8" = 1'-0"



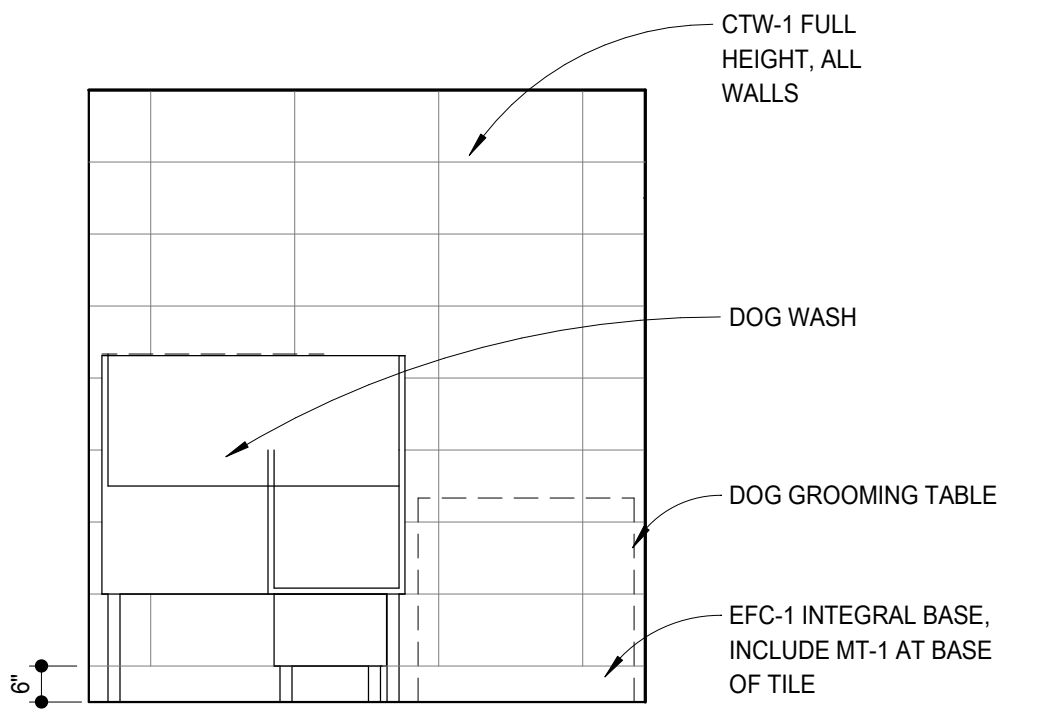
2  
A8.3 FITNESS 021 - B  
3/8" = 1'-0"



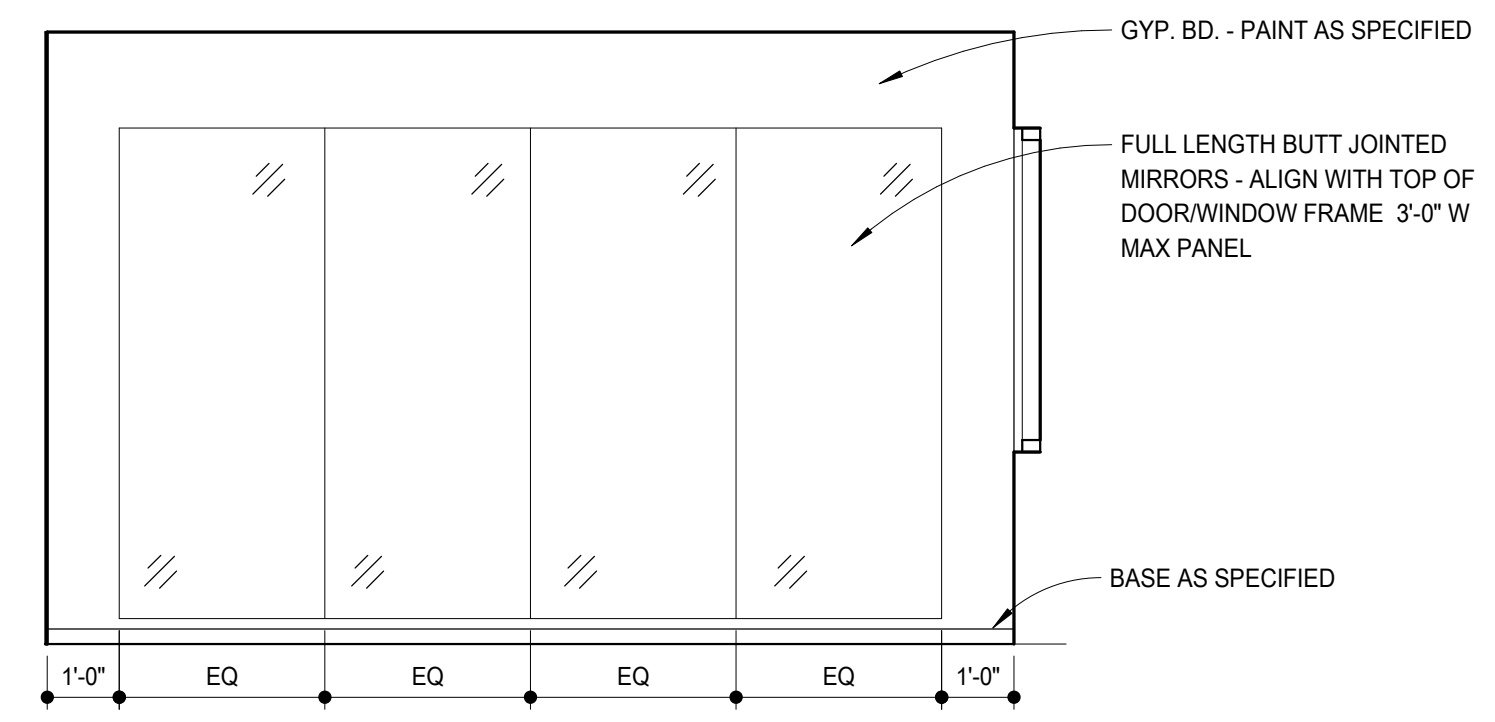
8  
A8.3 MAILBOX SECTION  
1 1/2" = 1'-0"



6  
A8.3 LAUNDRY 214, 314 - A  
3/8" = 1'-0"



3  
A8.3 DOG GROOMING 015  
3/8" = 1'-0"



1  
A8.3 FITNESS 021 - A  
3/8" = 1'-0"

### REFLECTED CEILING NOTES

A) ALL NEW MECHANICAL/ELECTRICAL CEILING DEVICES SHALL BE CENTERED IN ACOUSTIC CEILING TILES UNLESS NOTED OTHERWISE.

B) THE LIGHTING INFORMATION SHOWN IS BASED ON THE DESIGN OF GAIN THOMAS ASSOCIATES. REFER TO THE ATTACHED ELECTRICAL DRAWINGS FOR THE FINAL QUANTITY AND PLACEMENT OF LIGHT FIXTURES.

D) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.

F) ALL CEILING GRILLES, MISC. METALS TO BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR. U.N.O.

G) DECORATIVE PENDANTS TO BE CENTERED OVER TRANSACTION TOPS & SPACED AS SHOWN. SEE ELEVATIONS FOR MOUNTING HEIGHTS.

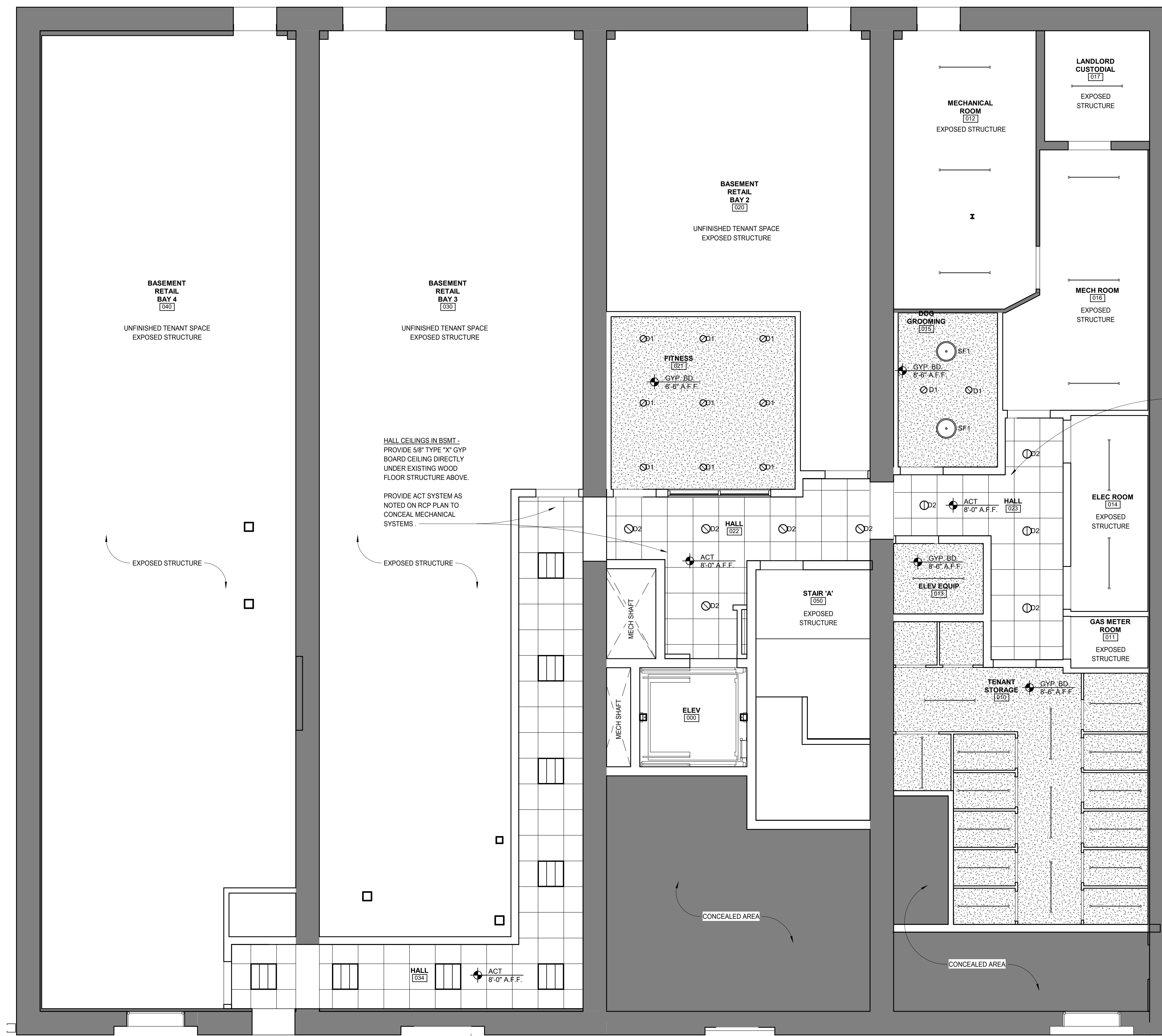
H) ALL CEILINGS, SOFFITS AND BULKHEADS TO RECEIVE PT-2 U.N.O.

### LIGHT FIXTURE SCHEDULE

⊙D1	5' LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTOLIER STYLE: SLIMSURFACE LED DOWNLIGHT SSR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
⊙D2	7' LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTOLIER STYLE: SLIMSURFACE LED DOWNLIGHT 7SR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
⊙SF1	SEMI-FLUSH DECORATIVE FIXTURE MANUFACTURER: TECH LIGHTING STYLE: HUTCH CEILING #700FMHC-40-B SIZE: 13"DIA X 15"H, 17" OVERALL HT. FINISH: MATTE BLACK
⊙P1	PENDANT MANUFACTURER: TECH LIGHTING STYLE: FETT PENDANT (LED) SIZE: 18.5"W X 17.7"D FINISH: WEATHERED ZINC CONFIRM FINAL MOUNTING HEIGHT WITH ARCHITECT
⊙S1	WALL SCONCE (UNIT ENTRY) MANUFACTURER: HINKLEY LIGHTING STYLE: MERCER WALL LIGHT 3550HB SIZE: 6.8"DIA X 4"D FINISH: HERITAGE BRASS
⊙S2	WALL SCONCE (UNIT BATH) MANUFACTURER: BARN LIGHT ELECTRIC COMPANY STYLE: THE DOWNLIGHT MINIMALIST ADJUSTABLE SCONCE #BLE-W-PINDYK SIZE: 48"L TRACK, 7"W X 9.5"H X 4"D HEAD FINISH: BLACK 100
⊙T1	TRACK LIGHTING (UNIT KITCHEN) MANUFACTURER: WAC LIGHTING STYLE: SILO X10 LED LINE VOLTAGE TRACK AND HEAD SIZE: 2" X 9" X 17.18"H, 5 TOTAL LIGHTS FINISH: WHITE
—	LED STRIP LIGHT
⊞	2X2 LAY-IN DIRECT-IN-DIRECT LED LIGHT FIXTURE
CJ	DRYWALL CONTROL JOINT
WT-1	WINDOW TREATMENT - REFER TO MATERIAL ID @ A10.1 FOR SPECIFICATIONS

### CEILING SCHEDULE

⊞	GYP. BD. CEILING/SOFFT PAINTED PT-2, U.N.O.
⊞	2X2 ACOUSTICAL CEILING SEE MATERIAL ID @ A10.1 FOR SPECIFICATIONS
⊞	EXPOSED CEILING PAINTED PT-2, U.N.O.

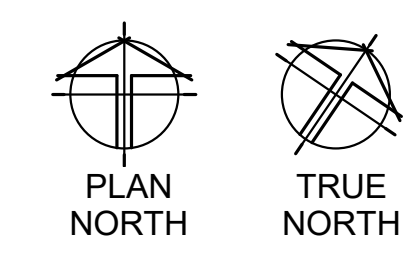


HALL CEILINGS IN BSMT - PROVIDE 5/8" TYPE "X" GYP BOARD CEILING DIRECTLY UNDER EXISTING WOOD FLOOR STRUCTURE ABOVE.

PROVIDE ACT SYSTEM AS NOTED ON RCP PLAN TO CONCEAL MECHANICAL SYSTEMS.

NOT FOR CONSTRUCTION

1  
A9.0  
BASEMENT LEVEL REFLECTED CEILING PLAN  
1/4" = 1'-0"



BASEMENT LEVEL  
REFLECTED CEILING  
PLAN

Revised System:

PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	LL, MM
Checked by	DP

SHEET

A9.0



**REFLECTED CEILING NOTES**

- A) ALL NEW MECHANICAL/ELECTRICAL CEILING DEVICES SHALL BE CENTERED IN ACOUSTIC CEILING TILES UNLESS NOTED OTHERWISE.
- B) THE LIGHTING INFORMATION SHOWN IS BASED ON THE DESIGN OF CAIN THOMAS ASSOCIATES. REFER TO THE ATTACHED ELECTRICAL DRAWINGS FOR THE FINAL QUANTITY AND PLACEMENT OF LIGHT FIXTURES.
- D) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.
- F) ALL CEILING GRILLES, MISC. METALS TO BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR, U.N.O.
- G) DECORATIVE PENDANTS TO BE CENTERED OVER TRANSACTION TOPS & SPACED AS SHOWN. SEE ELEVATIONS FOR MOUNTING HEIGHTS.
- H) ALL CEILINGS, SOFFITS AND BULKHEADS TO RECEIVE PT-2 U.N.O.

**LIGHT FIXTURE SCHEDULE**

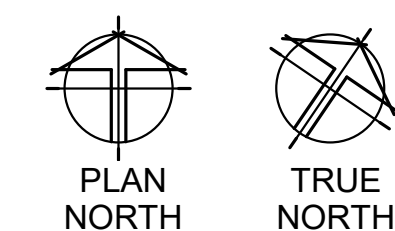
⊙D1	5' LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTOLIER STYLE: SLMSURFACE LED DOWNLIGHT SSR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
⊙D2	7' LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTOLIER STYLE: SLMSURFACE LED DOWNLIGHT 7SR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
⊙SF1	SEMI-FLUSH DECORATIVE FIXTURE MANUFACTURER: TECH LIGHTING STYLE: HUTCH CEILING #70RMTTC-40-B SIZE: 13"DIA. X 15"H. 17" OVERALL HT. FINISH: MATTE BLACK
⊙P1	PENDANT MANUFACTURER: TECH LIGHTING STYLE: FETT PENDANT (LED) SIZE: 18.3/4" X 17.7"D FINISH: WEATHERED ZINC CONFIRM FINAL MOUNTING HEIGHT WITH ARCHITECT
⊙S1	WALL SCONCE (UNIT ENTRY) MANUFACTURER: HINKLEY LIGHTING STYLE: MERCER WALL LIGHT 36504B SIZE: 6.6"DIA X 4"D FINISH: HERITAGE BRASS
⊙S2	WALL SCONCE (UNIT BATH) MANUFACTURER: BARN LIGHT ELECTRIC COMPANY STYLE: THE DOWNLIGHT MINIMALIST ADJUSTABLE SCONCE #BLE-W-PINDYK SIZE: 48"L TRACK, 7"W X 9.5"H X 4"D HEAD FINISH: BLACK 100
⊙T1	TRACK LIGHTING (UNIT KITCHEN) MANUFACTURER: WAC LIGHTING STYLE: SILC X10 LED LINE VOLTAGE TRACK AND HEAD SIZE: 2"D X 5"L X 7.18"H 5 TOTAL LIGHTS FINISH: WHITE
—	LED STRIP LIGHT
⊎	2X2 LAY-IN DIRECT-IN-DIRECT LED LIGHT FIXTURE
—	DRYWALL CONTROL JOINT
WT-1	WINDOW TREATMENT - REFER TO MATERIAL ID @ A10.1 FOR SPECIFICATIONS

**CEILING SCHEDULE**

⊎	GYP. BD. CEILING/SOFFIT PAINTED PT-2, U.N.O.
⊎	2X2 ACOUSTICAL CEILING SEE MATERIAL ID @ A10.1 FOR SPECIFICATIONS
□	EXPOSED CEILING PAINTED PT-2, U.N.O.



1 FIRST LEVEL REFLECTED CEILING PLAN  
A9.1 1/4" = 1'-0"



NOT FOR CONSTRUCTION

FIRST LEVEL  
REFLECTED CEILING  
PLAN

Part 2 Amend. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	LL,MM
Checked by	DP

SHEET

A9.1



1295 BANDANA BLVD N, SUITE 200  
ST. PAUL, MN 55108-2735  
(651) 642-9200 | FAX (651) 642-1101  
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COMMISSION HOUSE  
RENOVATION  
282 EAST 6TH ST  
SAINT PAUL, MN

### REFLECTED CEILING NOTES

- A) ALL NEW MECHANICAL/ELECTRICAL CEILING DEVICES SHALL BE CENTERED IN ACOUSTIC CEILING TILES UNLESS NOTED OTHERWISE.
- B) THE LIGHTING INFORMATION SHOWN IS BASED ON THE DESIGN OF CAIN THOMAS ASSOCIATES. REFER TO THE ATTACHED ELECTRICAL DRAWINGS FOR THE FINAL QUANTITY AND PLACEMENT OF LIGHT FIXTURES.
- D) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.
- F) ALL CEILING GRILLES, MISC. METALS TO BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR, U.N.O.
- G) DECORATIVE PENDANTS TO BE CENTERED OVER TRANSACTION TOPS & SPACED AS SHOWN. SEE ELEVATIONS FOR MOUNTING HEIGHTS.
- H) ALL CEILINGS, SOFFITS AND BULKHEADS TO RECEIVE PT-2 U.N.O.

### LIGHT FIXTURE SCHEDULE

°D1	6" LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTQUIER STYLE: SLMSURFACE LED DOWNLIGHT SSR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
°D2	7" LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTQUIER STYLE: SLMSURFACE LED DOWNLIGHT 7SR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
°SF1	SEMI-FLUSH DECORATIVE FIXTURE MANUFACTURER: TECH LIGHTING STYLE: HUTCH CEILING #700FHTC-40-B SIZE: 13"DIA X 15"H, 17" OVERALL HT. FINISH: MATTE BLACK
°P1	PENDANT MANUFACTURER: TECH LIGHTING STYLE: FEET PENDANT (LED) SIZE: 18.374" X 17.7" FINISH: WEATHERED ZINC CONFIRM FINAL MOUNTING HEIGHT WITH ARCHITECT
°S1	WALL SCONCE (UNIT ENTRY) MANUFACTURER: HINKLEY LIGHTING STYLE: MERCER WALL LIGHT 3650HB SIZE: 6.8"DIA X 4"D FINISH: HERITAGE BRASS
°S2	WALL SCONCE (UNIT BATH) MANUFACTURER: BARN LIGHT ELECTRIC COMPANY STYLE: THE DOWNLIGHT MINIMALIST ADJUSTABLE SCONCE #BLE-W-PINDYK SIZE: 48"L TRACK, 7"W X 9.5"H X 4"D HEAD FINISH: BLACK 100
TT1	TRACK LIGHTING (UNIT KITCHEN) MANUFACTURER: WAC LIGHTING STYLE: SLO X10 LED LINE VOLTAGE TRACK AND HEAD SIZE: 2"D X 5"L X 7.18"H, 5 TOTAL LIGHTS FINISH: WHITE
---	LED STRIP LIGHT
■	2"x2" LAY-IN DIRECT-IN-DIRECT LED LIGHT FIXTURE
—	DRYWALL CONTROL JOINT
◀WT-1▶	WINDOW TREATMENT - REFER TO MATERIAL ID @ A10.1 FOR SPECIFICATIONS

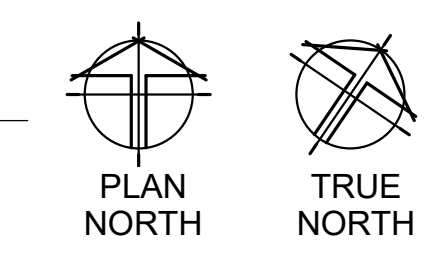
### CEILING SCHEDULE

■	GYP. BD. CEILING/SOFFIT PAINTED PT-2, U.N.O.
■	2X2 ACOUSTICAL CEILING SEE MATERIAL ID @ A10.1 FOR SPECIFICATIONS
■	EXPOSED CEILING PAINTED PT-2, U.N.O.

NOT FOR CONSTRUCTION



1 SECOND LEVEL REFLECTED CEILING PLAN- SHELL WORK  
A9.2 1/4" = 1'-0"



### SECOND LEVEL REFLECTED CEILING PLAN - SHELL WORK

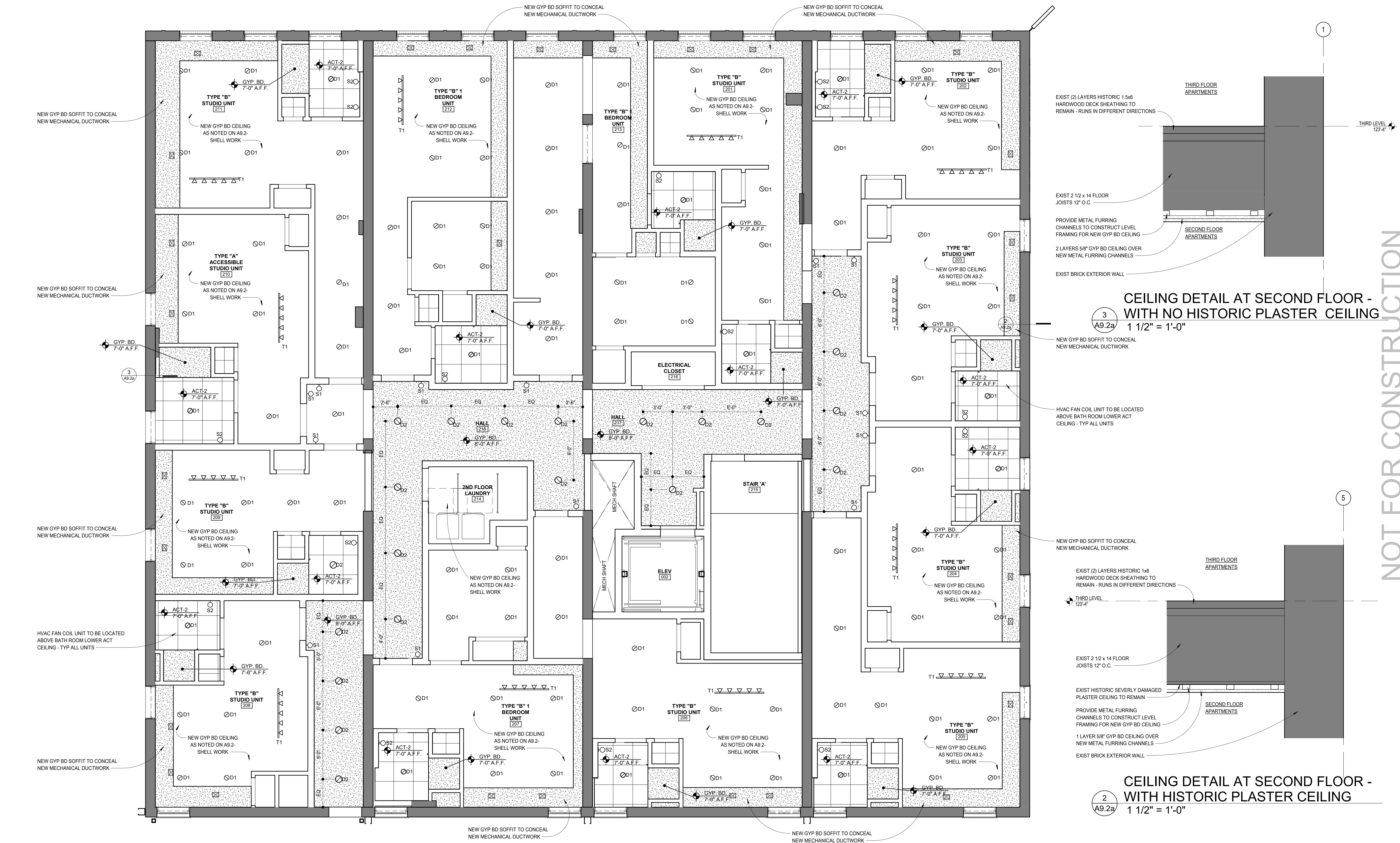
Revision Table:  
PART 2 AMEND. 1 11-30-17  
HPC REVISIONS 2-2-18

Commission No: 55678-17047  
Drawn by: LL  
Checked by: DP

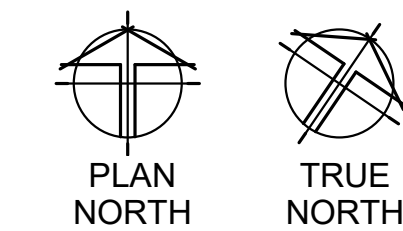
SHEET

A9.2

1" = 1'-0" SCALE  
C:\Revol Projects\05078-17047\_Sec2nd\_Renov\05078-17047\_S2.dwg  
DATE: 11/30/17 11:52 AM



1  
A9.2a  
SECOND LEVEL REFLECTED CEILING PLAN- APARTMENT LAYOUT  
1/4" = 1'-0"



NOT FOR CONSTRUCTION

3  
A9.2a  
CEILING DETAIL AT SECOND FLOOR -  
WITH NO HISTORIC PLASTER CEILING  
1 1/2" = 1'-0"

2  
A9.2a  
CEILING DETAIL AT SECOND FLOOR -  
WITH HISTORIC PLASTER CEILING  
1 1/2" = 1'-0"

SECOND LEVEL  
REFLECTED CEILING  
PLAN- APARTMENT  
LAYOUT

Based on System:

PART 2 AMEND. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	LL,MM
Checked by	DP

SHEET

**A9.2a**

**REFLECTED CEILING NOTES**

- A) ALL NEW MECHANICAL/ELECTRICAL CEILING DEVICES SHALL BE CENTERED IN ACOUSTIC CEILING TILES UNLESS NOTED OTHERWISE.
- B) THE LIGHTING INFORMATION SHOWN IS BASED ON THE DESIGN OF CAIN THOMAS ASSOCIATES. REFER TO THE ATTACHED ELECTRICAL DRAWINGS FOR THE FINAL QUANTITY AND PLACEMENT OF LIGHT FIXTURES.
- D) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.
- F) ALL CEILING GRILLES, MISC. METALS TO BE PAINTED TO MATCH SURFACE ON WHICH THEY OCCUR, U.N.O.
- G) DECORATIVE PENDANTS TO BE CENTERED OVER TRANSACTION TOPS & SPACED AS SHOWN. SEE ELEVATIONS FOR MOUNTING HEIGHTS.
- H) ALL CEILINGS, SOFFITS AND BULKHEADS TO RECEIVE PT-2 U.N.O.

**LIGHT FIXTURE SCHEDULE**

D1	8" LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTOUIER STYLE: SLMSURFACE LED DOWNLIGHT SSR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
D2	7" LED DOWNLIGHT MANUFACTURER: PHILIPS LIGHTOUIER STYLE: SLMSURFACE LED DOWNLIGHT 7SR SIZE: 7" DIA. X 5/8" THICK FINISH: WHITE LENS: WHITE
SF1	SEMI-FLUSH DECORATIVE FIXTURE MANUFACTURER: TECH LIGHTING STYLE: HUTCH CEILING #700MHTC-40-B SIZE: 13"DIA X 15"H. 17" OVERALL HT. FINISH: MATTE BLACK
P1	PENDANT MANUFACTURER: TECH LIGHTING STYLE: FETT PENDANT (LED) SIZE: 18.3"H X 17.7"D FINISH: WEATHERED ZINC CONFIRM FINAL MOUNTING HEIGHT WITH ARCHITECT
S1	WALL SCONCE (UNIT ENTRY) MANUFACTURER: HINKLEY LIGHTING STYLE: MERCER WALL LIGHT 3650HB SIZE: 6.8"DIA X 4"D FINISH: HERITAGE BRASS
S2	WALL SCONCE (UNIT BATH) MANUFACTURER: BARN LIGHT ELECTRIC COMPANY STYLE: THE DOWNLIGHT MINIMALIST ADJUSTABLE SCONCE #BLE-W-PINDYK SIZE: 48"L TRACK, 7"W X 9.5"H X 4"D HEAD FINISH: BLACK 100
T1	TRACK LIGHTING (UNIT KITCHEN) MANUFACTURER: WAC LIGHTING STYLE: SILO X10 LED LINE VOLTAGE TRACK AND HEAD SIZE: 2"D X 5"L X 7.18"H. 5 TOTAL LIGHTS FINISH: WHITE
	LED STRIP LIGHT
	2x2' LAY-IN DIRECT/IN-DIRECT LED LIGHT FIXTURE
CJ	DRYWALL CONTROL JOINT
WT-1	WINDOW TREATMENT - REFER TO MATERIAL ID @ A10.1 FOR SPECIFICATIONS

**CEILING SCHEDULE**

	GYP. BD. CEILING/SOFFIT PAINTED PT-2, U.N.O.
	2x2' ACOUSTICAL CEILING SEE MATERIAL ID @ A10.1 FOR SPECIFICATIONS
	EXPOSED CEILING PAINTED PT-2, U.N.O.



NOT FOR CONSTRUCTION

THIRD LEVEL  
REFLECTED CEILING  
PLAN - SHELL WORK

Part 2 Amend. 1 11-30-17  
HPC REVISIONS 2-2-18

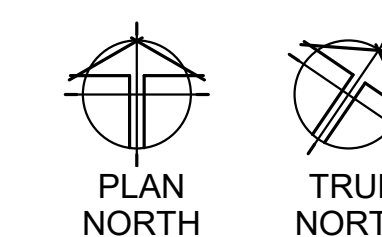
Commission No: 55678-17047  
Type: LL  
Project: DP

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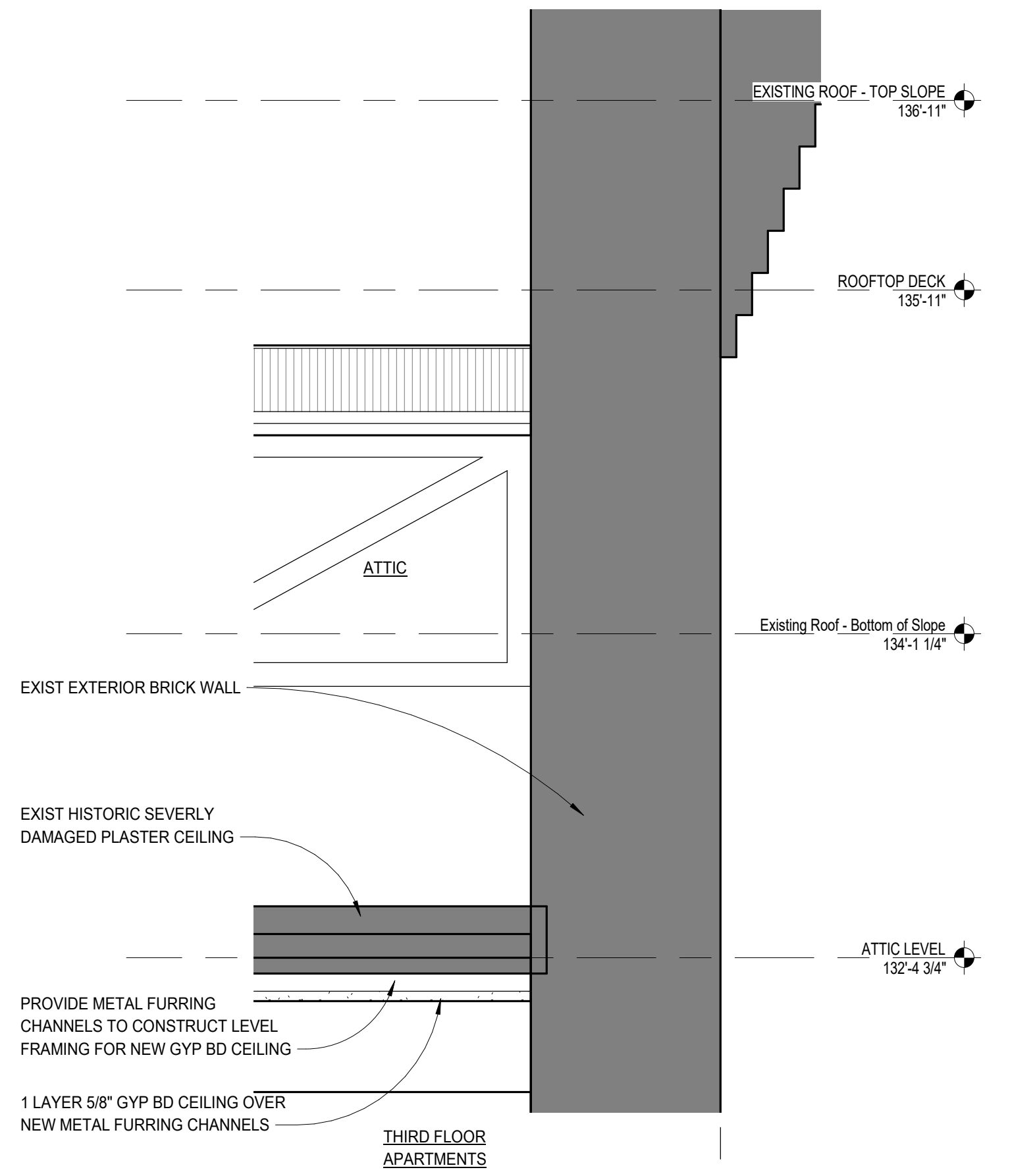
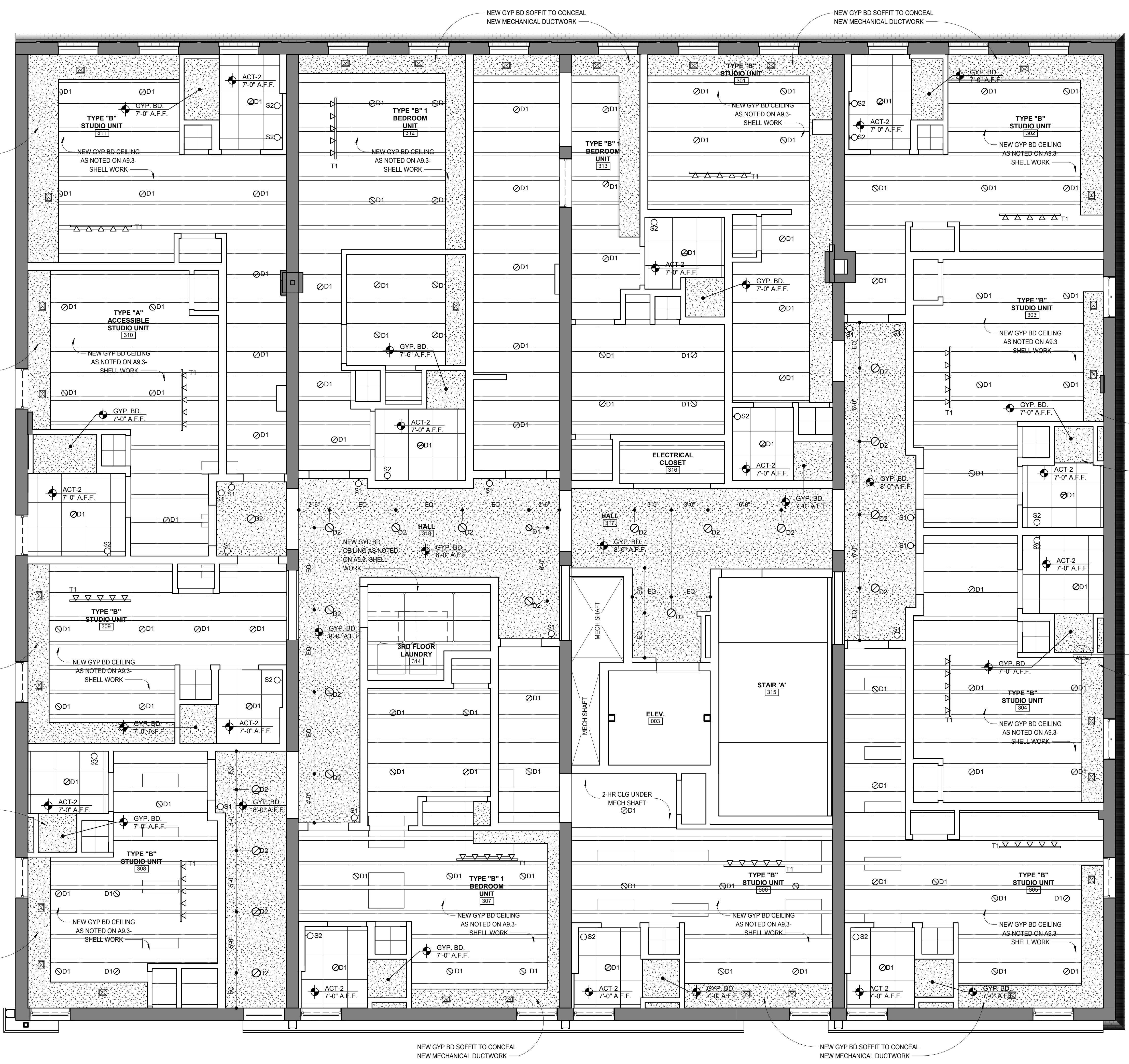
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1" = 12' SCALE  
C:\Revol Projects\05078-17047\_Seeded Renovation\05078-17047-09.dwg (11/30/17)

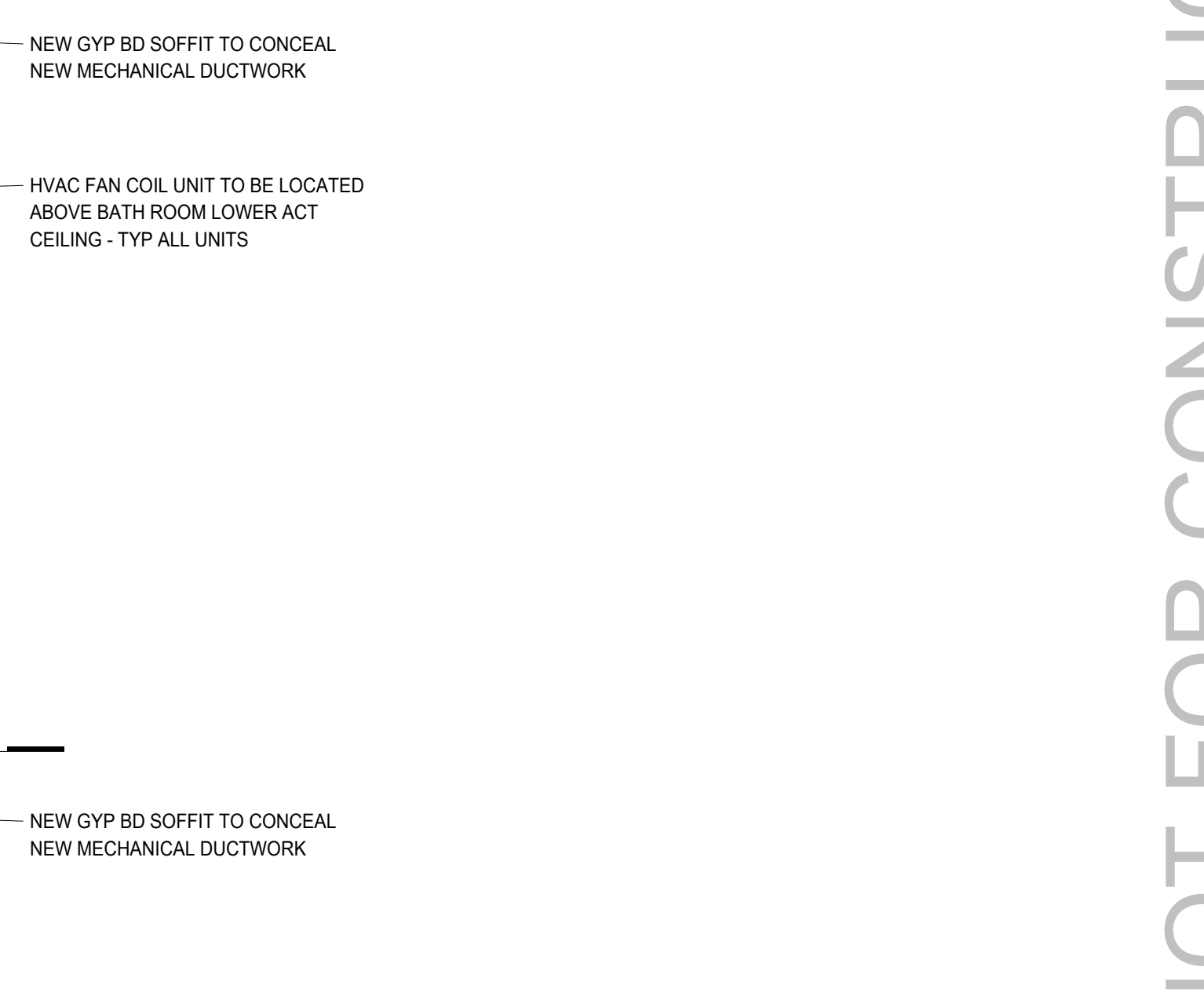
1 THIRD LEVEL REFLECTED CEILING PLAN - SHELL WORK  
A9.3 1/4" = 1'-0"



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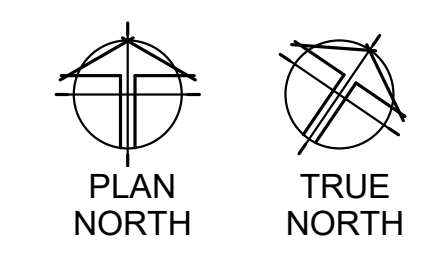


**3**  
A9.3a  
**CEILING / ATTIC DETAIL AT  
THIRD FLOOR**  
1 1/2" = 1'-0"



**2**  
A9.3a  
**2-HR CEILING**  
1 1/2" = 1'-0"

**1**  
A9.3a  
**THIRD LEVEL APARTMENT REFLECTED CEILING PLAN**  
1/4" = 1'-0"



**THIRD LEVEL  
REFLECTED CEILING  
PLAN - APARTMENT**

Part 2 Amend. 1	11-30-17
HPC REVISIONS	2-2-18

Commission No.	55678-17047
Drawn by	LL,MM
Checked by	DP

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**A9.3a**

# INTERIORS MATERIAL IDENTIFICATION AND ABBREVIATIONS LIST

REV.	SECTION	ABBREV.	DESCRIPTION	REV.	ABBREV.	SECTION	DESCRIPTION
	09 5113		ACOUSTICAL CEILING TILE		09 6513		RESILIENT BASE
		ACT-1	MANUFACTURER: ARMSTRONG PRODUCT: DUNE 1775 COLOR: WHITE SIZE: 24" X 24" X 5/8" EDGE: BEVELED TEGULAR NRC: .50 CAC: 35 GRID: SUPRAFINE XL 9/16" EXPOSED TEE, WHITE CONTACT: BETH SCHELDTRUP (612) 968-0613			RB-1	MANUFACTURER: JOHNSONITE COLOR: SNOW WHITE PRODUCT: 2.5H WALL BASE PROFILE: COVED
						RB-2	MANUFACTURER: JOHNSONITE COLOR: SNOW WHITE PRODUCT: 2.5H WALL BASE PROFILE: STRAIGHT CONTACT: RICK GALE (652) 884-0434
		ACT-2	MANUFACTURER: ARMSTRONG PRODUCT: CLEAN ROOM VL UNPERFORATED #868 COLOR: WHITE SIZE: 24" X 24" X 5/8" EDGE: SQUARE NRC: --- CAC: 40 GRID: PRELUDE XL 15/16" EXPOSED TEE, WHITE CONTACT: BETH SCHELDTRUP (612) 968-0613		03 3000		SEALED CONCRETE
						SC-1	REFER TO SPECIFICATION MANUAL
	06 6100		CULTURED MARBLE		09 7280		TACKBOARD WRAPPED PANEL
		CM-1	MANUFACTURER: SFI, INC. COLOR: SNOW FINISH: MATTE (ALL UNIT BATH COUNTERTOP & BOWL, TYPICAL)			TKBD-1	MANUFACTURER: MAHARAM STYLE: SPIRAL 901882 COLOR: 006 GRAPHITE CONTACT: TRACY SHAND (612) 382-1116
	09 6813 & 09 6816		CARPET				TRANSITION STRIPS (FLOORING)
		CPT-1	MANUFACTURER: J&J FLOORING GROUP (STAIRS) STYLE: PROBLEM SOLVED 6272 COLOR: DUCT TAPE 1210 SIZE: 12'-0" BROADLOOM INSTALLATION METHOD: HOLLYWOOD CONTACT: TONY HILL (763) 232-4419		09 6513	TS-1	MANUFACTURER: TANDUS-CENTIVA SERIES: METALEDGE PRODUCT: ME001 COLOR: BLACK PEARL LOCATION: WDF TO RESILIENT, RESILIENT TO CPT
		CPT-2	MANUFACTURER: FLOR (FITNESS) STYLE: MILLINER COLOR: BLACK 21-1343-01 SIZE: 50CM X 50CM INSTALLATION METHOD: PARQUET CONTACT: RICK SMITH (612) 325-3407		06 2000		WOOD
						WDB-1	MANUFACTURER: METRIE OR EQUAL PRODUCT: 18S4SPOP10 - 7 1/4" FLAT STOCK SPECIES: MDF OR POPLAR FINISH: PAINTED TO MATCH PT-1 NOTE: PROVIDE WD SHOE, TYPICAL PROFILE/SIZE: 7-1/4" X 3/4"D
	09 3000		CERAMIC TILE (WALL)			WDB-2	MANUFACTURER: METRIE OR EQUAL PRODUCT: 13S4SPOP - 2 1/2" FLAT STOCK SPECIES: MDF OR POPLAR FINISH: PAINTED TO MATCH PT-1 NOTE: PROVIDE WD SHOE, TYPICAL PROFILE/SIZE: 2 1/2" X 3/4"D
		CTW-1	DISTRIBUTOR: RBC TILE AND STONE (DOG WASH) STYLE: BACK BAY BBA22 COLOR: 22 SIZE: 12" X 24"W GROUT: DELOREAN GRAY H160, EPOXY INSTALLATION: STRAIGHT STACK, REFER TO ELEVATIONS CONTACT: ELKE BANGERTER (612) 865-7717			WD SHOE	MANUFACTURER: METRIE OR EQUAL PRODUCT: 10SPOP - 3/4" QUARTER-ROUND SPECIES: MDF OR POPLAR FINISH: PAINTED TO MATCH PT-1 NOTE: PROVIDE AT ALL WD BASE, TYPICAL PROFILE/SIZE: 3/4" X 3/4" QUARTER-ROUND
		CTW-2	DISTRIBUTOR: KATE-LO TILE AND STONE (UNIT KITCHEN BACKSPLASH) STYLE: QT CD STG 0209 CHEV COLOR: CAD STERLING GRAY SIZE: 2" X 9" GROUT: TEC 939 MIST WITH GROUT BOOST INSTALLATION: HERRINGBONE, REFER TO ELEVATIONS CONTACT: ALISSA OLSON (763) 545-8830			WD CASING	MANUFACTURER: METRIE OR EQUAL PRODUCT: 13S4SPOP - 2 1/2" FLAT STOCK SPECIES: MDF OR POPLAR FINISH: PAINTED TO MATCH PT-1 PROFILE/SIZE: 2 1/2" X 3/4"D
	06 2000		DECORATIVE HARDWARE			PANEL MOULDING	MANUFACTURER: METRIE OR EQUAL PRODUCT: --- SPECIES: MDF OR POPLAR FINISH: PAINTED TO MATCH DOOR IN WHICH PANEL MOULDING IS APPLIED PROFILE/SIZE: 3/4"W X 1/2"D
		DH-1	MANUFACTURER: BERENSON HARDWARE (COMMON AREAS) COLLECTION: UPTOWN APPEAL COLLECTION STYLE: BRAVO 1064-4055-P FINISH: SATIN BLACK SIZE: 6"L X 3/4"W X 1-3/4"H CONTACT: (716) 833-3100			WDF-1	EXISTING, SALVAGED OR NEW TO MATCH EXISTING/SALVAGED WOOD FLOORING FINISH: STAINED TO MATCH ARCHITECTS SAMPLE
		DH-2	MANUFACTURER: BERENSON HARDWARE (UNITS) COLLECTION: UPTOWN APPEAL COLLECTION STYLE: BRAVO 1060-4055-P FINISH: SATIN BLACK SIZE: 3"L X 3/4"W X 1-3/4"H CONTACT: (716) 833-3100		12 2113	WT-1	WINDOW TREATMENT MANUFACTURER: SWF CONTRACT DESCRIPTION: BALI HERITAGE 2" ALUMINUM BLINDS COLOR: WHITE CONTACT: ADAM BJORK (608) 381-3629
	06 6723		EPOXY FLOOR COATING				
		EFC-1	MANUFACTURER: STONEHARD PRODUCT: EPOXY FLOOR SYSTEM - REFER TO SPEC MANUAL COLOR: BLACK PROVIDE 6" HIGH INTEGRAL BASE WHERE NOTED EDGE STRIPS, BASE TOP CAP AND MISC. TRIM PIECES AS RECOMMENDED BY MANUFACTURER				
	09 6519		LUXURY VINYL TILE				
		LVT-1	MANUFACTURER: SHAW CONTRACT PRODUCT: PIGMENT 0365V COLOR: CHARCOAL 65695 SIZE: 7" X 48" NOMINAL WEAR LAYER: 20MM FLOATING SYSTEM INSTALLATION CONTACT: JULIE MERTZ (612) 747-2494				
	09 3000 & 06 4023		METAL TRIM				
		MT-1	MANUFACTURER: SCHLUTER STYLE: SCHIENE COLOR: AE SATIN ANODIZED ALUMINUM CONTACT: (800) 472-4588				
	06 2000		PLASTIC LAMINATE				
		PLAM-1	MANUFACTURER: FORMICA PATTERN/COLOR: SILVER OAK HERRINGBONE 9311-58 FINISH: MATTE CONTACT: KRISTEN RADTKE (612) 222-8868				
	09 9100		PAINT				
		PT-1	SHERWIN WILLIAMS COLOR: CREAMY SW7012 FINISH: EGGSHELL (MAIN NEUTRAL)				
		PT-2	SHERWIN WILLIAMS COLOR: CREAMY SW7012 FINISH: FLAT (CEILINGS, UNIT INTERIOR WALLS)				
		PT-3	SHERWIN WILLIAMS COLOR: CREAMY SW7012 FINISH: SEMI-GLOSS (HM DOORS, HM FRAMES)				
		PT-4	SHERWIN WILLIAMS COLOR: SKYLINE STEEL SW1015 FINISH: EGGSHELL (WARM GRAY ACCENT)				
		PT-5	SHERWIN WILLIAMS COLOR: GRAY MATTERS SW7066 FINISH: EGGSHELL (COOL GRAY ACCENT)				
		PT-6	BENJAMIN MOORE COLOR: TEMPATION 1609 (BASEMENT & 1ST FLOOR DOORS)				
		PT-7	BENJAMIN MOORE COLOR: PEALE GREEN HC-121 (2ND FLOOR DOORS)				
		PT-8	BENJAMIN MOORE COLOR: NARRAGANSETT GREEN HC-157 (3RD FLOOR DOORS)				
		PT-9	SHERWIN WILLIAMS COLOR: DIFFERENT GOLD SW6396 FINISH: EGGSHELL (LIME ACCENT)				
		PT-10	CUSTOM PAINT PATTERN BY LOCAL ARTIST AS SELECTED BY OWNER PREP WALL FOR LEVEL 4 SMOOTH FINISH; INCLUDE \$1,000.00/ARTIST AND MATERIAL ALLOWANCE PER FLOOR				
	06 2000		QUARTZ SURFACE				
		QS-1	MANUFACTURER: CAESARSTONE QUARTZ SURFACES COLOR/PATTERN: 2003 CONCRETE EDGE PROFILE: SQUARE (EASED) CONTACT: MALLORY JOHNSON (612) 518-1175				

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## INTERIOR MATERIAL IDENTIFICATION & ABBREVIATIONS

Issue and Revision:

HPC REVISIONS 2-2-18

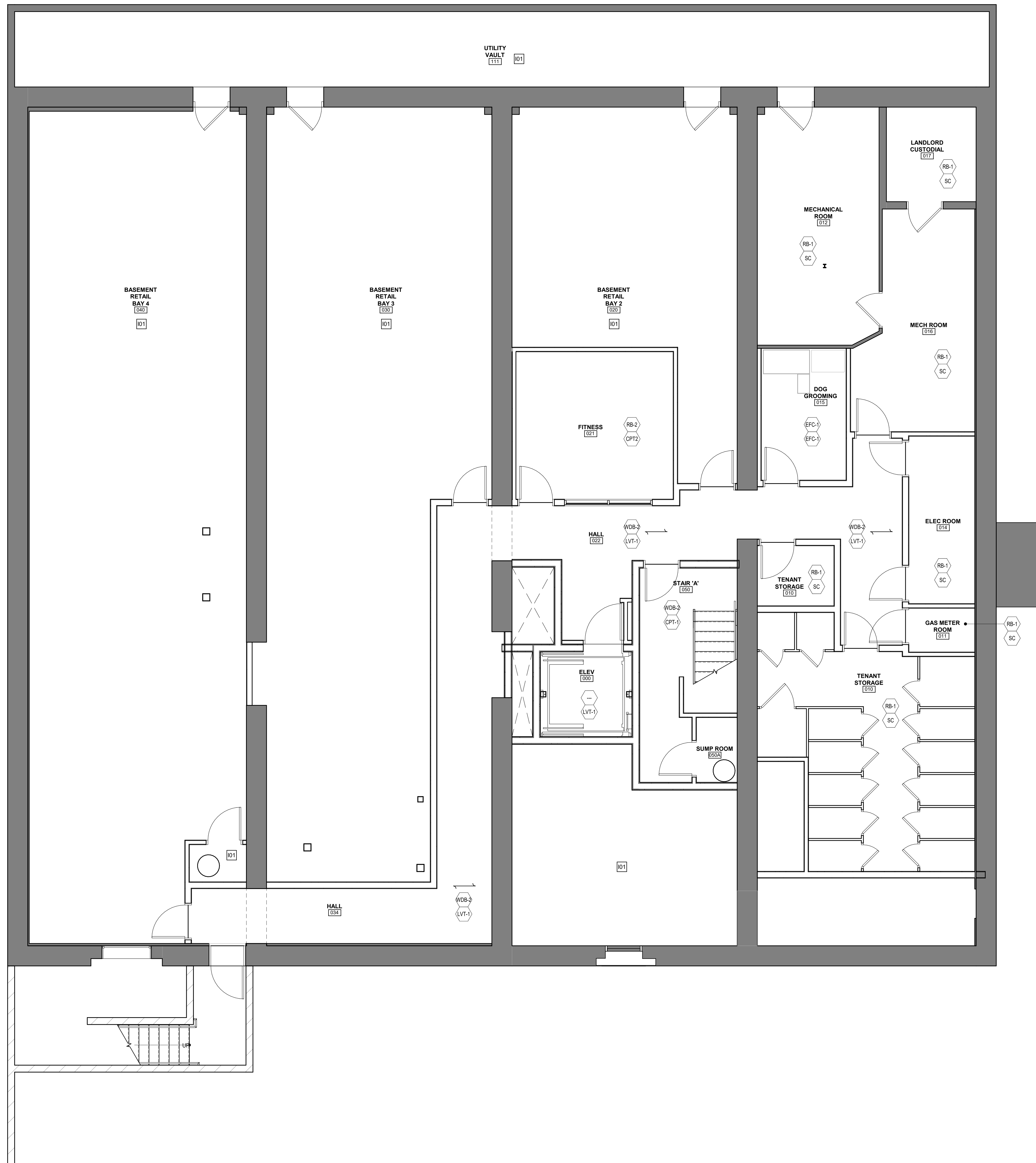
Commission No: 55678-17047

Drawn by: MM

Checked by: DTP

SHEET

# A10.0



### FINISH PLAN GENERAL NOTES

- A) SUBMIT DRAW-DOWNS AND SAMPLES FOR ALL FINISH MATERIALS FOR APPROVAL BY ARCHITECT/DESIGNER PRIOR TO MATERIAL APPLICATION.
- B) SUBMIT FINISH FLOORING SEAMING DIAGRAMS FOR APPROVAL BY ARCHITECT/DESIGNER PRIOR TO INSTALLATION.
- C) FLOOR SURFACE PREPARATION: SURFACES TO BE PREPARED IN ACCORDANCE WITH PRODUCT MANUFACTURER'S RECOMMENDATIONS. FILL AND SMOOTH OUT ALL CRACKS, UNEVEN AND/OR ROUGH SURFACES IN SUBSTRATE WHERE NEW FLOOR COVERING IS TO BE INSTALLED. PRIOR TO INSTALLING FLOOR COVERING, REMOVE ANY AND ALL SUBSTANCES FROM SUBSTRATE, WHICH MAY TELEGRAPH THROUGH FINISH FLOORING.
- D) JOINTS IN VINYL BASE SHALL NOT OCCUR CLOSER THAN 6" FROM CORNER AND SHALL BE BUTTED TIGHTLY TOGETHER.
- E) PROVIDE REDUCER/TRANSITION STRIP BETWEEN DISSIMILAR FINISH FLOOR MATERIALS AT ALL AREAS. PROVIDE SAMPLE FOR ARCHITECT/DESIGNER APPROVAL.
- F) COMPLETE LENGTHS OF WALL COVERINGS SHALL BE INSPECTED IMMEDIATELY UPON RECEIPT AND BEFORE INSTALLATION BY THE CONTRACTOR TO MAKE CERTAIN THAT THEY ARE FREE FROM DEFECTS OF ANY KIND AND ARE IN CORRECT QUANTITY WIDTHS, PATTERNS AND COLORS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY SUPPLIER AND ARCHITECT BY PHONE AND IN WRITING OF ANY DEVIATION NOTED AND SHALL REFRAIN FROM INSTALLING ANY DEFECTIVE MATERIAL. WALL COVERINGS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE RESPECTIVE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- G) MILLWORK SURFACE PREPARATION SHALL INCLUDE PUTTYING OF NAIL HOLES, CRACKS, AND BLEMISHES. PUTTY TO MATCH THE FINISH SURFACE.
- H) WALL AND CEILING SURFACE PREPARATION: SURFACES TO BE PREPARED IN ACCORDANCE WITH THE FINISH MATERIAL MANUFACTURER'S RECOMMENDATION. CONTRACTOR SHALL CONFIRM AND COORDINATE THE REQUIREMENTS. NO TELEGRAPHING OF WALL OR CEILING IRREGULARITIES WILL BE ACCEPTED.
- J) CONTRACTOR SHALL REMOVE ALL ELECTRICAL SWITCHES AND OUTLET PLATES, SURFACE HARDWARE, GRILLE COVERS ETC., BEFORE PAINTING. PROTECT AND REPLACE SAME, IF IN GOOD CONDITION, WHEN PAINTING IS COMPLETE.
- K) MISCELLANEOUS ITEMS (GRILLES, REGISTERS, METAL PANELS, ETC.) ON CEILINGS AND WALLS TO BE PAINTED TO MATCH SURFACE COLORS ON WHICH THEY OCCUR, UNLESS OTHERWISE NOTED.
- L) CONTRACTOR SHALL FINISH AFFECTED SURFACES TO MATCH THE ADJACENT CONDITIONS. FINISH SURFACES TO THE NEXT LOGICAL JOINT OR WALL/CEILING CORNER UNLESS NOTED OTHERWISE.
- M) REFER TO THE GENERAL NOTES FOR OTHER APPLICABLE INFORMATION.
- N) TRANSITIONS FROM CPT TO RESILIENT OR CPT TO WDF TO BE TS-1.
- O) ALL CLOSET SHELVING TO BE WIRE SHELVING, U.N.O.
- P) ALL EXTERIOR WINDOWS WITHIN RESIDENT UNITS TO HAVE BUILDING STANDARD HORIZONTAL ALUMINUM MINI BLINDS.
- R) SEE FLOOR FINISH PLANS AND/OR WALL FINISH PLANS AT A10.0a-A10.3b FOR SPECIFIC FINISH INFORMATION.
- S) ALL WALLS TO RECEIVE PAINT AS NOTED ON THE INTERIOR FINISH PLANS, EXCEPT AT EXISTING UNPAINTED BRICK WHICH SHALL REMAIN. EXISTING BRICK THAT IS CURRENTLY PAINTED SHALL RECEIVE NEW PAINT TO MATCH ADJACENT NEW PAINT.
- T) ALL HOLLOW METAL DOOR & WINDOW FRAMES TO BE PAINTED PT-3.
- U) EXTEND FLOOR AND WALL FINISHES UNDER AND BEHIND ALL APPLIANCES AND INTO ACCESSIBLE SINK SPACES.
- V) PATCH AND MATCH EXISTING WHERE EXISTING PLASTER WALLS AND CEILINGS REMAIN.
- W) ALL EXISTING WOOD FLOORING TO BE REFINISHED. REFER TO MATERIAL IDENTIFICATION AND SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
- X) ALL WOOD BASE TO INCLUDE QUARTER ROUND (WD SHOE). ALL WOOD BASE AT GYP. BD. WALLS TO RECEIVE BEAD OF CAULK TO FILL ALL GAPS, U.N.O.
- Y) EXISTING WOOD CASING TO REMAIN AT EXTERIOR WINDOWS. PROVIDE NEW WOOD CASING TO MATCH EXISTING AT EXTERIOR WINDOWS WHERE CASING IS MISSING OR DAMAGED.
- Z) ALL UNIT INTERIOR WALLS SHALL RECEIVE PT-2 U.N.O.

### FINISH PLAN SYMBOLS LEGEND

	FLOOR FINISH, BASE FINISH
	BASE FINISH (WHERE VARIES WITHIN ROOM)
	FLOORING GRAIN DIRECTION
	WALL FINISH
	WALL FINISH (WHERE VARIES WITHIN ROOM)

KEYED NOTES - INTERIOR FINISHES	
101	NO FINISH WORK THIS AREA/ROOM.
102	REFER TO ELEVATIONS AND DETAILS FOR ADDITIONAL FINISH INFORMATION.
103	EXISTING HISTORIC WALL/BASE SHALL REMAIN. ANY NEW WALL/BASE SHALL BE INCLUDED AS PART OF A FUTURE TENANT BUILD-OUT AND NOT WITHIN THIS SCOPE OF WORK.
104	REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
105	LVT TO BE INSTALLED IN A FLOATING FLOOR APPLICATION. EXISTING OR SALVAGED WDF (WOOD FLOOR) BELOW TO REMAIN. ADHERE TS-1 FOR FLOATING FLOOR STABILITY.
106	WALL FINISH WORK SHALL BE INCLUDED AS PART OF A FUTURE TENANT-BUILD OUT AND NOT WITHIN THIS SCOPE OF WORK.

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### BASEMENT LEVEL FLOOR FINISH PLAN

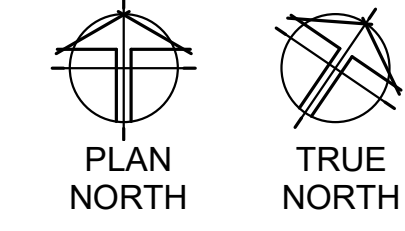
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Commission No. 55678-17047  
Drawn by: MM  
Checked by: DTP

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# A10.0a

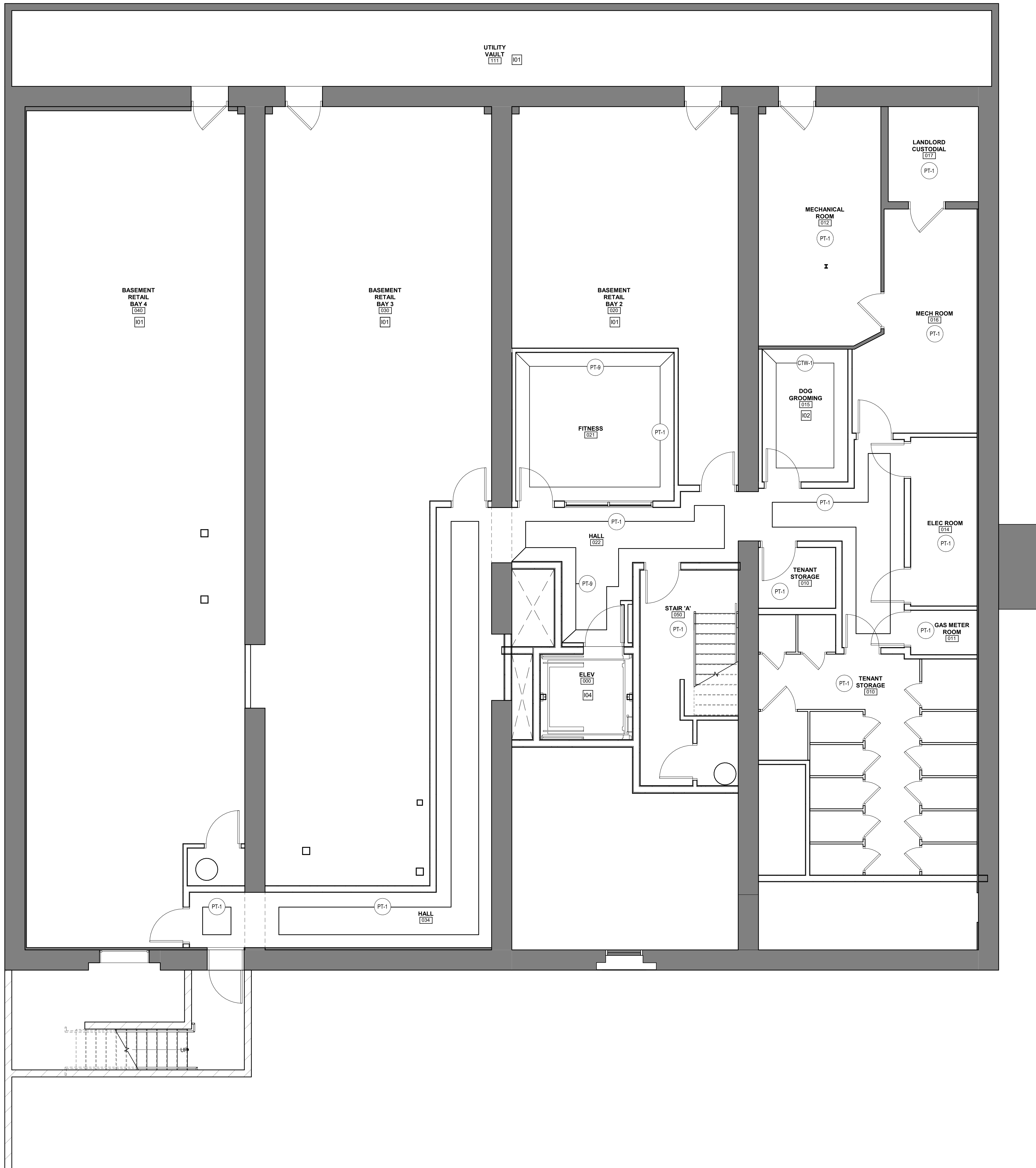
GRAPHIC SCALE  
0' 12" 1'



REFER TO SHEET A10.0a FOR  
TYPICAL FINISH NOTES AND  
SYMBOLS

KEYED NOTES - INTERIOR FINISHES

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102	REFER TO ELEVATIONS AND DETAILS FOR ADDITIONAL FINISH INFORMATION.
103	EXISTING HISTORIC WALL BASE SHALL REMAIN. ANY NEW WALL BASE SHALL BE INCLUDED AS PART OF A FUTURE TENANT BUILD-OUT AND NOT WITHIN THIS SCOPE OF WORK.
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**BASEMENT LEVEL  
WALL FINISH PLAN**

Revision History:  
HPC REVISIONS 2-2-18

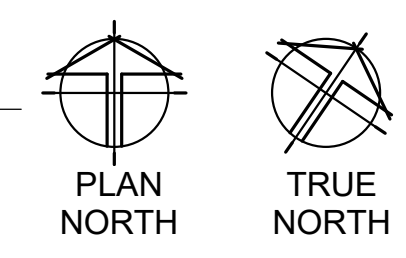

Commission No: 55678-17047  
Drawn by: MM  
Checked by: DTP

SHEET

**A10.0b**

TRUE NORTH  
SCALE: 1/4" = 1'-0"

1 BASEMENT LEVEL WALL FINISH PLAN  
1/4" = 1'-0"

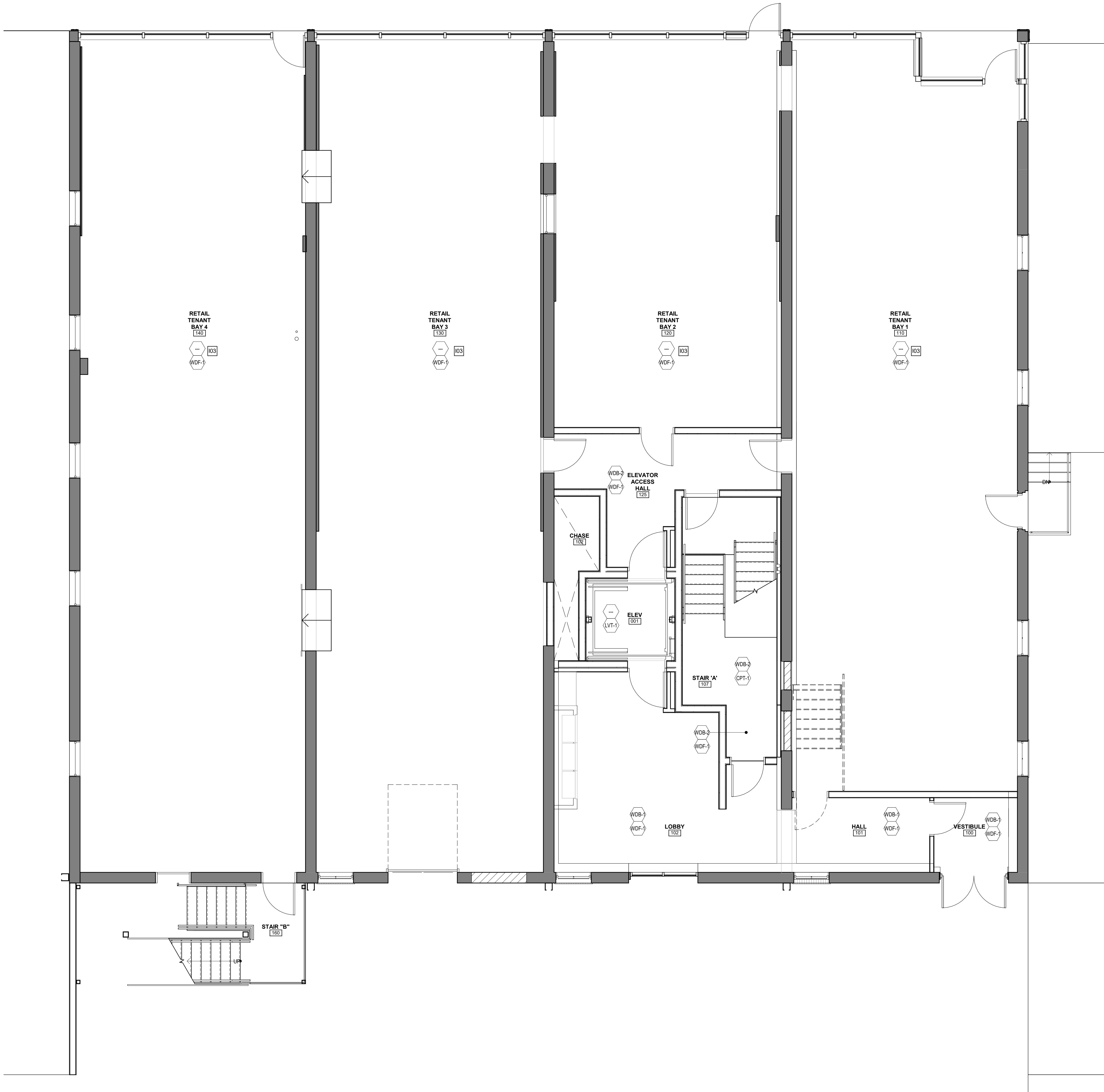


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REFER TO SHEET A10.0a FOR  
TYPICAL FINISH NOTES AND  
SYMBOLS

KEYED NOTES - INTERIOR FINISHES	
I01	NO FINISH WORK THIS AREA/ROOM.
I02	REFER TO ELEVATIONS AND DETAILS FOR ADDITIONAL FINISH INFORMATION.
I03	EXISTING HISTORIC WALL BASE SHALL REMAIN. ANY NEW WALL BASE SHALL BE INCLUDED AS PART OF A FUTURE TENANT BUILD-OUT AND NOT WITHIN THIS SCOPE OF WORK.
I04	REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
I05	LVT TO BE INSTALLED IN A FLOATING FLOOR APPLICATION. EXISTING OR SALVAGED WDF (WOOD FLOOR) BELOW TO REMAIN. ADHERE TS-1 FOR FLOATING FLOOR STABILITY.
I06	WALL FINISH WORK SHALL BE INCLUDED AS PART OF A FUTURE TENANT-BUILD OUT AND NOT WITHIN THIS SCOPE OF WORK.



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FIRST LEVEL FLOOR  
FINISH PLAN

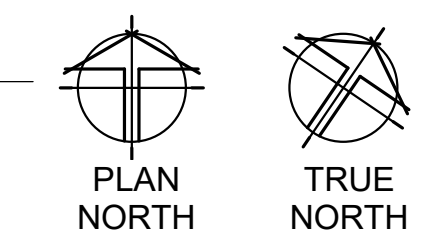
Issue and Revision	Date
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: MM  
Checked by: DTP

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A10.1a

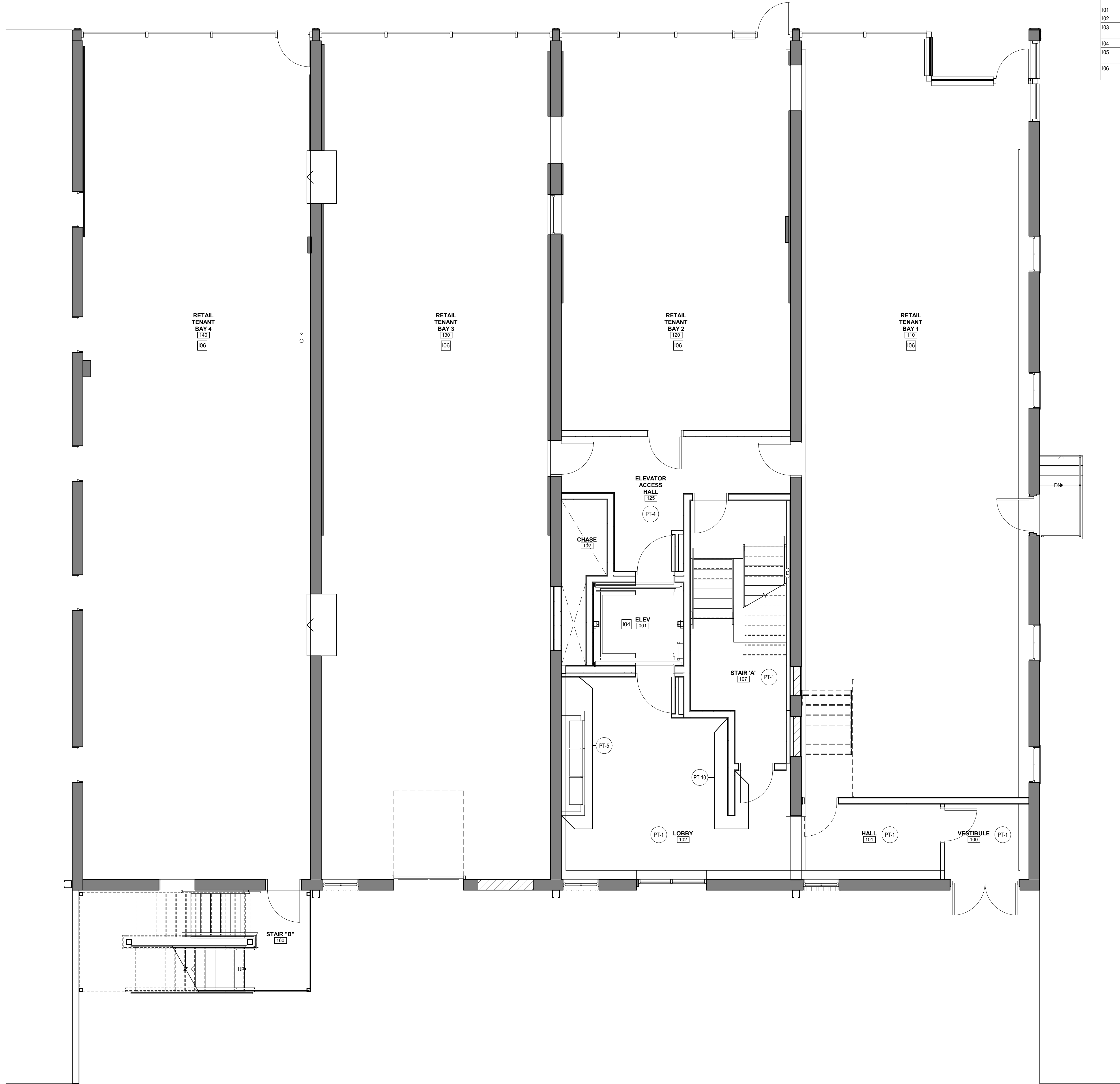
1 FIRST LEVEL FLOOR FINISH PLAN  
A10.1a 1/4" = 1'-0"



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REFER TO SHEET A10.0a FOR  
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FIRST LEVEL WALL  
FINISH PLAN

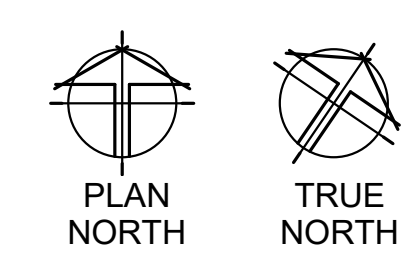
HPC REVISIONS	

Commission No: 55678-17047  
Drawn by: MM  
Checked by: DTP

SHEET

A10.1b

1 FIRST LEVEL WALL FINISH PLAN  
A10.1b 1/4" = 1'-0"

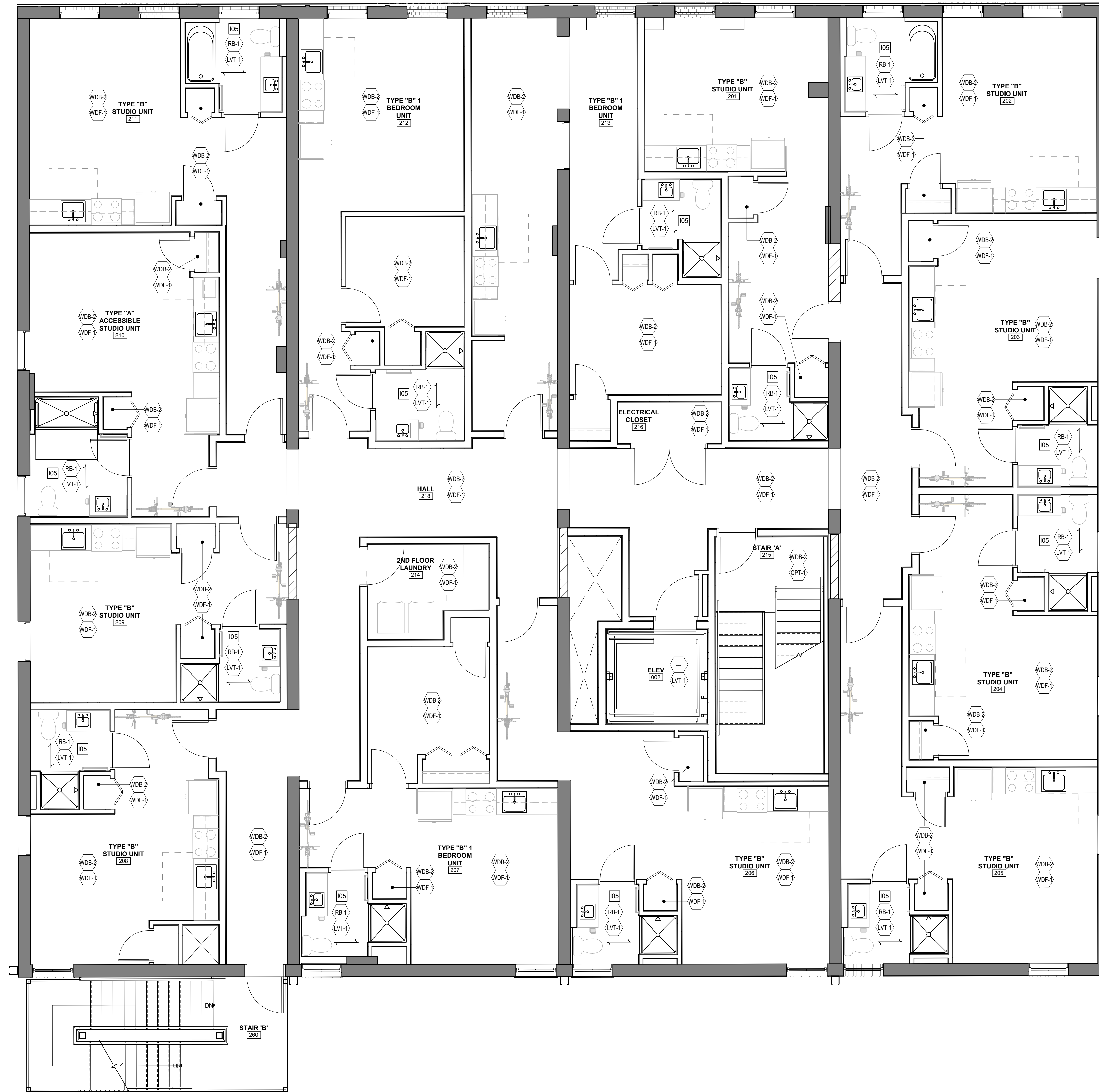


GRAPHIC SCALE  
0' 12' 1"  
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DATE: 04/10/18 BY: DTP

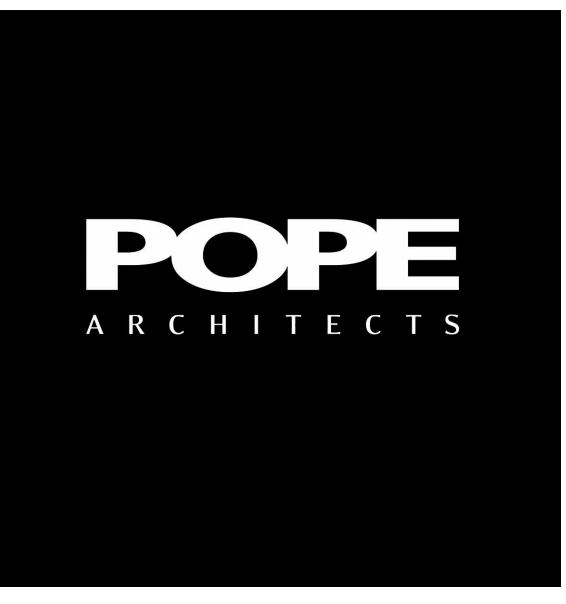
REFER TO SHEET A10.0a FOR  
TYPICAL FINISH NOTES AND  
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SECOND LEVEL  
FLOOR FINISH PLAN

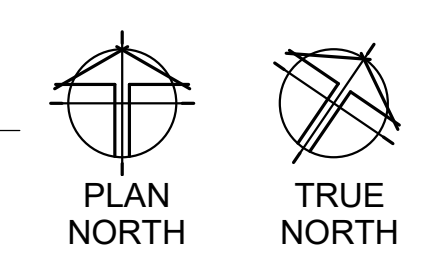
HPC REVISIONS	
NO.	DESCRIPTION

Commission No. 55678-17047  
Drawn by MM  
Checked by DTP

SHEET

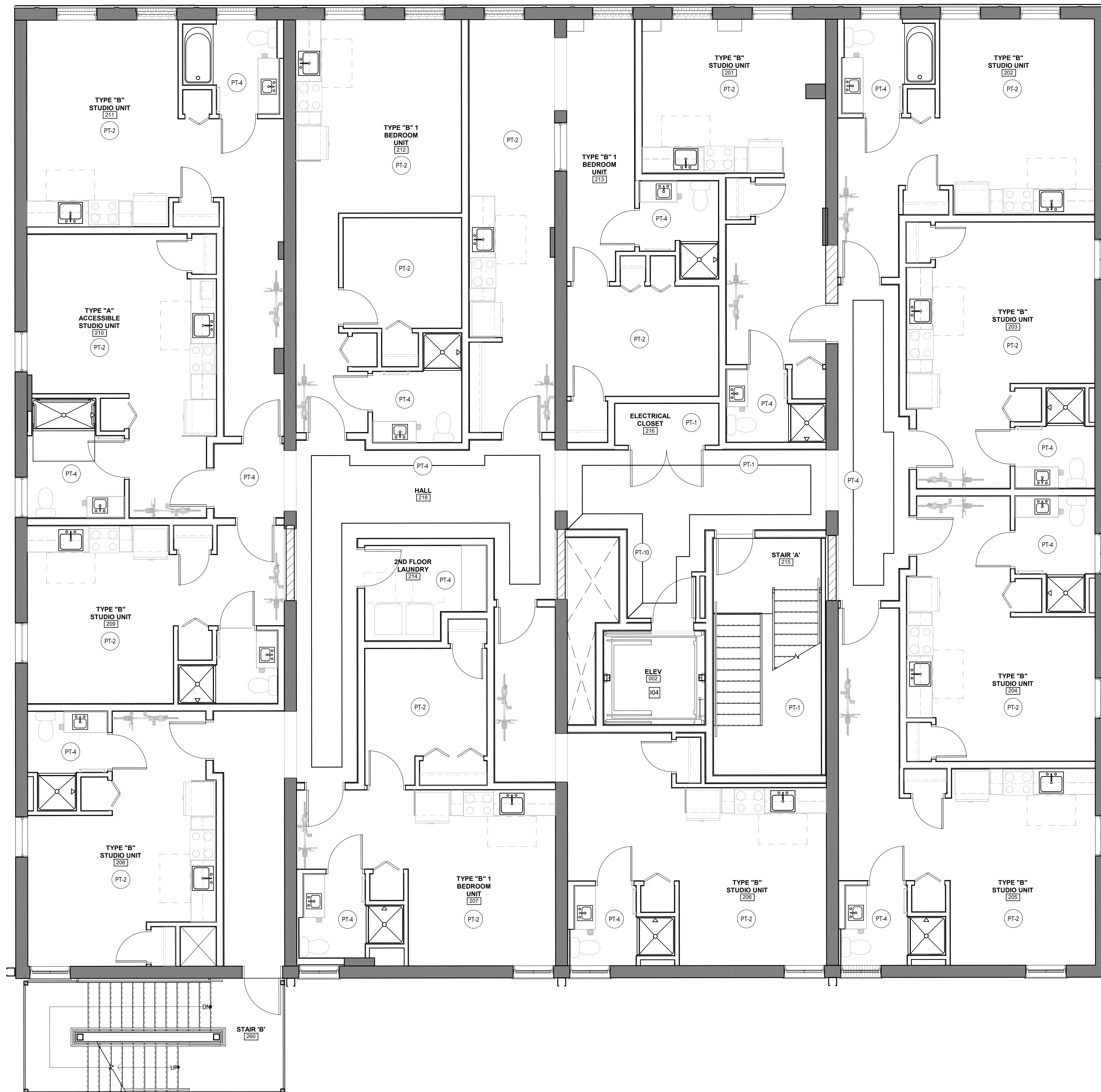
**A10.2a**  
GRAPHIC SCALE  
0' 12" 1'  
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1 SECOND LEVEL FLOOR FINISH PLAN  
1/4" = 1'-0"



REFER TO SHEET A10.0a FOR  
TYPICAL FINISH NOTES AND  
SYMBOLS

KEYED NOTES - INTERIOR FINISHES	
I01	NO FINISH WORK THIS AREA/ROOM.
I02	REFER TO ELEVATIONS AND DETAILS FOR ADDITIONAL FINISH INFORMATION.
I03	EXISTING HISTORIC WALL BASE SHALL REMAIN. ANY NEW WALL BASE SHALL BE INCLUDED AS PART OF A FUTURE TENANT BUILD-OUT AND NOT WITHIN THIS SCOPE OF WORK.
I04	REFER TO SPECIFICATION MANUAL FOR ADDITIONAL INFORMATION.
I05	LVT TO BE INSTALLED IN A FLOATING FLOOR APPLICATION. EXISTING OR SALVAGED WDF (WOOD FLOOR) BELOW TO REMAIN. ADHERE T&I FOR FLOATING FLOOR STABILITY.
I06	WALL FINISH WORK SHALL BE INCLUDED AS PART OF A FUTURE TENANT BUILD-OUT AND NOT WITHIN THIS SCOPE OF WORK.



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COMMISSION HOUSE  
RENOVATION  
282 EAST 6TH ST  
SAINT PAUL, MN

SECOND LEVEL WALL  
FINISH PLAN

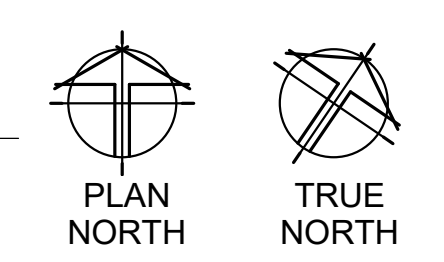
REVISIONS	
HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: MM  
Checked by: DTP

SHEET

A10.2b

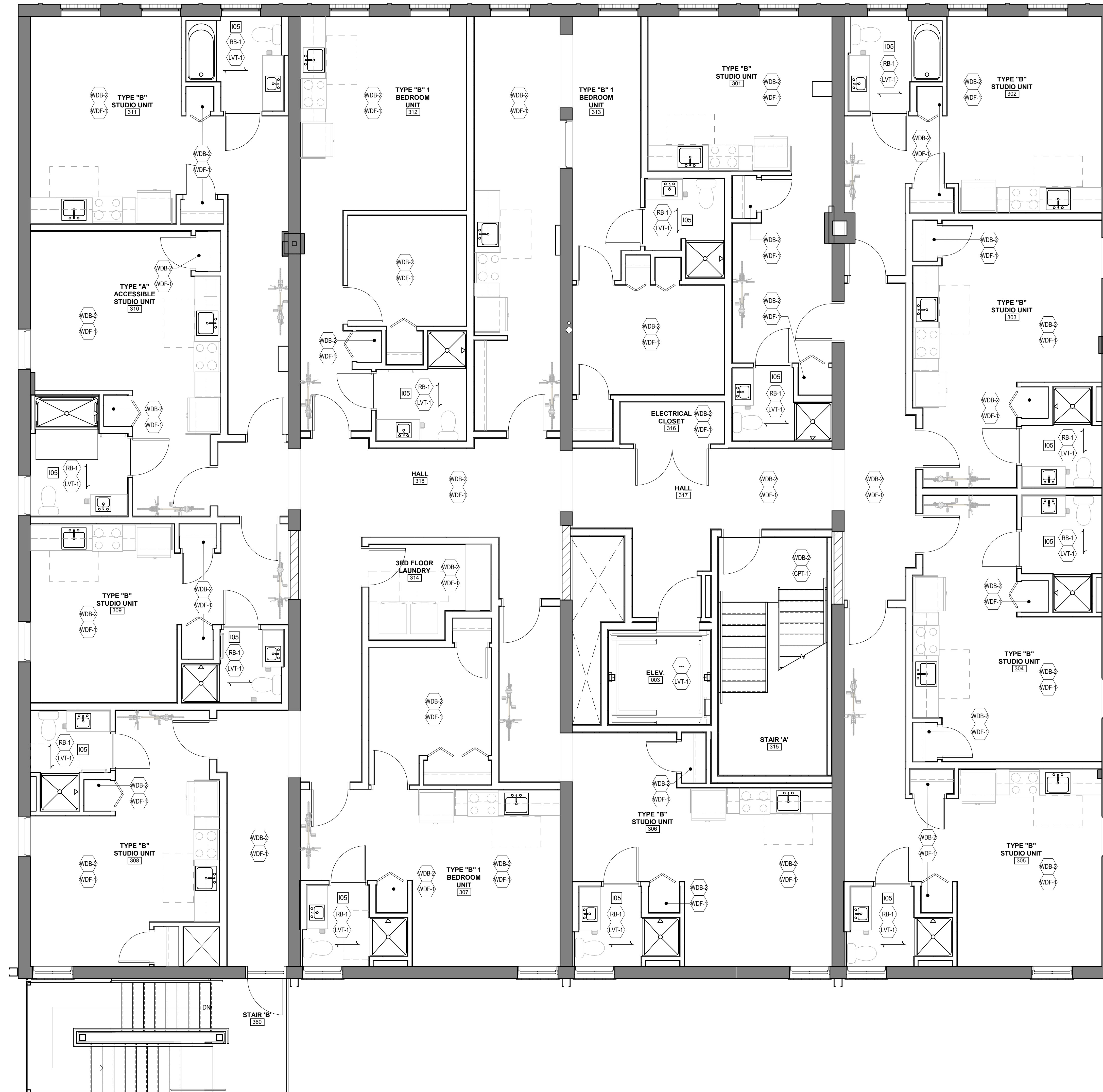
1/4" = 1'-0"  
GRAPHIC SCALE



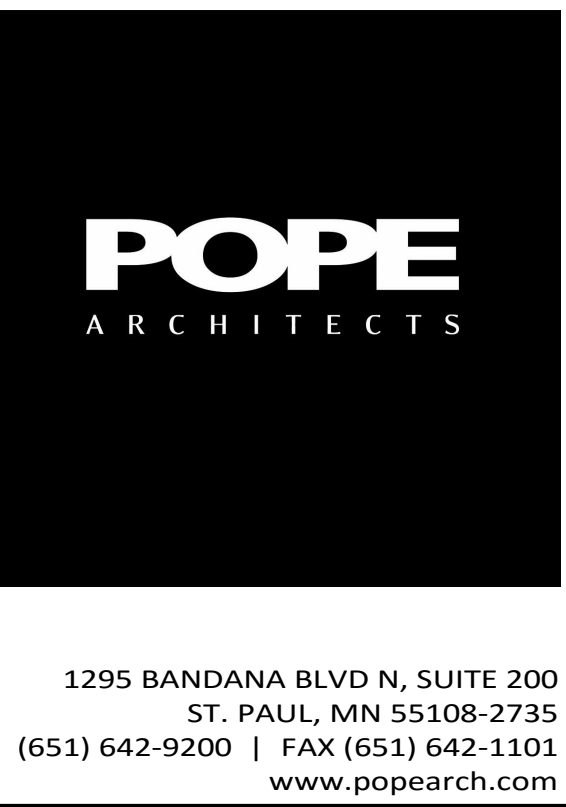
REFER TO SHEET A10.0a FOR  
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106	WALL FINISH WORK SHALL BE INCLUDED AS PART OF A FUTURE TENANT-BUILD OUT AND NOT WITHIN THIS SCOPE OF WORK.



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COMMISSION HOUSE  
RENOVATION  
282 EAST 6TH ST  
SAINT PAUL, MN

THIRD LEVEL FLOOR  
FINISH PLAN

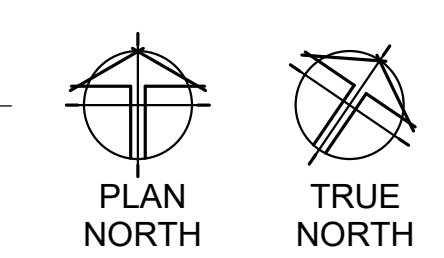
Revision	2-2-18
HPC REVISIONS	

Commission No: 55678-17047  
Drawn by: MM  
Checked by: DTP

SHEET

A10.3a

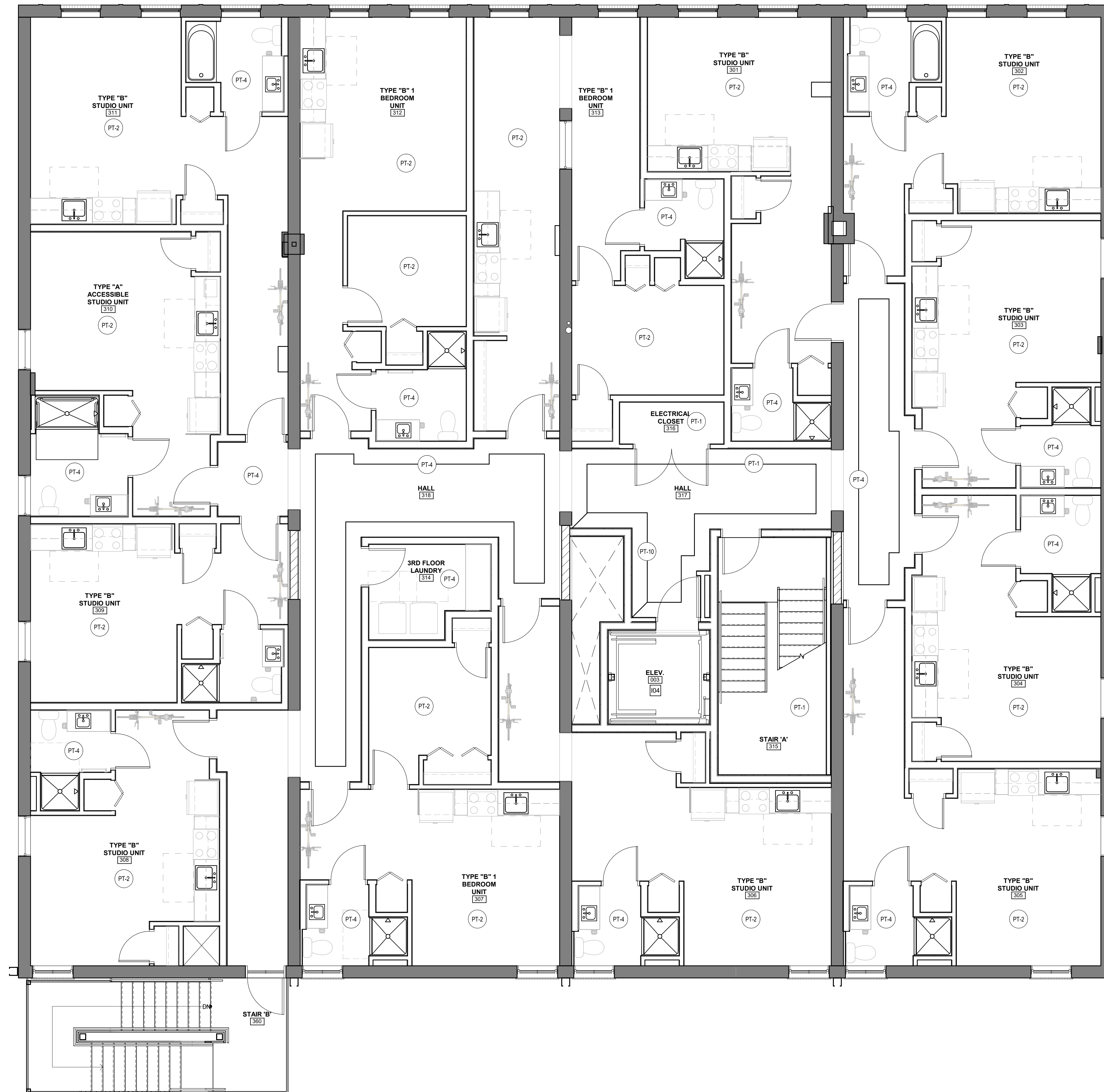
1 THIRD LEVEL FLOOR FINISH PLAN  
A10.3a 1/4" = 1'-0"



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05078-17047-01-01.dwg

REFER TO SHEET A10.0a FOR  
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THIRD LEVEL WALL  
FINISH PLAN

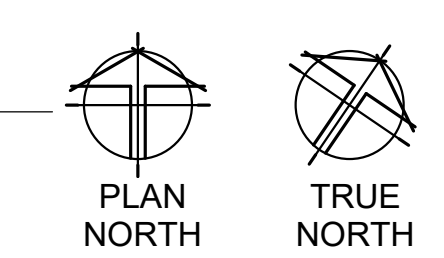
NO.	DESCRIPTION	DATE
1	HPC REVISIONS	2-2-18

Commission No: 55678-17047  
Drawn by: MM  
Checked by: DTP

SHEET

A10.3b

1 THIRD LEVEL WALL FINISH PLAN  
A10.3b 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"  
DATE: 2/2/18