

**CITY OF SAINT PAUL
HERITAGE PRESERVATION COMMISSION STAFF REPORT**

ADDRESS: 536 Holly (anticipated address 540 Holly)
APPLICANT: Pinpoint Equity Group; Keegan Wallace
DATE OF APPLICATION REVIEW: April 20, 2020
HPC DISTRICT: Historic Hill Heritage Preservation District
PERIOD OF SIGNIFICANCE: 1858-1930
CATEGORY: Vacant Lot **WARDS:** 1 **DISTRICT COUNCIL:** 8
CLASSIFICATION: Infill Construction Review
STAFF INVESTIGATION AND REPORT: George Gause

A. SITE DESCRIPTION: Vacant lot.

B. BACKGROUND:

At the May 20, 2019 HPC meeting the Commission recommended denial of the lot split application as proposed given the proximity of the lot line to historic features on the structure at 536 Holly Avenue. The HPC also expressed concern about the removal of mature burr oak trees at the site for new construction. The commissioners urge that any future construction avoid or minimize the removal of trees on the site.

The Planning Director considered the HPC comments and recommendation but approved the lot-split in June 2019.

Concern has also been raised about the loss of the trees on the lot. The HPC does not have jurisdiction to address the trees on the lot.

C. PROPOSED PROJECT:

Construct a two and a half-story residential single-family residence with detached two-car garage in the newly created vacant lot. It will be sided with LP Smartside with a 4" reveal, asphalt roofing and Andersen vinyl windows.

D. PRE-APPLICATION (January 13, 2020)

Commissioners feedback on the preliminary design at the pre-application meeting:

- Doors are not in character with the district*
- Windows should more vertical rectangular*
- More vertical emphasis is needed*
- Explore siding between windows, less paired windows*
- Siding should be smooth*

E. STAFF COMMENTS:

This is a residential area with some multi-unit housing on the corner lots. Typical form in the area is gable (56%), full front porches (50%), clapboard siding (53%) and two and a half-story (41%). The proposed structure corresponds to the established forms and materials found in this area of the district. The design is similar to the contributing structure at 546 Holly.

F. PRESERVATION PROGRAM CITATIONS:

Historic Hill Heritage Preservation District Legislative Code Sec. 74-65.

PRESERVATION PROGRAM CITATIONS	MEETS?	COMMENTS:
<i>Historic Hill New Construction Guidelines</i>		
<i>74.65(f)(1) Setback.</i> <i>New buildings should be sited at a distance not more than five (5) percent out-of-line from the setback of existing adjacent buildings.</i>	Yes	Proposed structure will be in the established setback line of the other buildings on the street.

<p>74.65(b) Massing and Height: <i>New construction should conform to the massing, volume, height and scale of existing adjacent structures. Typical residential structures in the Historic Hill District are twenty-five (25) to forty (40) feet high. The height of new construction should be no lower than the average height of all buildings on both block faces</i></p>	<p>Yes</p>	<p>The massing and height corresponds with the district structures.</p>
<p>74.65(e)(1)(a) Roofs: <i>There is a great variety of roof treatment in the Historic Hill District, but gable and hip roofs are most common. The skyline or profile of new construction should relate to the predominant roof shape of existing adjacent buildings.</i></p> <p>74.65(e)(2)(b) Roofs: <i>Most houses in the Historic Hill District have a roof pitch of between 9:12 and 12:12 (rise-to-run ratio). A roof pitch of at least 8:12 should be used if it is somewhat visible from the street, and a 6:12 pitch may be acceptable in some cases for structures which are not visible from the street.</i></p>	<p>Yes</p>	<p>The hip roof is common in the district. Soffit and fascia are compatible with district norms. The roof pitch corresponds with the district structures.</p>
<p>74.65(d)(1) Material and Details: <i>Variety in the use of architectural materials and details adds to the intimacy and visual delight of the district. But there is also an overall thread of continuity provided by the range of materials commonly used by turn-of-the-century builders and by the way these materials were used. The materials and details of new construction should relate to the materials and details of existing nearby buildings.</i></p>	<p>Yes</p>	<p>Siding is lap LP smart siding. Siding will be smooth with a 4½” reveal. Trim corresponds to what is found in the district.</p>
<p>74.65(e)(2)(a) Windows and doors: <i>The proportion, size, rhythm and detailing of windows and doors in new construction should be compatible with that of existing adjacent buildings. Facade openings of the same general size as those in adjacent buildings are encouraged.</i></p>	<p>Yes</p>	<p>Window design has been changed from doors to single windows matching typical area design.</p>
<p>74.65(e)(3)(a) Porches and decks: <i>In general, houses in the Historic Hill District have roofed front porches. The porch treatment of new structures should relate to the porch treatment of existing adjacent structure.</i></p>	<p>Yes</p>	<p>A two-story full front porch is proposed. The neighboring structure (546 Holly) and another structure a few lots away both have two-story porches.</p>
<p>74.65(f)(3) Garages and parking: a. <i>Where alleys do not exist, garages facing the street or driveway curb cuts may be acceptable. Garage doors should not face the street. If this is found necessary, single garage doors should be used to avoid the horizontal orientation of two-car garage doors.</i></p>	<p>Yes</p>	<p>Garage will be accessed via a curb -cut. The door will be mostly behind the main structure, but will have a divided carriage door look and style.</p>

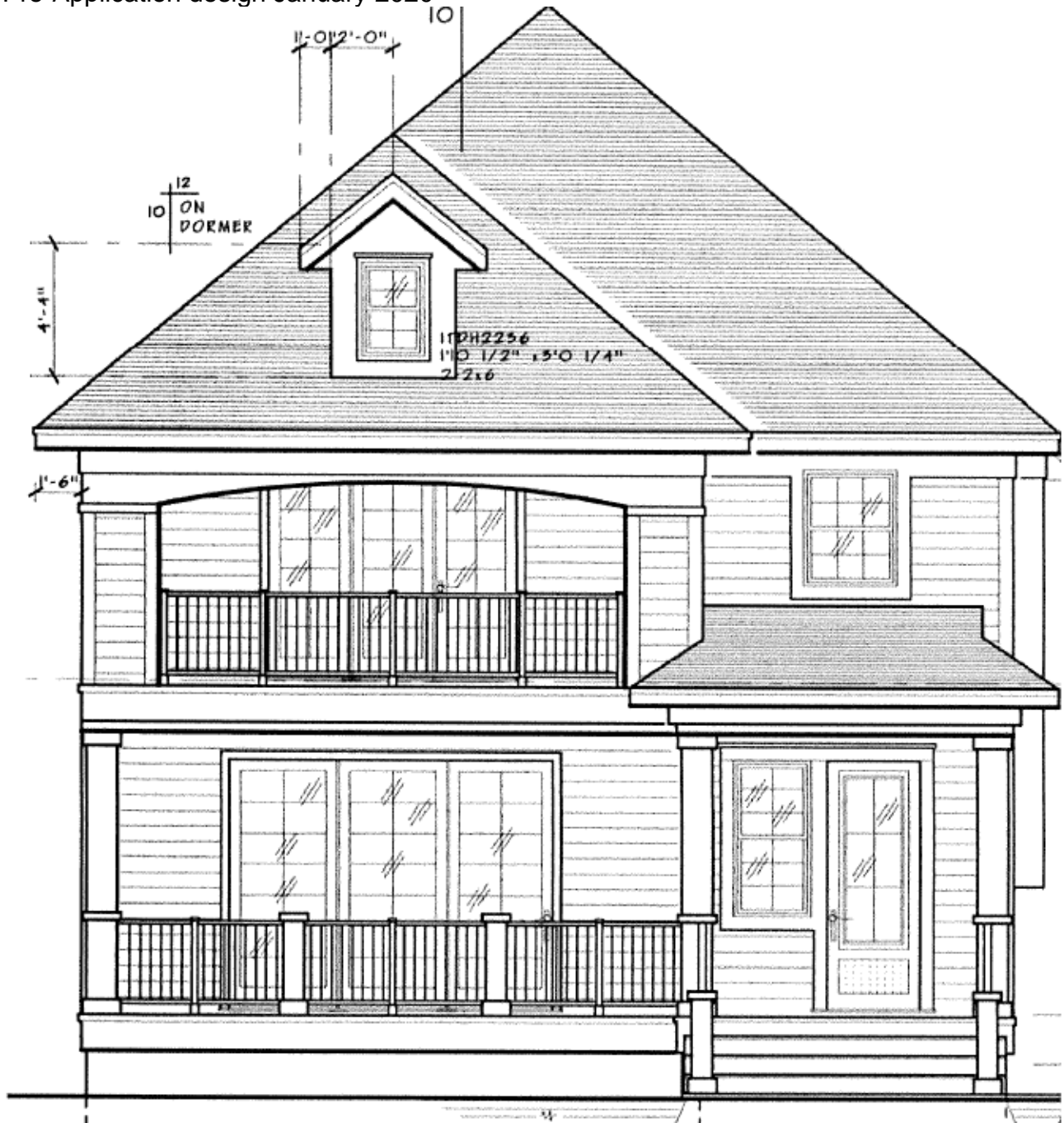
G. STAFF RECOMMENDATIONS

Based on the draft resolution findings and 11 conditions, staff recommends approval of construction of the new single-family residential structure with a detached two-car garage.

H. SUGGESTED MOTION:

I move to adopt the draft resolution which approves construction of the new single-family residential structure with a detached two-car garage at 540 Holly Avenue as per the findings of fact, presented testimony, submitted documentation and information provided in the staff report.

Pre-Application design January 2020



- End -

HOLLY AVENUE

LEGAL DESCRIPTION

Lot 6, Block 18, AUDITOR'S SUBDIVISION NO. 11, according to the recorded plat thereof, Ramsey County, Minnesota, EXCEPTING THEREFROM the East 3.10 feet.

GENERAL NOTES

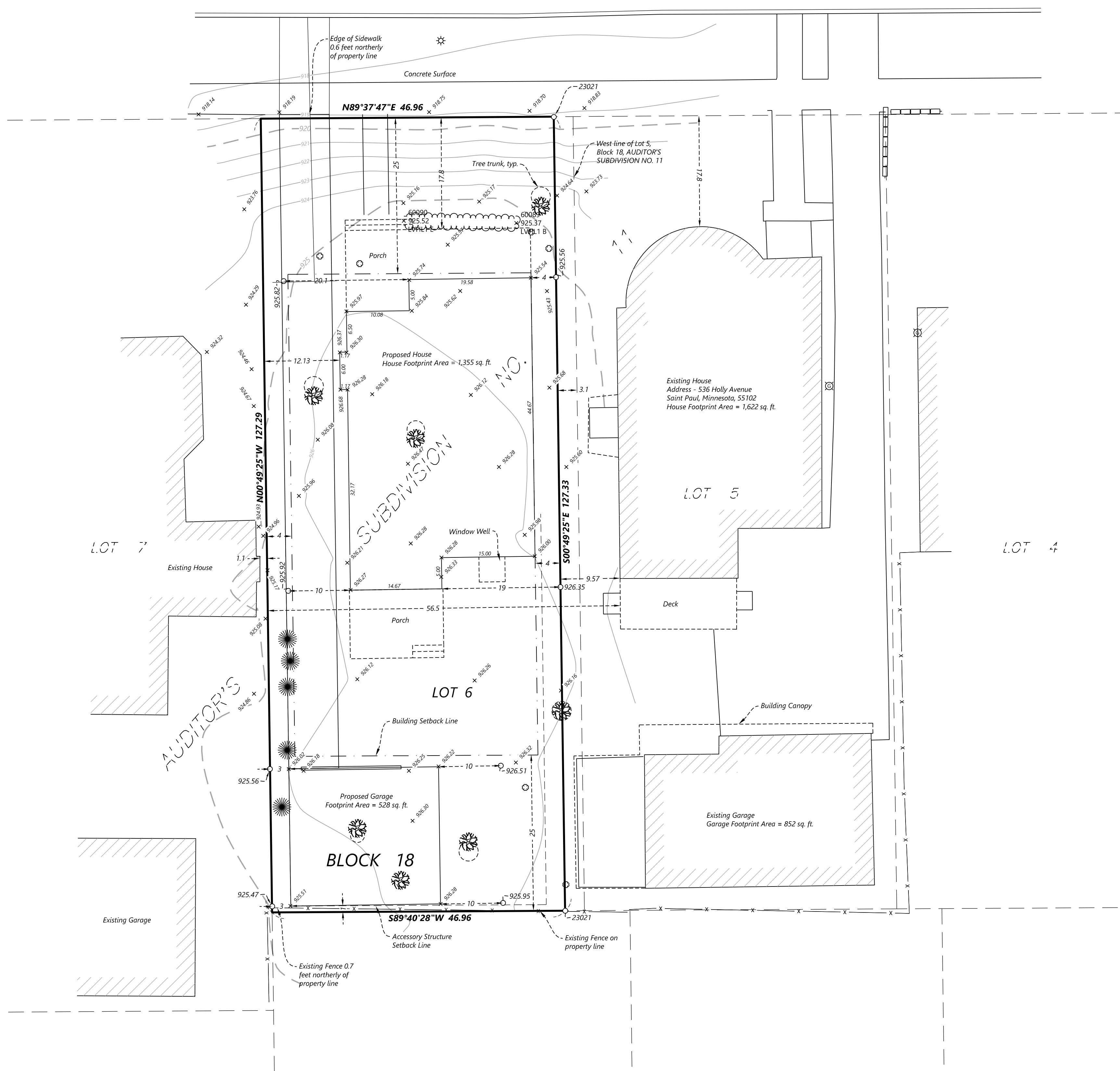
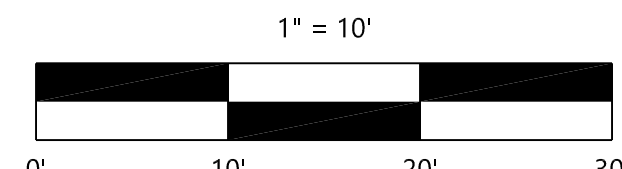
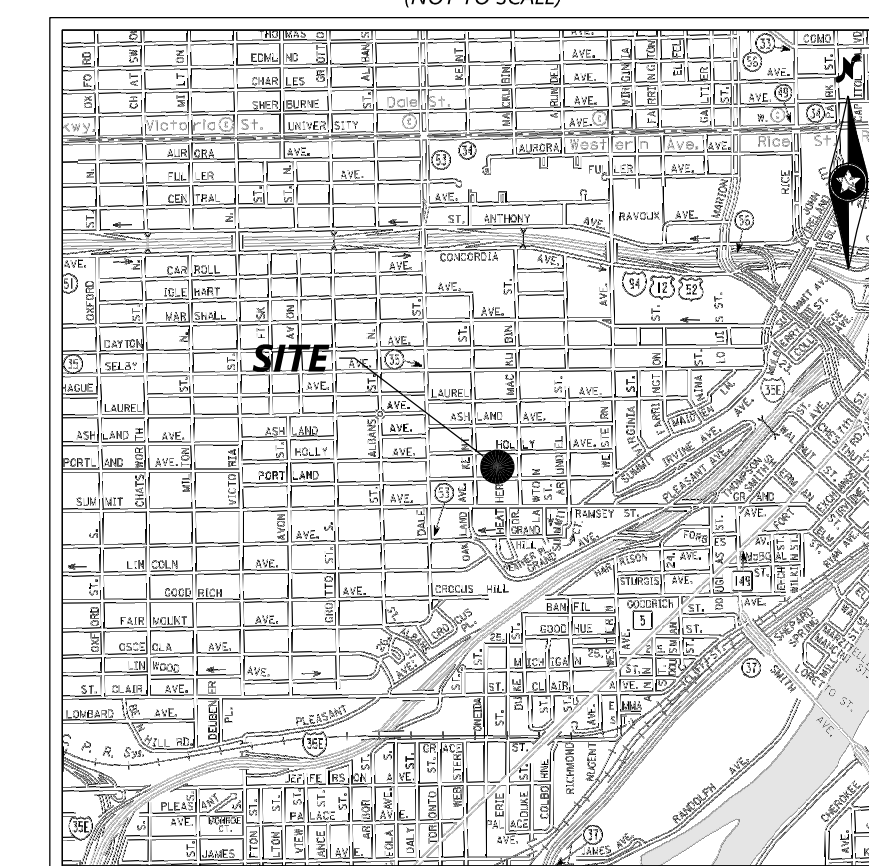
- The bearings shown on this survey are based on the Ramsey County coordinate system N.A.D. 1983, 2011 adjustment, US Survey feet and the vertical datum is N.A.V.D. 1988, using Minnesota Department of Transportation Benchmark "6280 AX", not graphically shown. City of St. Paul datum, per the City of St. Paul website is N.A.V.D. 1988 - 694.26 = City Datum.
- Contours created from LiDAR (Light Detection and Ranging) obtained from the State of Minnesota.
- Field data collection on which this map is based was performed while snow was covering all or part of the subject property. There is a possibility that existing improvements that would normally be observable without the snow cover may exist.
- Subject property lot is zoned RT2 - TOWNHOUSE RESIDENTIAL per City of St. Paul Planning & Economic Development Department.

LEGEND

⊙	SANITARY MANHOLE	☐	TELEPHONE BOX	—	BOUNDARY LINE
⊙	SEWER CLEANOUT	⊙	TELEPHONE MANHOLE	—	RIGHT-OF-WAY LINE
⊙	SEPTIC COVER	☐	HAND HOLE/JUNCTION BOX	—	LOT LINE
⊙	STORM MANHOLE	☐	CABLE TV BOX	---	EASEMENT LINE
⊕	BEEHIVE CATCH BASIN	⊙	CABLE TV MANHOLE	---	SECTION LINE
☐	CATCH BASIN	⊙	FIBER OPTIC MANHOLE	---	TREE LINE
⚠	FLARED END SECTION	⊙	FIBER OPTIC PEDESTAL	---	CTV CABLE TELEVISION LINE
⊕	CATCH BASIN MANHOLE	⊙	NATURAL GAS METER	---	GAS GAS LINE
⊕	HYDRANT	⊙	NATURAL GAS VALVE	---	POH POWER OVERHEAD
⊕	GATE VALVE	⊙	NATURAL GAS MANHOLE	---	PUG POWER UNDERGROUND
⊕	WATER METER	⊙	STEELWOOD POST	---	SAN SANITARY SEWER
⊕	FIRE DEPARTMENT CONNECTION	⊕	SIGN	---	STO STORM SEWER
⊕	CURB STOP BOX	⊕	MAIL BOX	---	TOH TELEPHONE OVERHEAD
⊕	WATER MANHOLE	⊕	FLAG POLE	---	TUG TELEPHONE UNDERGROUND
⊕	WELL	⊕	BUSH/SHRUB	---	WAT WATERMAIN
⊕	POST INDICATOR VALVE	⊕	CONIFEROUS TREE	---	FO FIBER OPTIC
⊕	DOUBLE DETECTOR CHECK VALVE	⊕	DECIDUOUS TREE	---	X FENCE LINE
⊕	ELECTRIC BOX	⊕	SAGUARO	---	CG CURB & GUTTER
⊕	ELECTRIC METER	⊕		---	CONCRETE SURFACE
⊕	ELECTRIC MANHOLE	⊕		---	BITUMINOUS SURFACE
⊕	ELECTRIC TOWER	⊕		●	FOUND MONUMENT (SEE LABEL)
⊕	STREET LIGHT				
⊕	POWER POLE WITH LIGHT				
⊕	GUY WIRE				
⊕	POWER POLE				

VICINITY MAP

(NOT TO SCALE)



DESIGNED:	
CHECKED:	BRP
DRAWN:	VCH
HORIZONTAL SCALE:	10.000006"
VERTICAL SCALE:	

INITIAL ISSUE:	
REVISIONS:	

PREPARED FOR:
LAKELAND CUSTOM CONTRACTING
XXX ST
MINNEAPOLIS, MINNESOTA, 55402

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA
BRENT R. PETERS
DATE: XX/XX/XX LICENSE NO. 44123

HOLLY AVE
ST. PAUL, MINNESOTA, 55102

Westwood
Phone (952) 937-5150 12701 Whitewater Drive, Suite #300
Fax (952) 937-5822 Minnetonka, MN 55343
Toll Free (888) 937-5150 westwoods.com
Westwood Professional Services, Inc.

SHEET NUMBER:
1 OF **1**
LOT CERTIFICATION
PROJECT NUMBER: 0026544.00 DATE: 2/7/2020



536 Holly, St. Paul



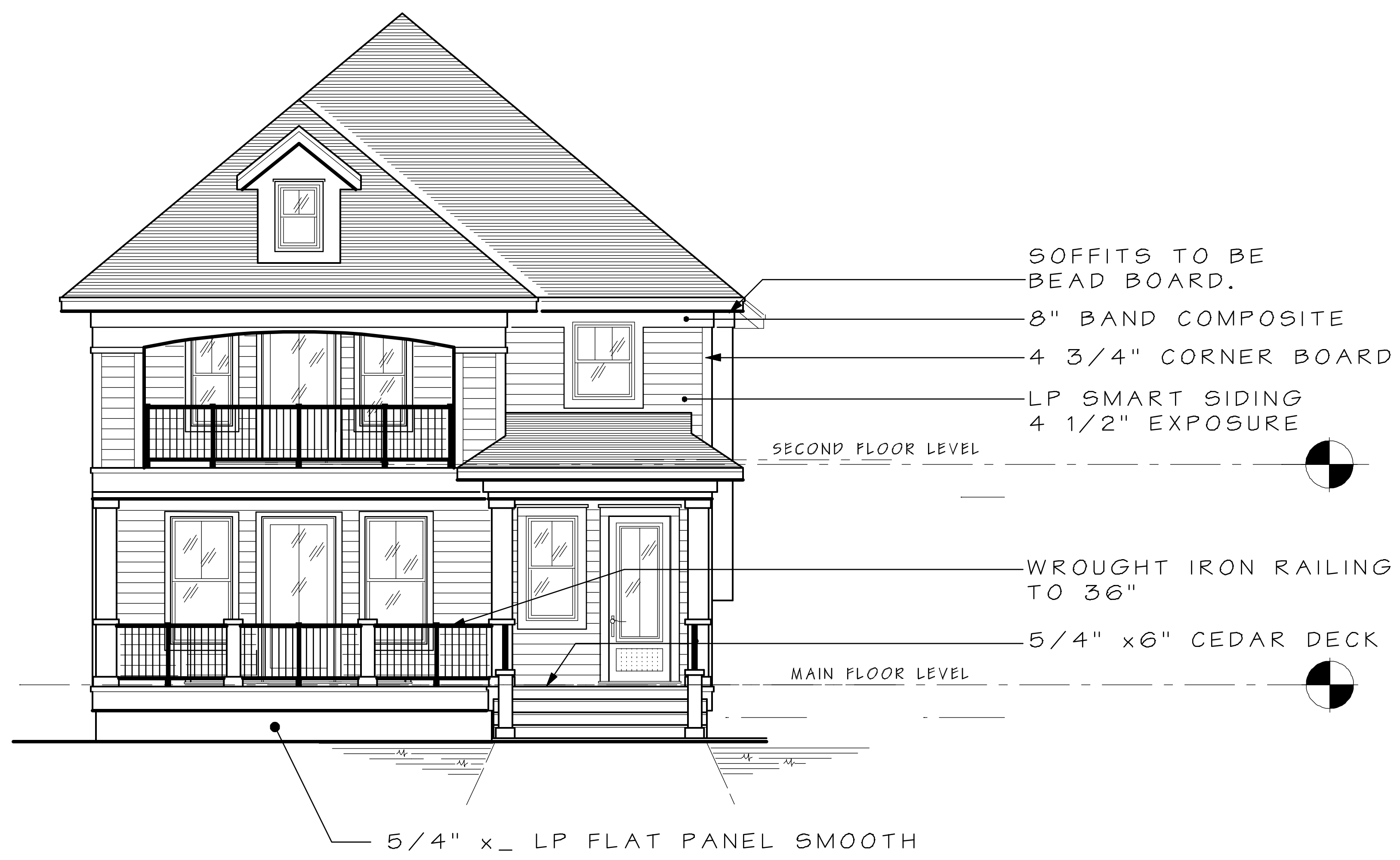
539 Holly, St. Paul



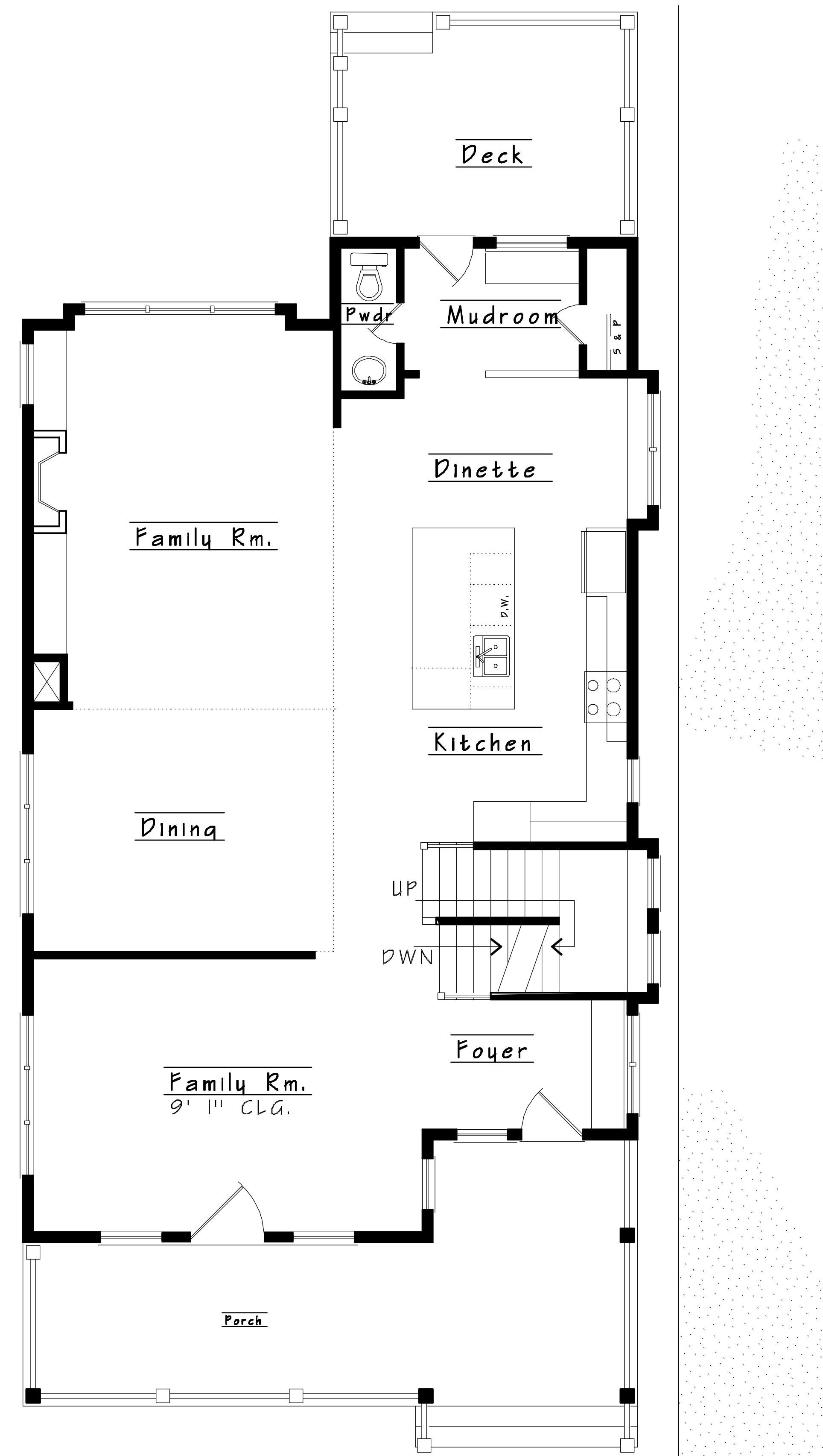
540 Holly, St. Paul
Front Elevation



549 Holly, St. Paul



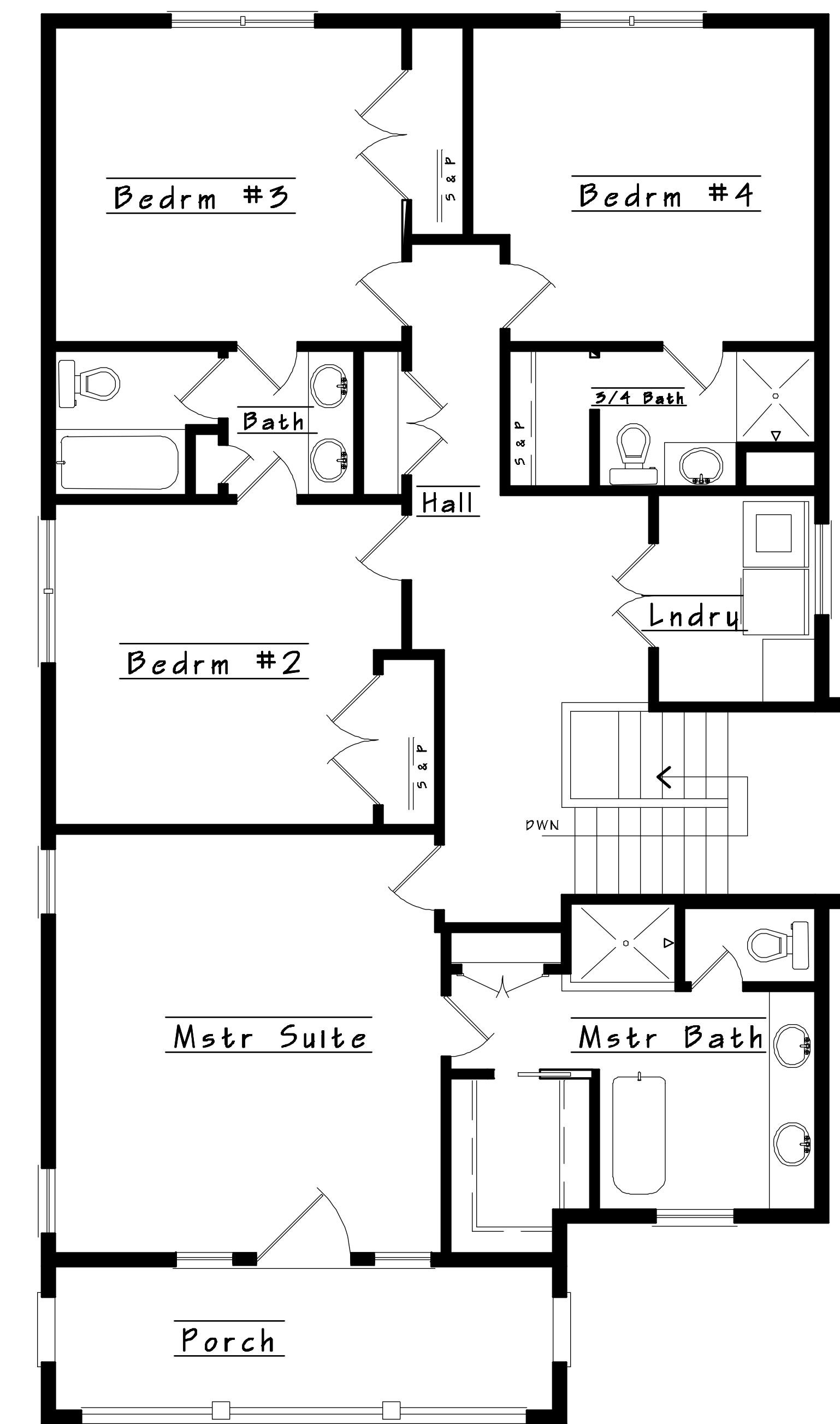
540 Holly, St. Paul



Main Floor Plan

1375

SCALE: 1/4" = 1'0"



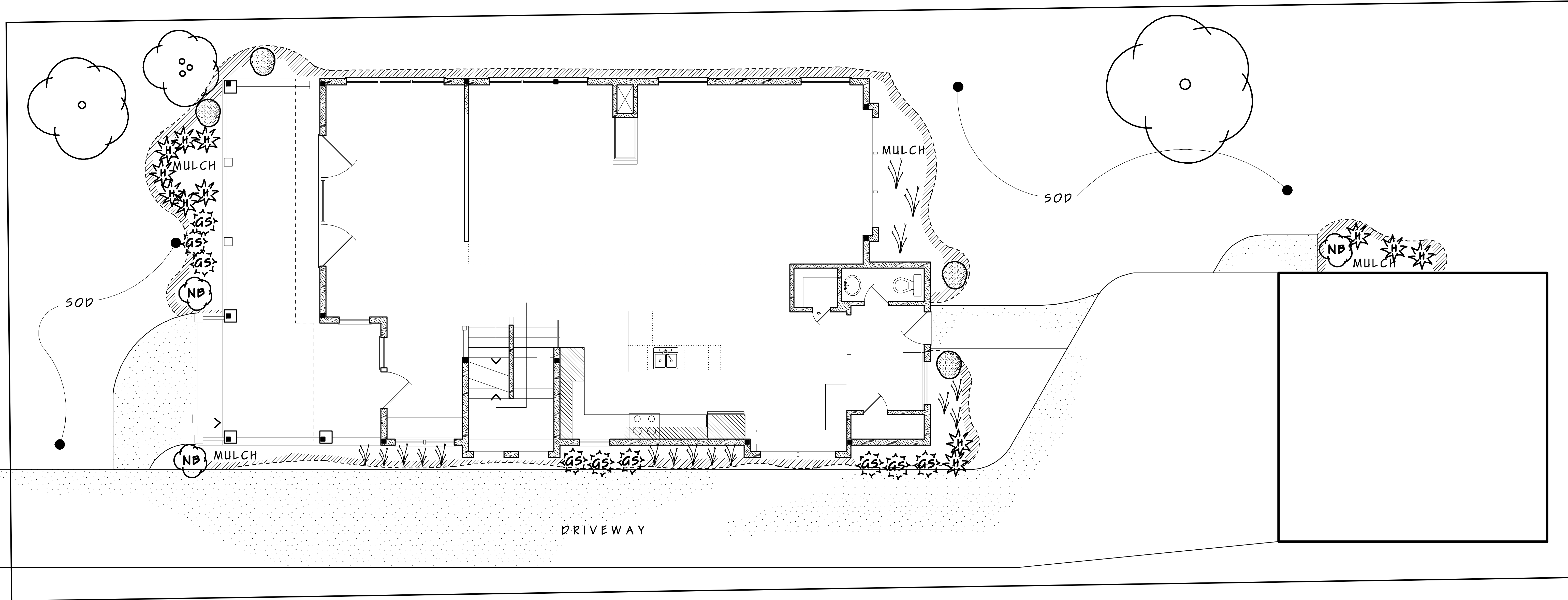
Second Floor Plan


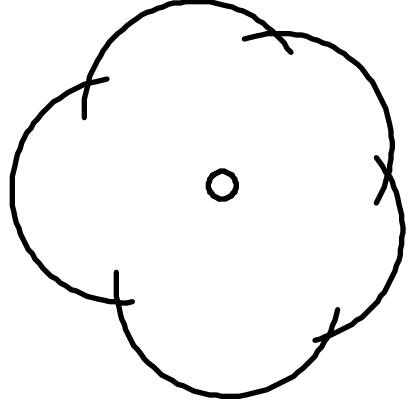



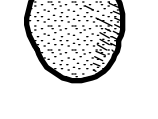
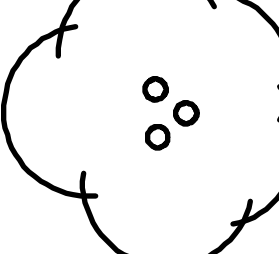
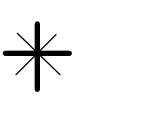
1415

SCALE: 1/4" = 1'0"

HOLLY AVE

SIDEWALK



-  NINEBARK DIABLO #5
-  3" AUTUMN BLAZE MAPLE
-  GOLDMOUND SPIRILA #2
-  KARL FORESTAL GRASS #1
-  HOSTA ROYAL STANDARD #1
-  BOULDER 24"
-  JAPANESE IVORY SILK LILAC 1.5"
-  BLACK EYED SUSAN #1

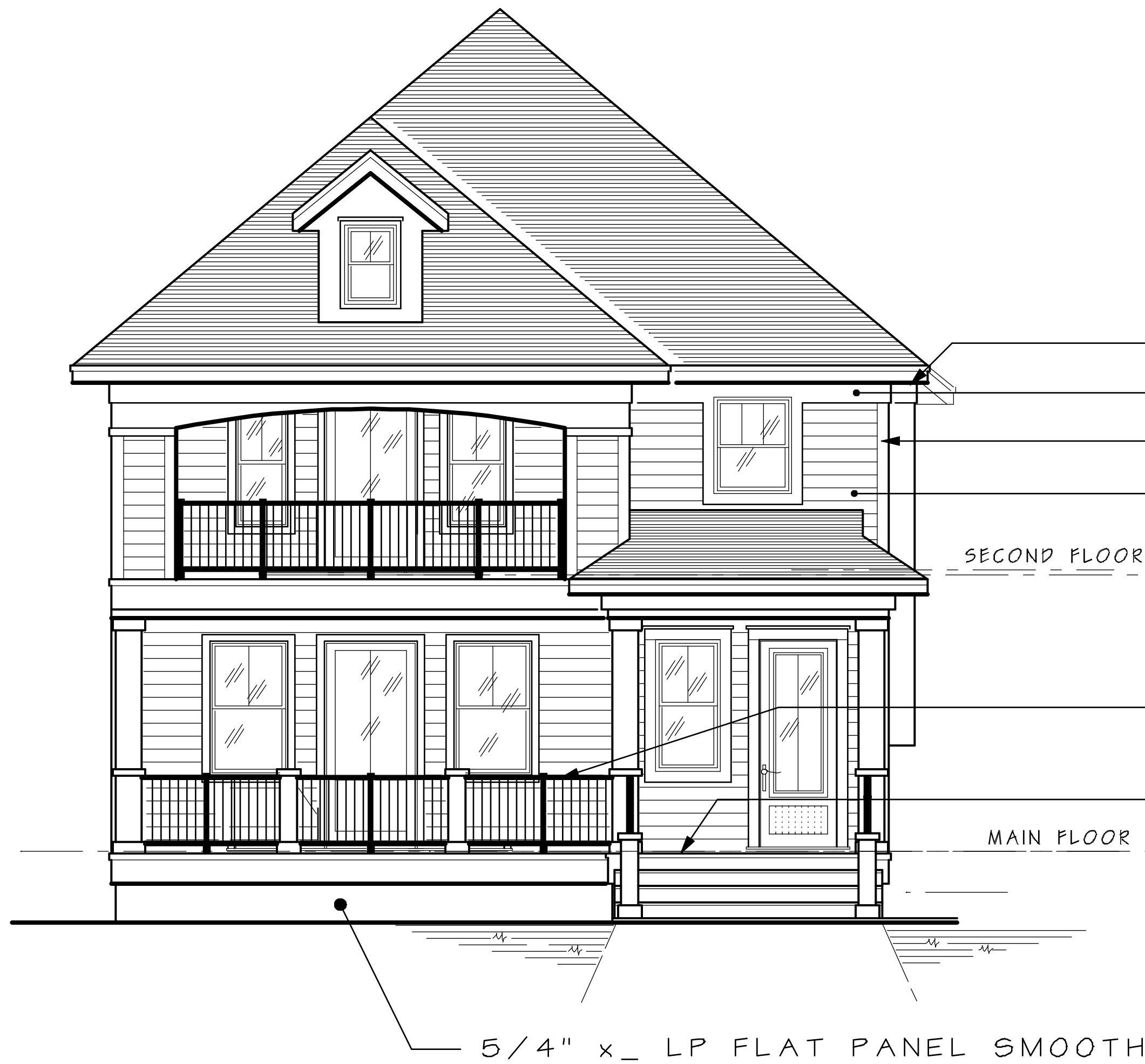


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 SHT 2 OF 7 RIGHT, LEFT AND REAR ELEVATION
 SHT 3 OF 7 FOUNDATION PLAN
 SHT 4 OF 7 MAIN FLOOR PLAN
 SHT 5 OF 7 SECOND FLOOR PLAN
 SHT 6 OF 7 CROSS SECTION
 SHT 7 OF 7 GARAGE PLAN

SOFFITS TO BE BEAD BOARD.
 8" BAND COMPOSITE
 4 3/4" CORNER BOARD
 LP SMART SIDING
 4 1/2" EXPOSURE

SECOND FLOOR LEVEL

WROUGHT IRON RAILING TO 36"

5/4" x6" CEDAR DECK

MAIN FLOOR LEVEL

5/4" x LP FLAT PANEL SMOOTH

ALL DRAWINGS ARE TO BE REVIEWED BY CONTRACTOR AND REPORTED TO HART'S DESIGN FOR ERRORS

Hart's Design makes every effort to provide accurate plans for the purpose of construction however. Hart's Design will accept no responsibility due to errors or omissions. The General Contractor, home owner or any individual utilizing this plan must verify with existing conditions for any possible revisions and report these to Hart's Design prior to construction. In no way shall Hart's Design be held liable for damages or extraneous expenses due to errors or omissions or change of design. All contractors shall provide and honor their own warranties.

GENERAL NOTES:

CONTRACTOR IS RESPONSIBLE TO REVIEW PLANS/DESIGN. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO HART'S DESIGN SO THAT REVISIONS/CORRECTIONS CAN BE MADE PRIOR TO CONSTRUCTION.

ANY AND ALL STRUCTURAL SPECIFICATIONS/DETAILS THAT REQUIRE A STRUCTURAL ENGINEER SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

ALL ON-SITE MEASUREMENTS MUST BE FIELD VERIFIED BY THE CONTRACTOR.

ALL CONTRACTORS/SUBCONTRACTORS SHALL COMPLY WITH STANDARD BUILDING METHODS, LOCAL AND STATE CODES.

■ BEARING POINT OR POINT LOAD FROM ABOVE.

SQUARE FOOTAGE:

BASEMENT	1348	⊕
MAIN FLOOR	1400	⊕
SECOND FLOOR	1415	⊕
TOTAL	4163	
3-CAR GARAGE	528	
PORCH & PATIOS	575	

Name Client

Residence/
Homeowner

Builder/
Contractor

Hart's Design
New Home & Remodeling Design
952 - 828 - 9906
Eden Prairie, MN 55346
Hart'sDesign@Comcast.net

Date:
3 -19 -2020

SCALE:
1/4" = 1'-0"

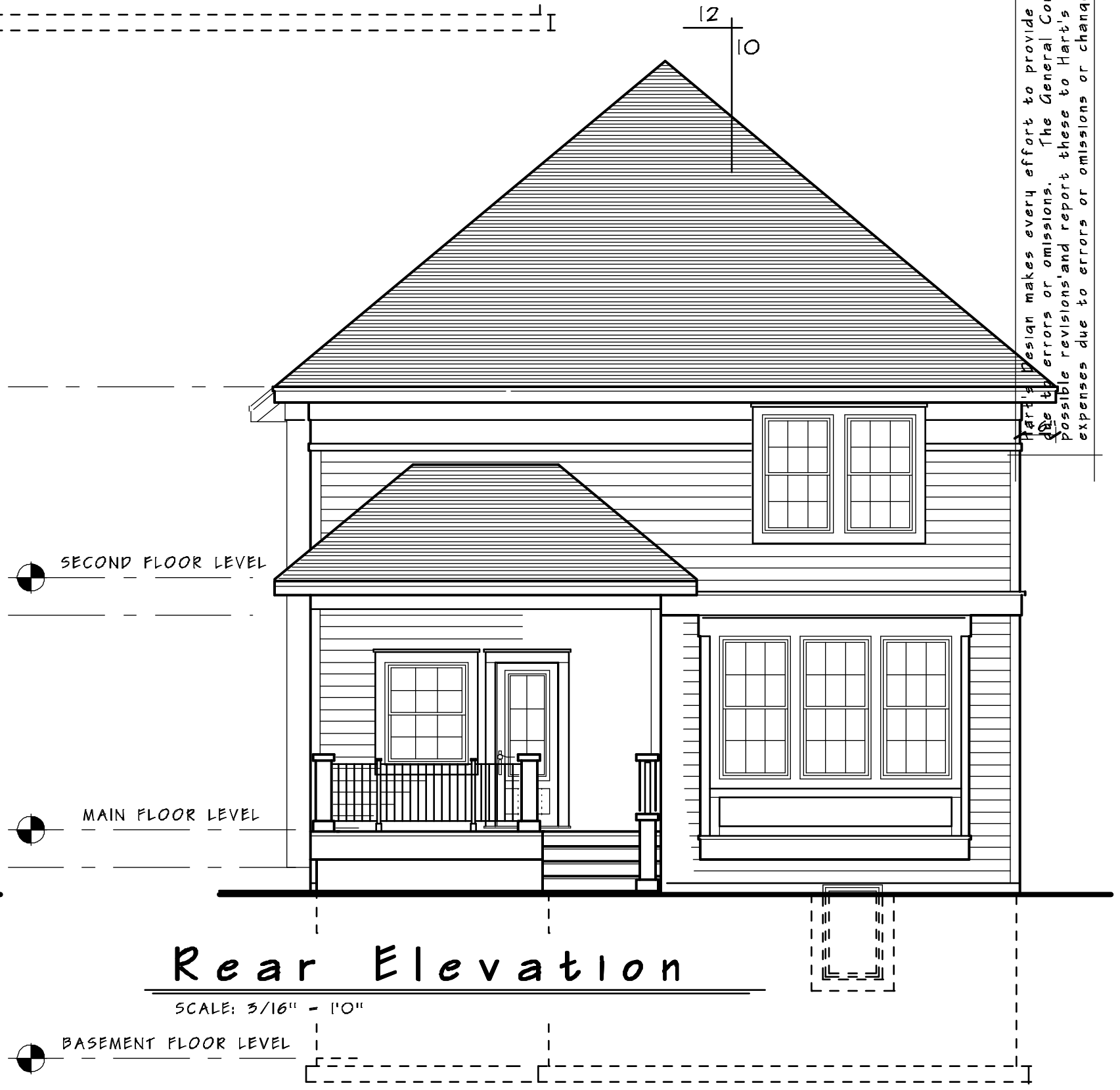
SHEET 1
of 6



Right Elevation
SCALE: 3/16" = 1'0"



Left Elevation
SCALE: 3/16" = 1'0"



Rear Elevation
SCALE: 3/16" = 1'0"

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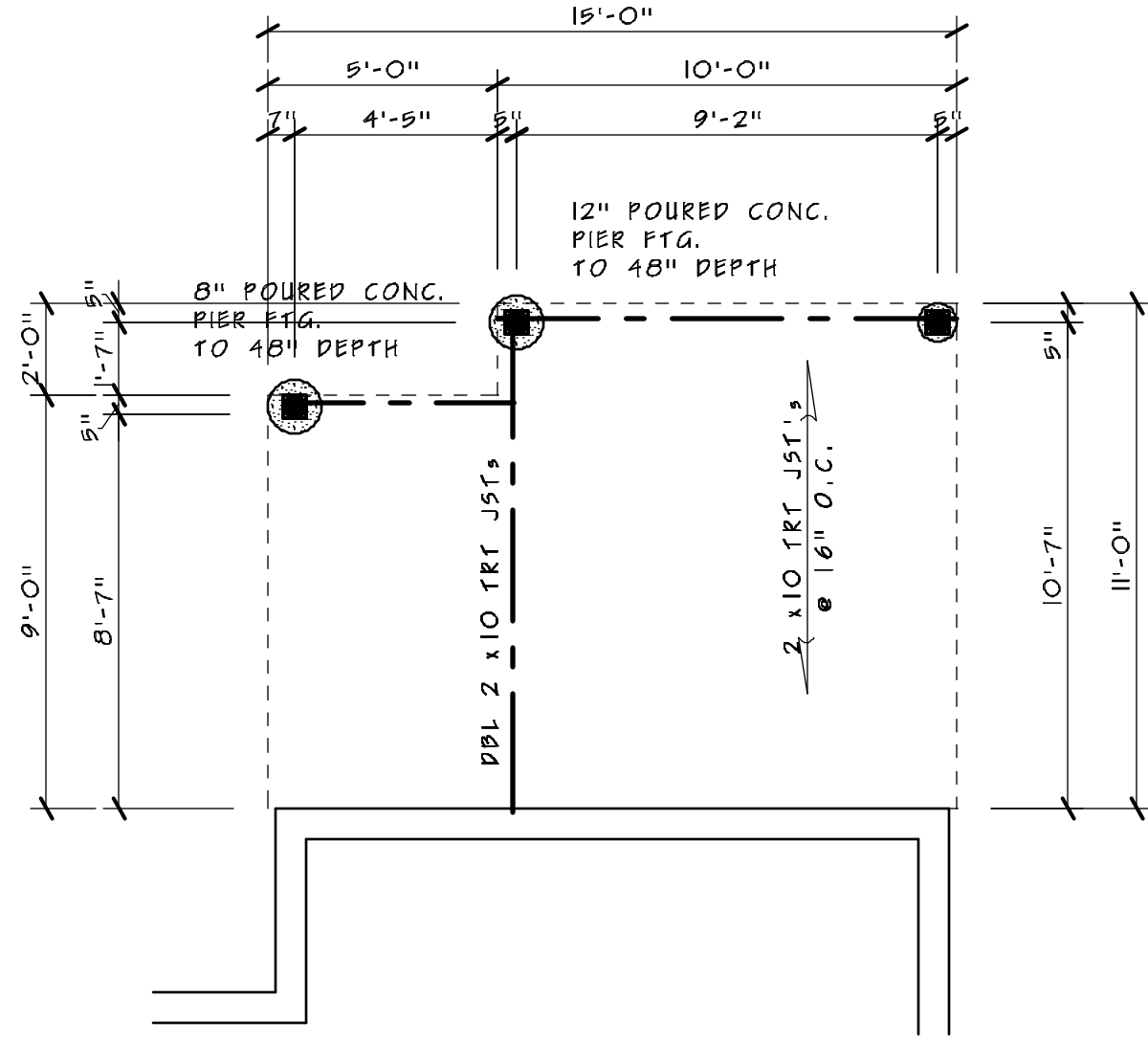
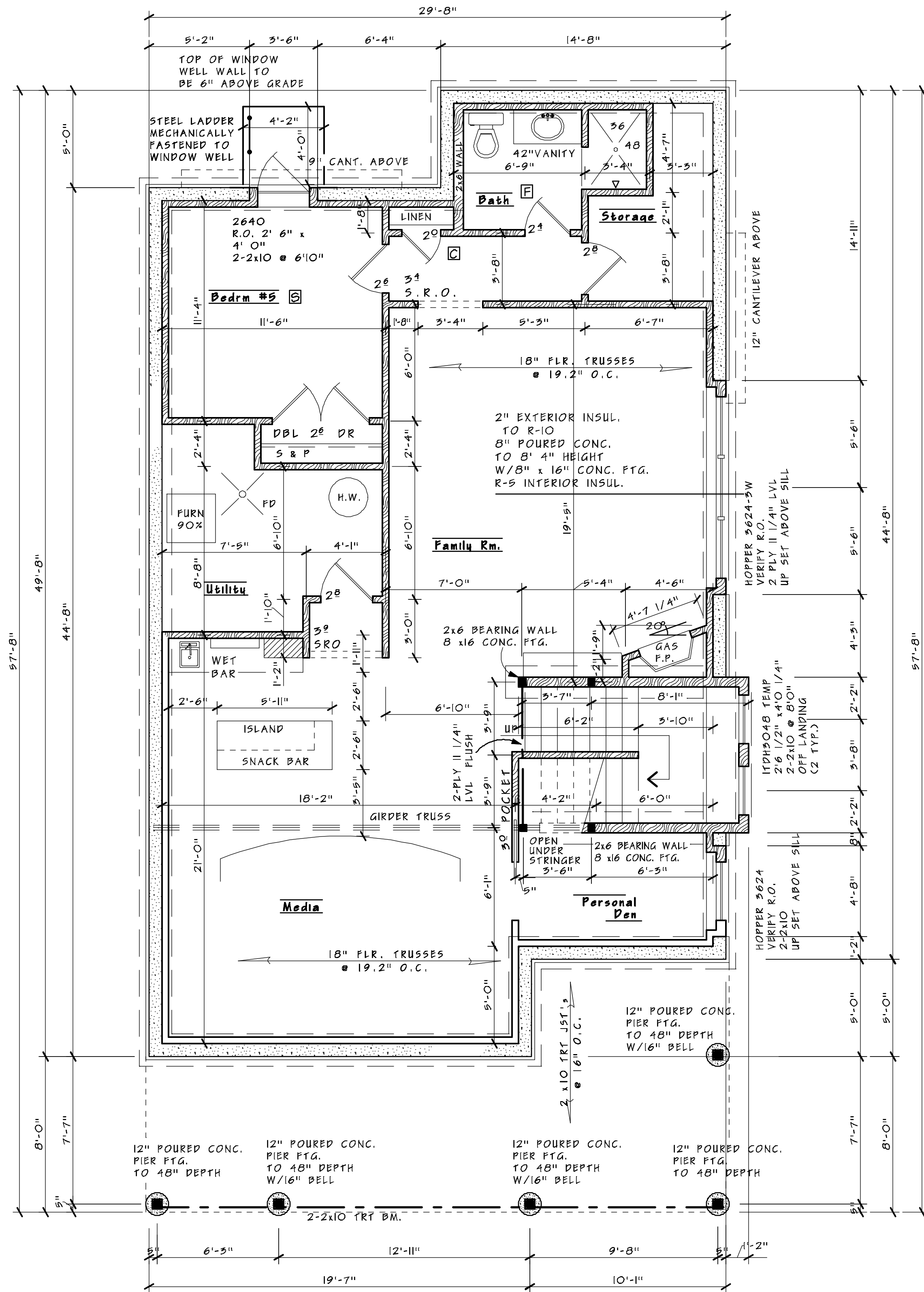
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Date:
3 -19 -2020

SCALE:
1/4" = 1'-0"
SHEET 2
of 6



Rear Porch Footings
SCALE: 1/4" = 1'-0"

**Foundation/
Basement Plan**
SCALE: 1/4" = 1'-0" 1348

**FOUNDATION/BASEMENT
LEVEL NOTES:**

- WINDOWS ARE TO BE MARVIN INTEGRITY
- BASEMENT HEIGHT TO BE OF 8' 4" HEIGHT
- BEARING POINT
- DIMENSIONS TO EXTERIOR ARE TO OUTSIDE OF CONCRETE.
- INTERIOR DIMENSIONS ARE TO INSIDE FACE OF CONCRETE
- ALL WINDOW HEADERS AND CASED OPNGS TO BE SET UP ABOVE SILL PLATE AND INTO FLOOR SYSTEM UNLESS NOTED.
- HEADER SPANS GREATER THAN 4" SHALL HAVE TWO TRIMMERS.
- ALL EXTERIOR HDRS TO DOORS AND WINDOWS TO BE 2-2x10 UNLESS NOTED OTHERWISE.

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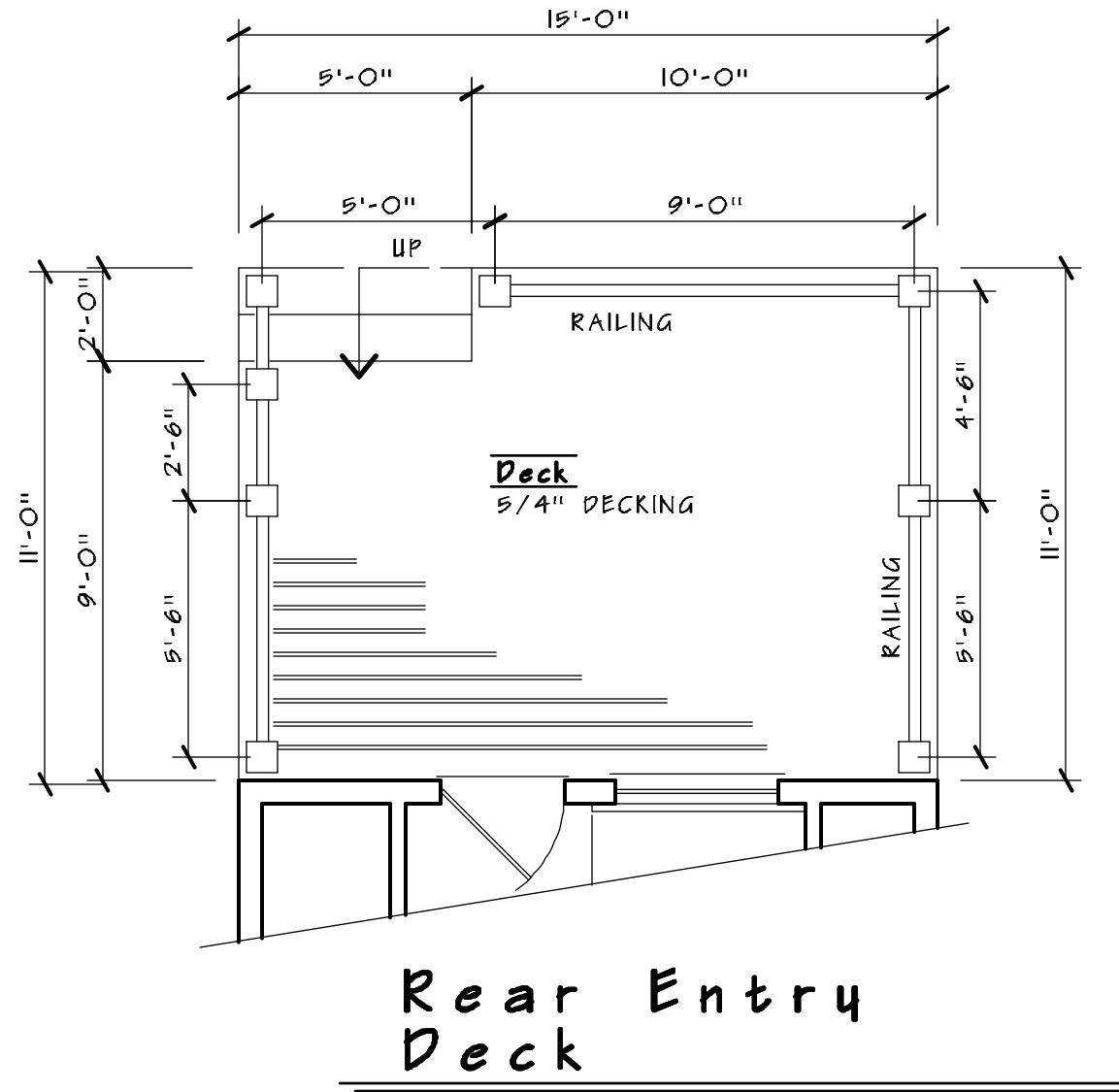
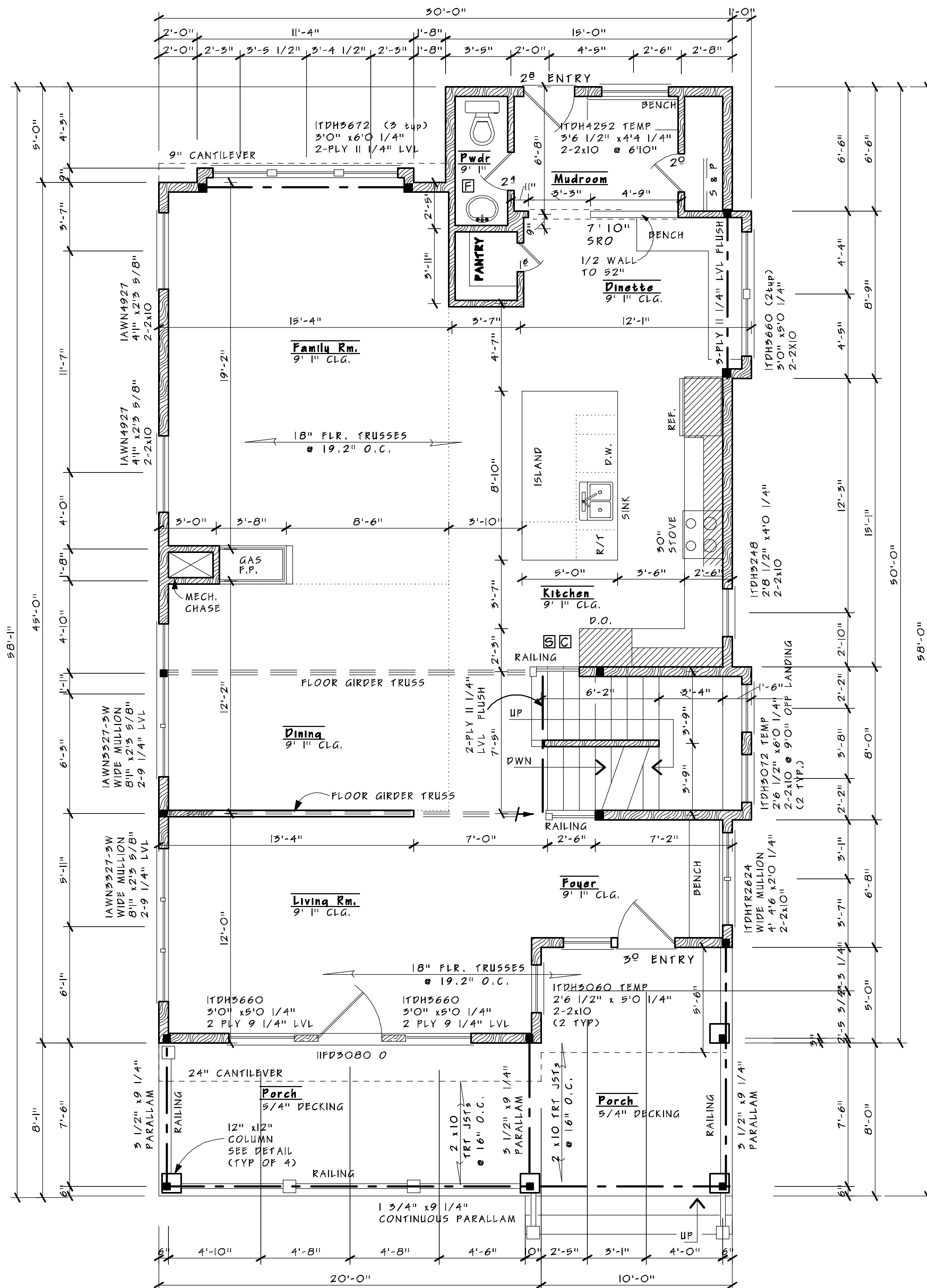
Residence/
Homeowner

Builder/
Contractor

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Date:
3 -19 -2020

SCALE:
1/4" = 1'-0"
SHEET 3
of 6



Main Floor Plan
 SCALE: 1/4" = 1'-0"

MAIN FLOOR NOTES:

- WINDOWS ARE TO BE MARVIN INTEGRITY
- MAIN FLOOR TO BE OF 9' 1/8" HEIGHT
- BEARING POINT
- ALL WINDOW HEADERS AND CASED OPNGS TO BE 7' 11" HEIGHT UNLESS NOTED.
- HEADER SPANS GREATER THAN 4'11" SHALL HAVE TWO TRIMMERS.
- ALL EXTERIOR HDRS TO DOORS AND WINDOWS TO BE 2-2x10 UNLESS NOTED OTHERWISE.

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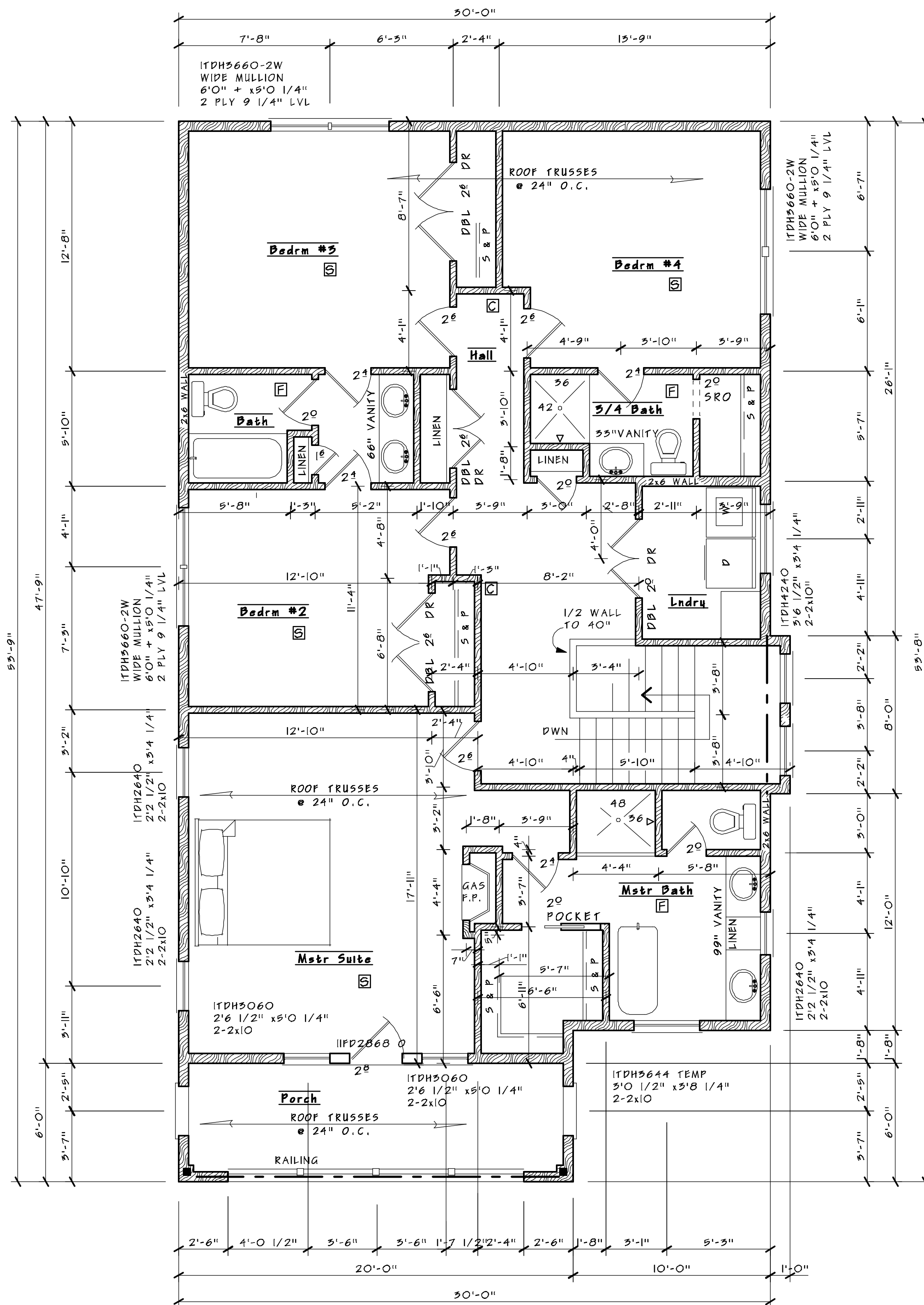
Residence/
Homeowner

Builder/
Contractor

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 Hart'sDesign@Comcast.net

Date:
3-19-2020

SCALE:
1/4" = 1'-0"
SHEET 4
 of 6



Second Floor Plan

SCALE: 1/4" = 1'-0" 1415

SECOND FLOOR NOTES:

- WINDOWS ARE TO BE MARVIN INTEGRITY
- SECOND FLOOR TO BE OF 8' 1/8" HEIGHT
- BEARING POINT
- ALL WINDOW HEADERS AND CASED OPNGS TO BE 6' 10" HEIGHT UNLESS NOTED.
- HEADER SPANS GREATER THAN 4" SHALL HAVE TWO TRIMMERS.
- ALL EXTERIOR HDRS TO DOORS AND WINDOWS TO BE 2-2x10 UNLESS NOTED OTHERWISE.

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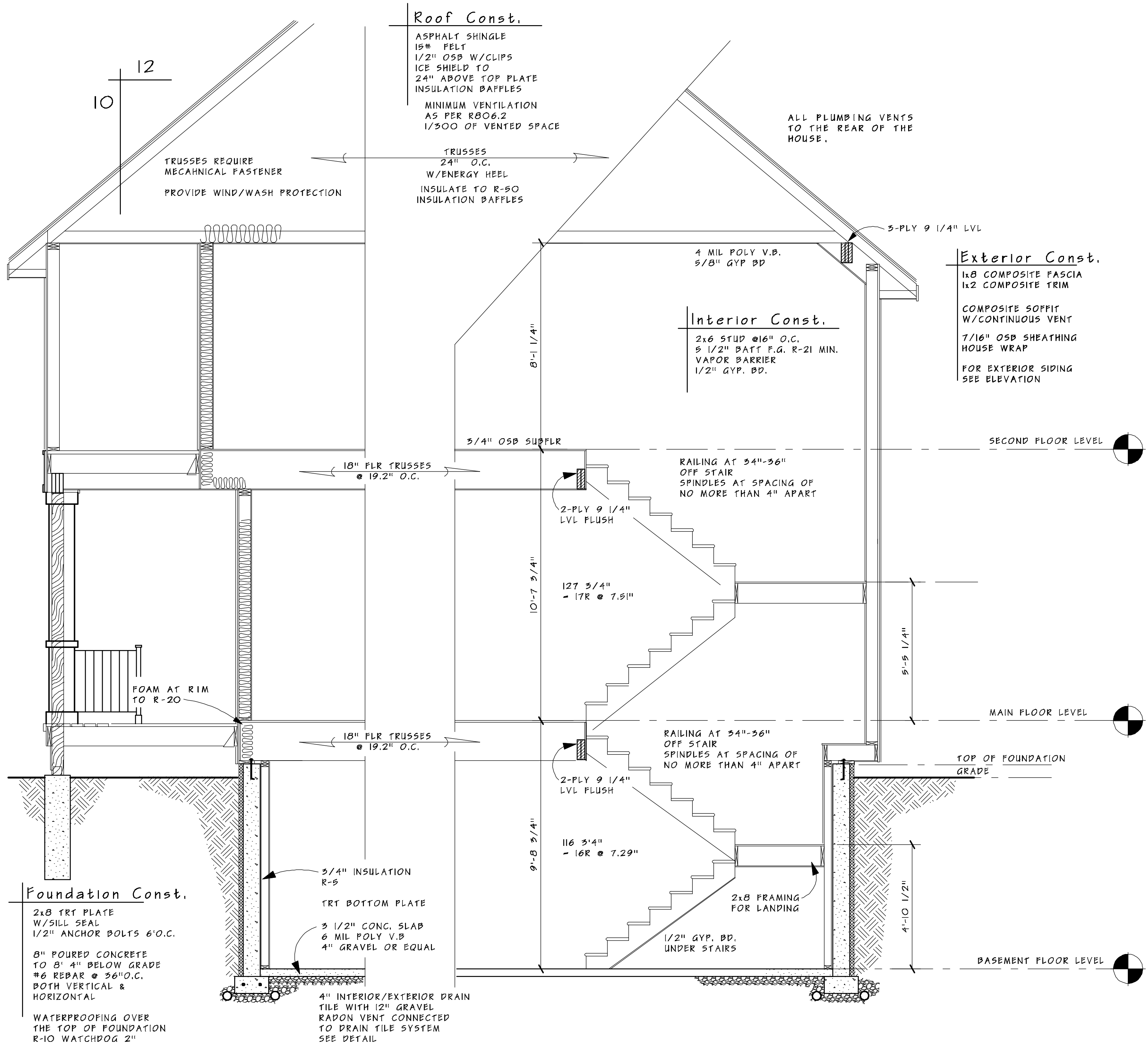
Residence/
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Builder/
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Date:
3 -19 -2020

SCALE:
1/4" = 1'-0"



Roof Const.

ASPHALT SHINGLE
 15# FELT
 1/2" OSB W/CLIPS
 ICE SHIELD TO
 24" ABOVE TOP PLATE
 INSULATION BAFFLES
 MINIMUM VENTILATION
 AS PER R806.2
 1/300 OF VENTED SPACE

TRUSSES
 24" O.C.
 W/ENERGY HEEL
 INSULATE TO R-50
 INSULATION BAFFLES

ALL PLUMBING VENTS
 TO THE REAR OF THE
 HOUSE.

Exterior Const.

1x8 COMPOSITE FASCIA
 1x2 COMPOSITE TRIM
 COMPOSITE SOFFIT
 W/CONTINUOUS VENT
 7/16" OSB SHEATHING
 HOUSE WRAP
 FOR EXTERIOR SIDING
 SEE ELEVATION

Interior Const.

2x6 STUD @16" O.C.
 5 1/2" BATT F.G. R-21 MIN.
 VAPOR BARRIER
 1/2" GYP. BD.

Foundation Const.

2x8 TRT PLATE
 W/SILL SEAL
 1/2" ANCHOR BOLTS 6'O.C.
 8" POURED CONCRETE
 TO 8' 4" BELOW GRADE
 #6 REBAR @ 36" O.C.
 BOTH VERTICAL &
 HORIZONTAL
 WATERPROOFING OVER
 THE TOP OF FOUNDATION
 R-10 WATCHDOG 2"
 W/8"x16" CONC. FTG.
 2-#4 REBAR
 COMP STRENGTH OF 5000#

1
6
Cross Section
 SCALE: 3/8" = 1'-0"

2
6
Cross Section
 SCALE: 3/8" = 1'-0"

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Name Client

Residence/
 Homeowner

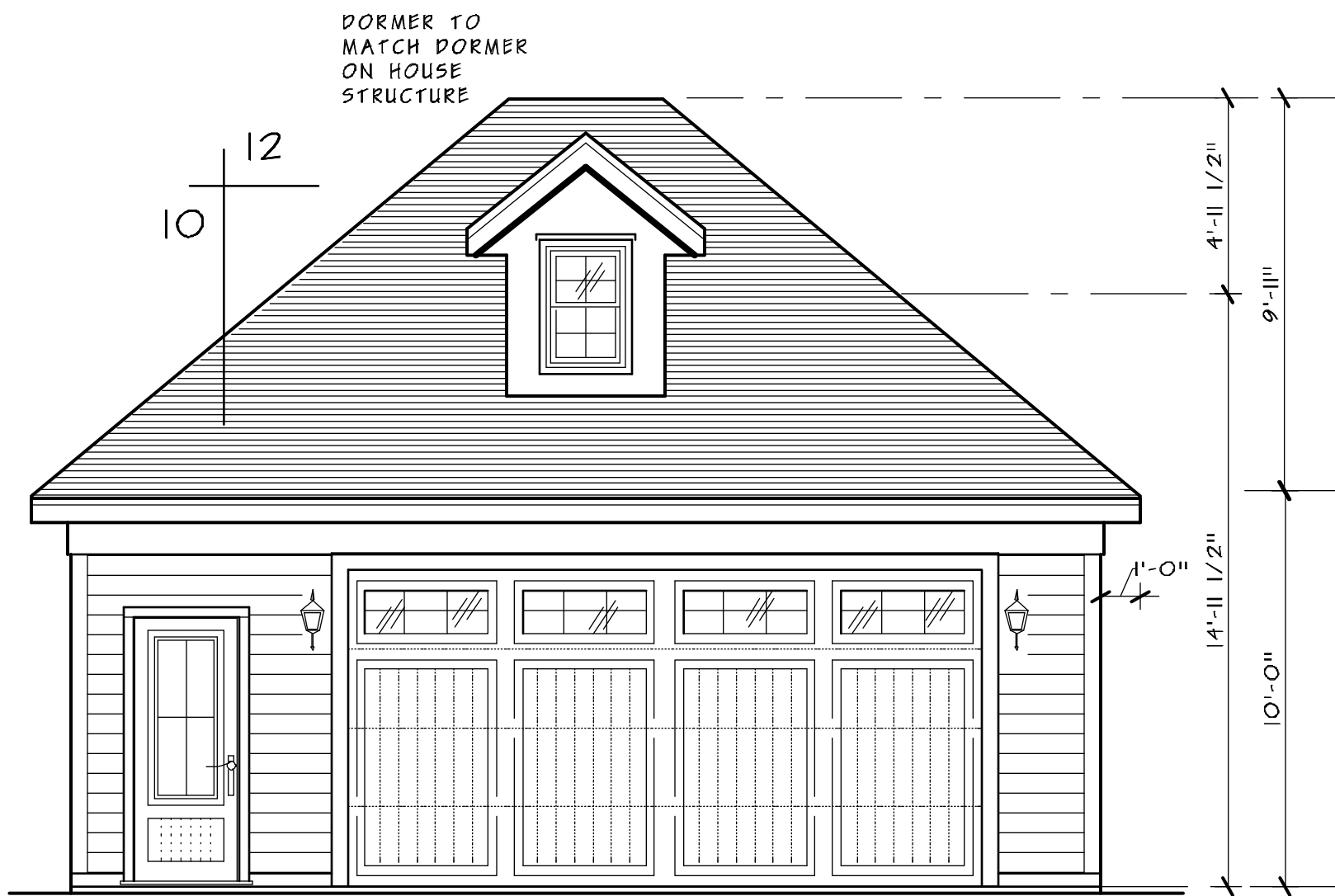
Builder/
 Contractor

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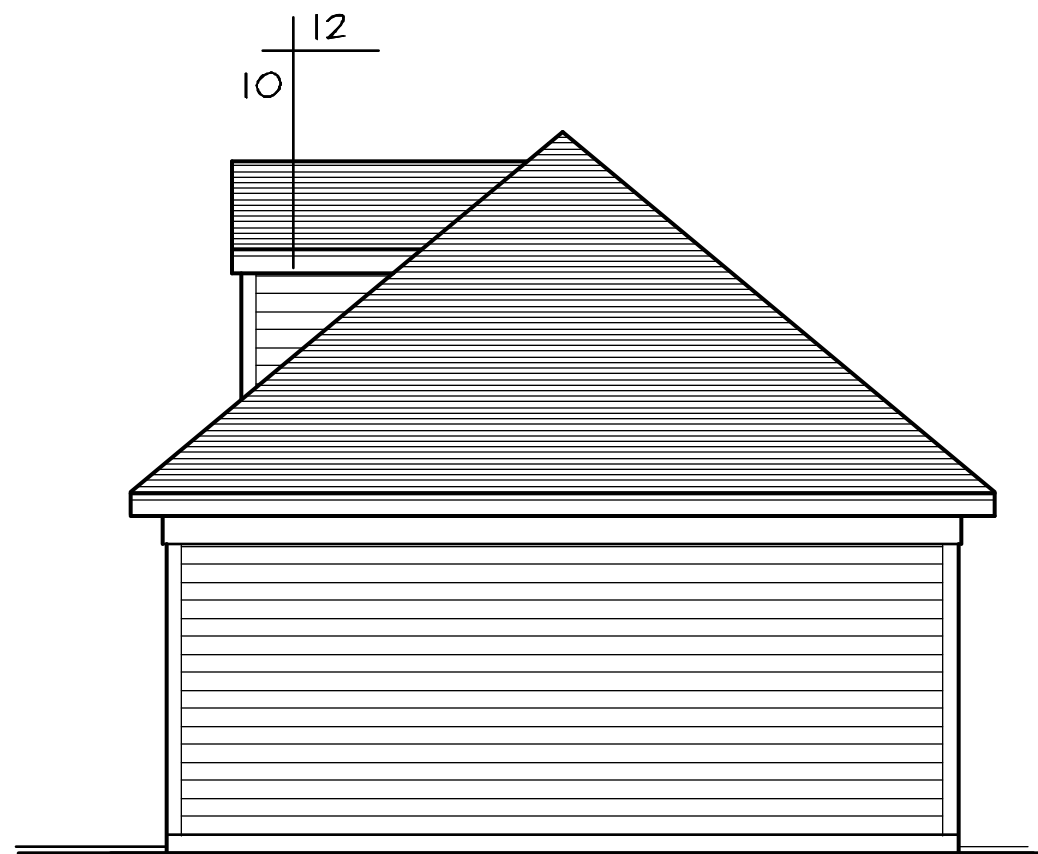
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SHEET 6
 of 6



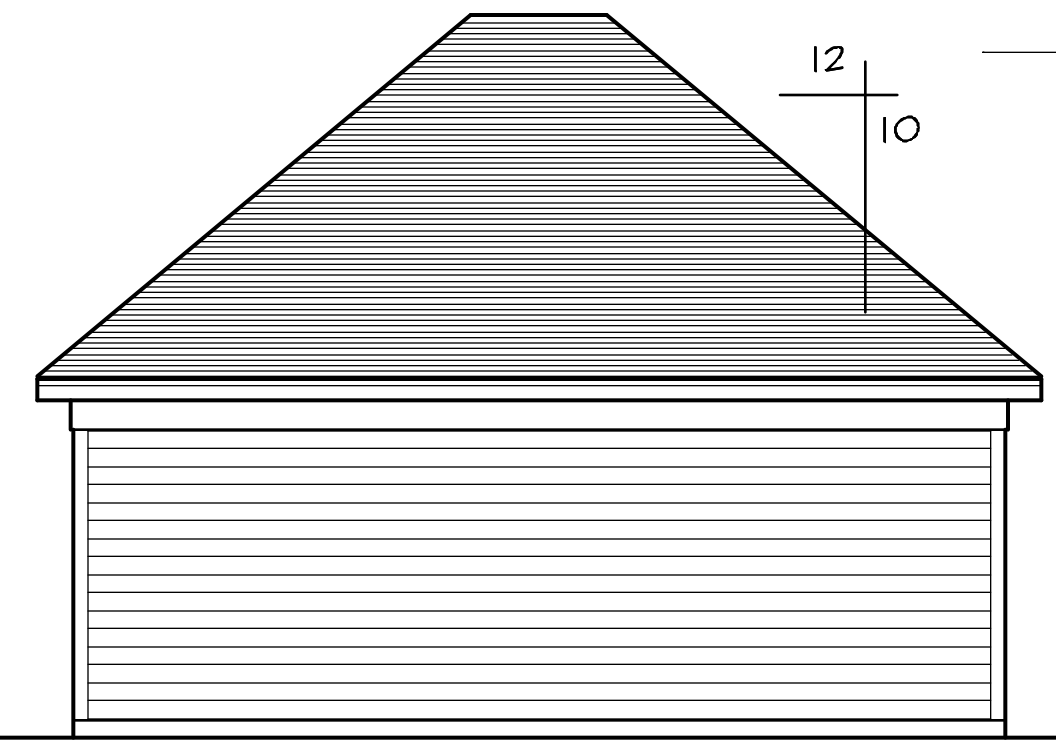
Front Elevation

SCALE: 1/4" = 1'-0"



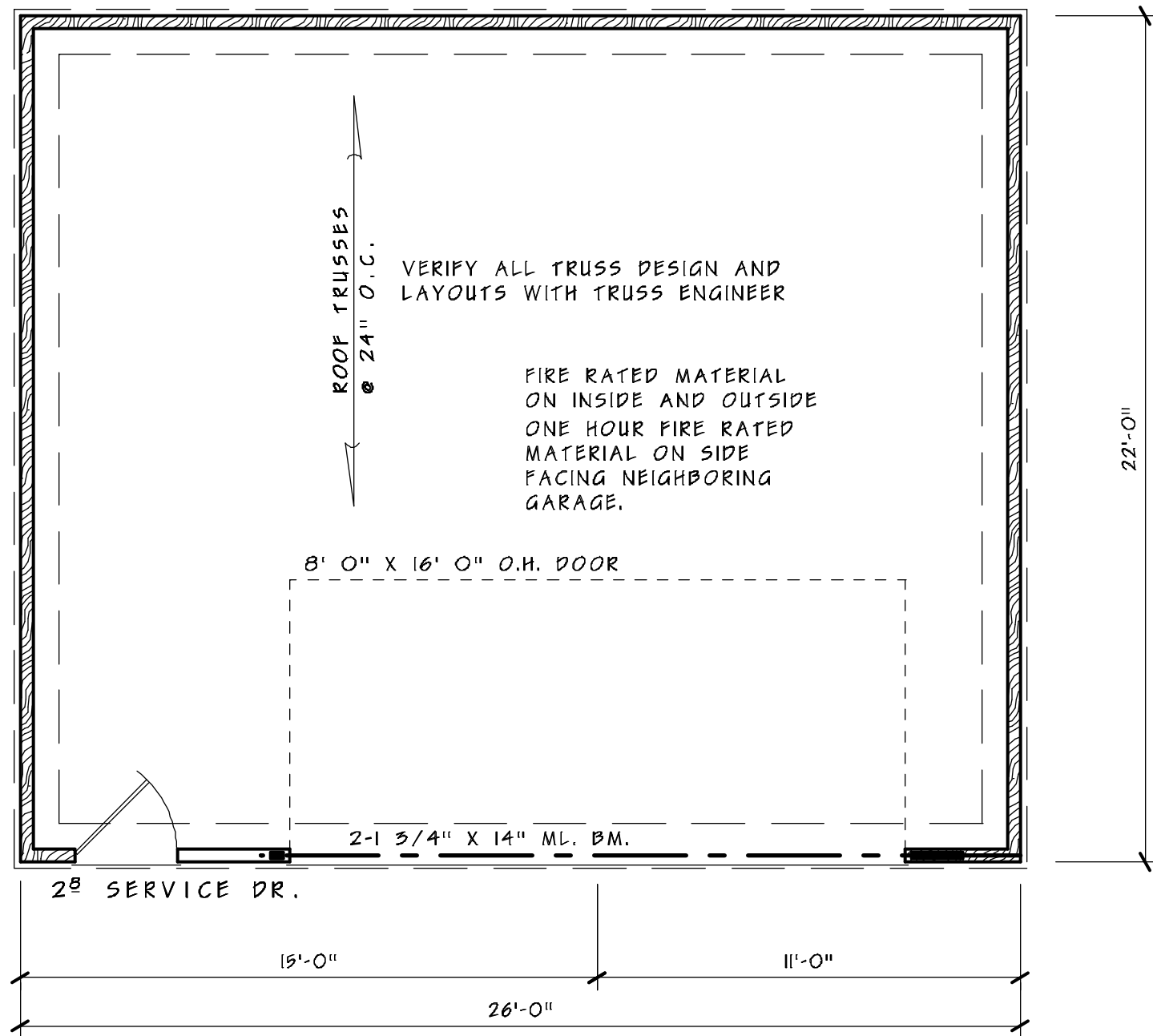
Right Elevation

SCALE: 3/16" = 1'-0"



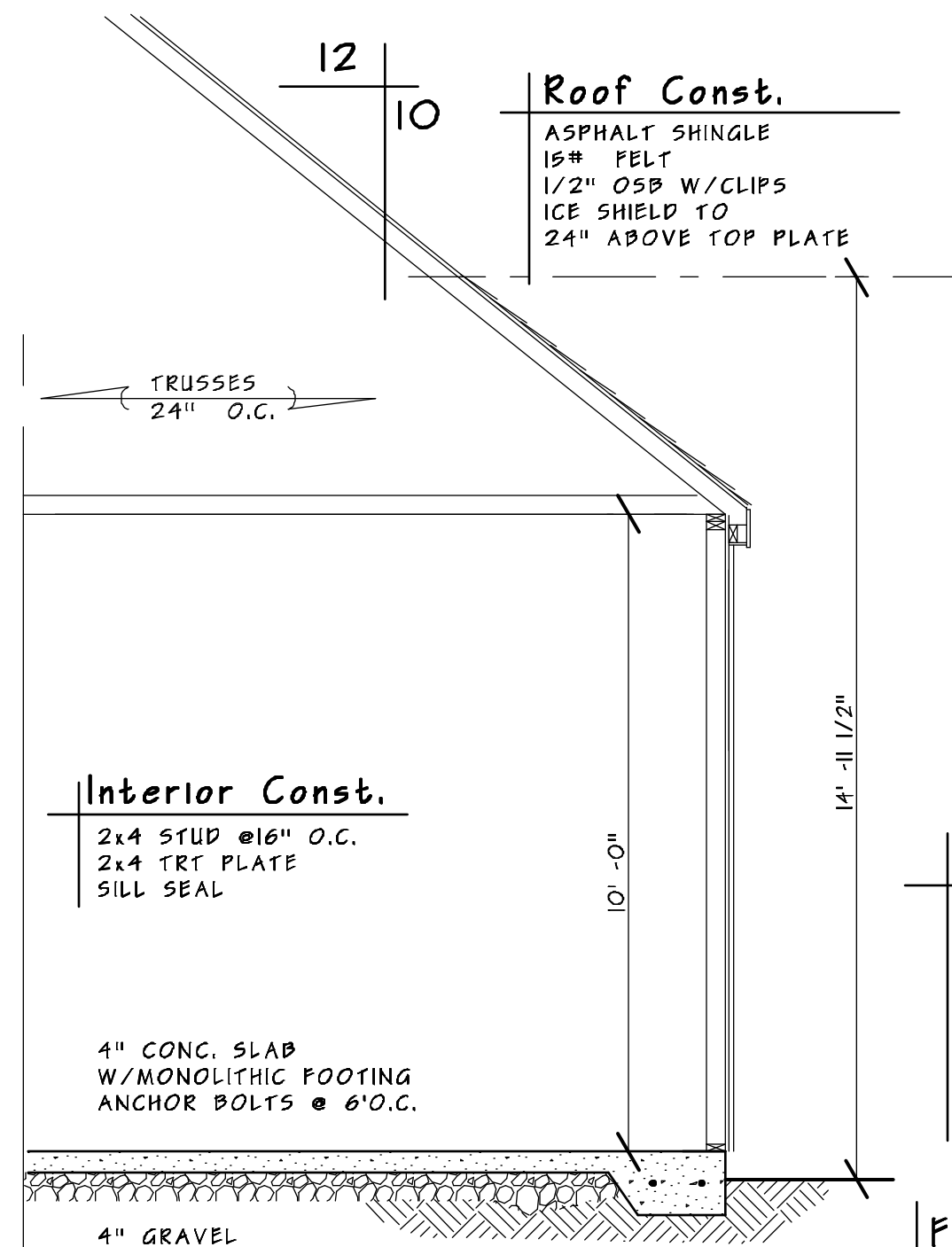
Rear Elevation

SCALE: 3/16" = 1'-0"



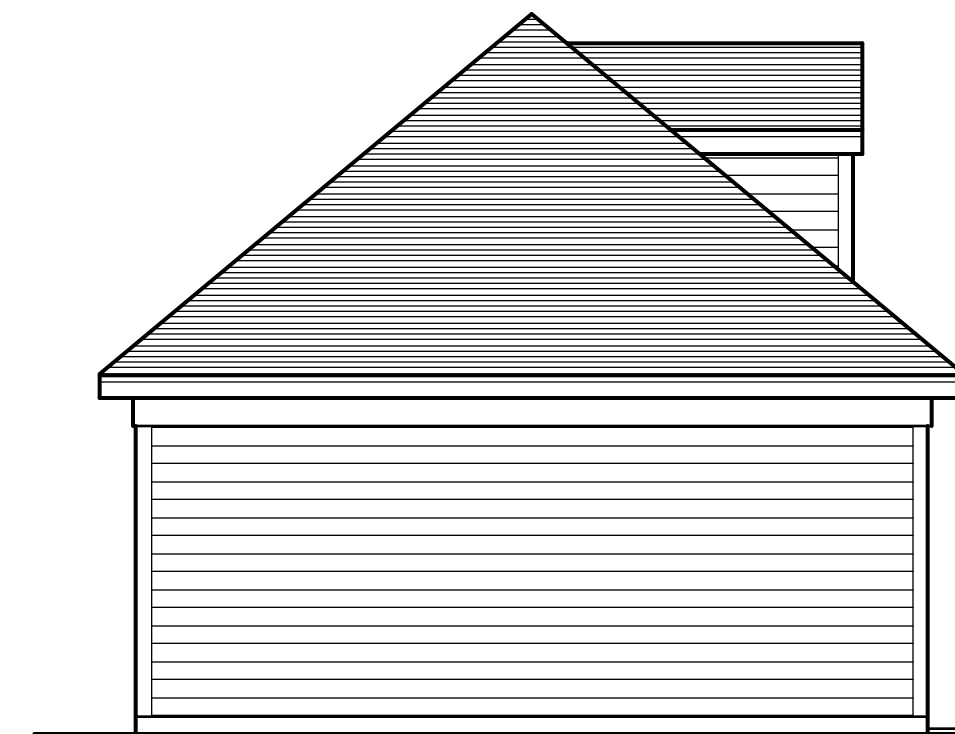
Main Floor Plan

SCALE: 1/4" = 1'-0"



Cross Section

SCALE: 3/16" = 1'-0"



Left Elevation

SCALE: 3/16" = 1'-0"

Hart's Design makes every effort to provide accurate plans for the purpose of construction however, Hart's Design will accept no responsibility due to errors or omissions. The General Contractor, home owner or any individual utilizing this plan must verify with existing conditions for any possible revisions and report these to Hart's Design prior to construction. In no way shall Hart's Design be held liable for damages or extraneous expenses due to errors or omissions or change of design. All contractors shall provide and honor their own warranties.

Name Client

Residence/
Homeowner

Builder/
Contractor

Hart's Design
New Home & Remodeling Design
952 - 828 - 9906
Eden Prairie, MN 55346
HartsDesign@Comcast.net

Date:
3 -19 -2020

SCALE:
1/4" = 1'-0"

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