# CITY OF SAINT PAUL HERITAGE PRESERVATION COMMISSION STAFF REPORT

FILE NAME: 617 Laurel Avenue

APPLICANT: Alan Hupp, Hupp Holdings LLC

**OWNER:** Alan Hupp, Hupp Holdings LLC

ARCHITECT: Pete Keeley, Collage Architects

**DATE OF APPLICATION:** May 3, 2017

**DATE OF PUBLIC HEARING:** May 25, 2017

**HPC SITE/DISTRICT:** Historic Hill Heritage Preservation District

CATEGORY: Vacant Lot WARD: 1 DISTRICT COUNCIL: 8

**INVENTORY NUMBER: N/A** 

**CLASSIFICATION:** New Construction Building Permit

**PERIOD OF SIGNIFICANCE: 1858-1930** 

**BUILDING PERMIT #: N/A** 

STAFF INVESTIGATION AND REPORT: Allison Suhan

**DATE OF REPORT:** May 19, 2017

**A. SITE DESCRIPTION:** A vacant lot measuring 40' by 172.64' on the corner of Laurel Avenue and Dale Street North that has been vacant since 1968 and is zoned RM2.

- **B. PROPOSED CHANGES:** The applicant proposes to construct a new, two-and-one-half story, three unit row house on the lot. The proposed structure will have a 29' x 85' footprint. The applicant proposes LP SmartSide Smooth Fiber Lap Siding with a 6 inch exposure and 6" and 8" trim board, rockface block foundation, Certainteed Landmark Architectural asphalt shingles in black, and the windows are proposed to be a combination of Weathershield Signature Series white, wood aluminum clad, double hung, fixed, and casement windows. The exterior doors are proposed to be 7' steel doors with full glass, and Clopay 25-gauge steel recessed panel garage doors in white. The color scheme is Smoky Ash for the body, White for the trim, and accent colors of Light Gray. A three stall garage with LP Smartside smooth siding and individual paneled steel garage doors is also proposed at the alley.
- **C. BACKGROUND:** HPC staff met with the applicant and the architect on January 4, 2017 to discuss initial drawings and concepts to prepare for pre-application review. The applicant applied for three major variances to the BZA on February 27, 2017 (File #17-006710). The HPC reviewed the pre-application on March 9, 2017 (File #HPC PA17-001).

### **D. GUIDELINE CITATIONS:**

Hill Historic District Design Review Guidelines

### Sec. 74.64. - Restoration and rehabilitation.

- (a) General Principles: The Historic Hill District design guidelines for restoration and rehabilitation are based on the ten (10) standards for rehabilitation developed by the National Park Service, United States Department of the Interior. In addition to the standards themselves, the pamphlet contains examples of recommended approaches to rehabilitation. The ten (10) standards are as follows:
  - (1) Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
  - (2) The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
  - (3) All buildings, structures and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
  - (4) Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right and this significance shall be recognized and respected.
  - (5) Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be treated with sensitivity.
  - (6) Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.
  - (7) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
  - (8) Every reasonable effort shall be made to protect and preserve archaeological resources affected by or adjacent to any project.
  - (9) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with the size, scale, color, material and character of the property, neighborhood or environment.
  - (10) Wherever possible, new additions or alterations to structures shall be done in such a manner that if such alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

### Sec. 74.65. - New construction.

- (a) General Principles: The basic principle for new construction in the Historic Hill District is to maintain the district's scale and quality of design. The Historic Hill District is architecturally diverse within an overall pattern of harmony and continuity. These guidelines for new construction focus on general rather than specific design elements in order to encourage architectural innovation and quality design while maintaining the harmony and continuity of the district. New construction should be compatible with the size, scale, massing, height, rhythm, setback, color, material, building elements, site design, and character of surrounding structures and the area.
- (b) Massing and Height: New construction should conform to the massing, volume, height and scale of existing adjacent structures. Typical residential structures in the Historic Hill District are twenty-five (25) to forty (40) feet high. The height of new construction should be no lower than the average height of all buildings on both block faces; measurements should be made from street level to the highest point of the roofs. (This guideline does not supersede the city's zoning code height limitations.)
- (c) Rhythm and Directional Emphasis: The existence of uniform narrow lots in the Historic Hill District naturally sets up a strong rhythm of buildings to open space. Historically any structure built on more than one (1) lot used vertical facade elements to maintain and vary the overall rhythm of the street rather than interrupting the rhythm with a long monotonous facade. The directional expression of new construction should relate to that of existing adjacent structures.

### (d) Material and Details:

- (1) Variety in the use of architectural materials and details adds to the intimacy and visual delight of the district. But there is also an overall thread of continuity provided by the range of materials commonly used by turn-of-the-century builders and by the way these materials were used. This thread of continuity is threatened by the introduction of new industrial materials and the aggressive exposure of earlier materials such as concrete block, metal framing and glass. The purpose of this section is to encourage the proper use of appropriate materials and details.
- (2) The materials and details of new construction should relate to the materials and details of existing nearby buildings.
- (3) Preferred roof materials are cedar shingles, slate and tile; asphalt shingles which match the approximate color and texture of the preferred materials are acceptable substitutes. Diagonal and vertical siding are generally unacceptable. Imitative materials such as asphalt siding, wood-textured metal or vinyl siding, artificial stone, and artificial brick veneer should not be used. Smooth four-inch lap vinyl, metal or hardboard siding, when well installed and carefully detailed, may be acceptable in some cases. Materials, including their colors, will be reviewed to determine their appropriate use in relation to the overall design of the structure as well as to surrounding structures.

- (4) Color is a significant design element, and paint colors should relate to surrounding structures and the area as well as to the style of the new structure. Building permits are not required for painting and, although the heritage preservation commission may review and comment on paint color, paint color is not subject to commission approval.
- (e) Building Elements: Individual elements of a building should be integrated into its composition for a balanced and complete design. These elements of new instruction should complement existing adjacent structures as well.

### (1) Roofs:

- a. There is a great variety of roof treatment in the Historic Hill District, but gable and hip roofs are most common. The skyline or profile of new construction should relate to the predominant roof shape of existing adjacent buildings.
- b. Most houses in the Historic Hill District have a roof pitch of between 9:12 and 12:12 (rise-to-run ratio). Highly visible secondary structure roofs should match the roof pitch of the main structure, and generally should have a rise-to-run ratio of at least 9:12. A roof pitch of at least 8:12 should be used if it is somewhat visible from the street, and a 6:12 pitch may be acceptable in some cases for structures which are not visible from the street.
- c. Roof hardware such as skylights, vents and metal pipe chimneys should not be placed on the front roof plane.

## (2) Windows and doors:

- a. The proportion, size, rhythm and detailing of windows and doors in new construction should be compatible with that of existing adjacent buildings. Most windows on the Hill have a vertical orientation, with a proportion of between 2:1 and 3:1 (height to width) common. Individual windows can sometimes be square or horizontal if the rest of building conveys the appropriate directional emphasis. Facade openings of the same general size as those in adjacent buildings are encouraged.
- b. Wooden double-hung windows are traditional in the Historic Hill District and should be the first choice when selecting new windows. Paired casement windows, although not historically common, will often prove acceptable because of their vertical orientation. Sliding windows, awning windows, and horizontally oriented muntins are not common in the district and are generally unacceptable. Vertical muntins and muntin grids may be acceptable when compatible with the period and style of the building. Sliding glass doors should not be used where they would be visible from the street.
- c. Although not usually improving the appearance of building, the use of metal windows or doors need not necessarily ruin it. The important thing is that they should look like part of the building and not like raw metal appliances. Appropriately colored or bronze-toned aluminum is acceptable. Mill finish (silver) aluminum should be avoided.

## (3) Porches and decks:

- a. In general, houses in the Historic Hill District have roofed front porches, while in most modern construction the front porch has disappeared. Front porches provide a transitional zone between open and closed space which unites a building and its site, semiprivate spaces which help to define the spatial hierarchy of the district. They are a consistent visual element in the district and often introduce rhythmic variation, clarify scale or provide vertical facade elements. The porch treatment of new structures should relate to the porch treatment of existing adjacent structure. If a porch is not built, the transition from private to public space should be articulated with some other suitable design element.
- b. Open porches are preferable, but screened or glassed-in porches may be acceptable if well detailed. Most, but not all, porches on the Hill are one (1) story high. Along some streets where a strong continuity of porch size or porch roof line exists, it may be preferable to duplicate these formal elements in new construction. The vertical elements supporting the porch roof are important. They should carry the visual as well as the actual weight of the porch roof. The spacing of new balustrades should reflect the solid-to-void relationships of adjacent railings and porches. Generally, a solid-to-void proportion between 1:2 and 1:3 is common in the Historic Hill.
- c. Decks should be kept to the rear of buildings, should be visually refined, and should be integrated into overall building design. A raised deck protruding from a single wall usually appears disjointed from the total design and is generally unacceptable.

### (f) Site:

(1) Setback. New buildings should be sited at a distance not more than five (5) percent out-of-line from the setback of existing adjacent buildings. Setbacks greater than those of adjacent buildings may be allowed in some cases. Reduced setbacks may be acceptable at corners. This happens quite often in the Historic Hill area and can lend delightful variation to the street.

## (2) Landscaping:

a. Typically, open space in the Historic Hill District is divided into public, semipublic, semiprivate and private space. The public space of the street and sidewalk is often distinguished from the semipublic space of the front yard by a change in grade, a low hedge or a visually open fence. The buildings, landscaping elements in front yards, and boulevard trees together provide a "wall of enclosure" for the street "room." Generally, landscaping which respects the street as a public room is encouraged. Enclosures which allow visual penetration of semipublic spaces, such as wrought-iron fences, painted picket fences, low hedges or limestone retaining walls, are characteristic of most of the Historic Hill area. This approach to landscaping and fences is encouraged in contrast to complete enclosure of semipublic space by an opaque fence, a tall "weathered wood" fence or tall hedgerows. Cyclone fence should not be used in front yards or in the front half of side yards. Landscape timber should not be used for retaining walls in front yards.

b. For the intimate space of a shallow setback, ground covers and low shrubs will provide more visual interest and require less maintenance than grass. When lots are left vacant as green space or parking area, a visual hole in the street "wall" may result. Landscape treatment can eliminate this potential problem by providing a wall of enclosure for the street. Boulevard trees mark a separation between the automobile corridor and the rest of the streetscape and should be maintained.

## (3) Garages and parking:

- a. If an alley is adjacent to the dwelling, any new garage should be located off the alley. Where alleys do not exist, garages facing the street or driveway curb cuts may be acceptable. Garage doors should not face the street. If this is found necessary, single garage doors should be used to avoid the horizontal orientation of two-car garage doors.
- b. Parking spaces should not be located in front yards. Residential parking spaces should be located in rear yards. Parking lots for commercial uses should be to the side or rear of commercial structures and have a minimum number of curb cuts. All parking spaces should be adequately screened from the street and sidewalk by landscaping. The scale of parking lots should be minimized and the visual sweep of pavement should be broken up by use of planted areas. The scale, level of light output and design of parking lot lighting should be compatible with the character of the district.

## (g) Public infrastructure:

- (1) The traditional pattern of public streets, curbs, boulevards and sidewalks in the area should be maintained. Distinctive features of public spaces in the area such as brick alleys, stone slab sidewalks, granite curbs and the early twentieth century lantern-style street lights should be preserved. The same style should be used when new street lights are installed. New street furniture such as benches, bus shelters, telephone booths, kiosks, sign standards, trash containers, planters and fences should be compatible with the character of the district.
- (2) Brick alleys and stone slab sidewalks generally should be maintained and repaired as necessary with original materials; asphalt and concrete patches should not be used. When concrete tile public sidewalks need to be replaced, new poured concrete sidewalks should be the same width as the existing sidewalks and should be scored in a two-foot square or 18-inch square pattern to resemble the old tiles; expansion joints should match the scoring. Handicap ramps should be installed on the inside of curbs as part of the poured concrete sidewalk; where there is granite curbing, a section should be lowered for the ramp.
- (3) Electric, telephone and cable TV lines should be placed underground or along alleys, and meters should be placed where inconspicuous.

(Ord. No. 17815, § 3(III), 4-2-91)

### E. FINDINGS:

1. On April 2, 1991, the most recent expansion of the Historic Hill Heritage Preservation

District was established under Ordinance No. 17815, § 3(II), reflecting today's boundaries. The Heritage Preservation Commission shall protect the architectural character of heritage preservation sites through review and approval or denial of applications for city permits for exterior work within designated heritage preservation sites §73.04.(4).

- 2. Sec. 74.65 (b) Massing and Height: The proposed new construction is similar in massing and volume to the adjacent residences and commercial buildings, compatible with other residences in the neighborhood, and generally conforms to the scale of existing adjacent structures. The proposed height is compatible with that of the neighboring houses, and consistent with the proposed design and roof style.
- 3. Sec. 74.65 (c) Rhythm and Directional Emphasis: The property is located on a corner, thus the structure will have two primary elevations. The block's rhythm of buildings to open space is maintained by the proposed structure. The vertical emphasis on the west elevation breaks up the massing and maintains the rhythm of the street.
- **4. Sec. 74.65 (d)** *Materials and Details: Siding and Trim:* The LP Smartside smooth siding *relates to the materials and details of existing nearby buildings.* The lap size is proposed to be 6". The siding should be a 4" lap in order to comply with the guidelines. The trim is proposed to be 4" for the windows, 6" for the outside corners, and 8" for the bays.
- **5. Sec. 74.65 (d)** *Materials and Detail: Roof.* The proposed Certainteed Landmark architectural asphalt shingles in black comply with the guidelines for new construction. The massing of the roof plane is broken up by articulations in the façade and a drop in the middle roof section.
- 6. Sec. 74.65 (e) (1) Building Elements: Roof. The gabled roof relates to the predominant roof shape of existing adjacent residential buildings. The roof vents and pipes are not placed on the front roof plane, thus complying with the guideline.
- 7. Sec. 74.65 (e) (2) Building Elements: Doors and Windows. The guidelines state "Wooden double-hung windows are traditional in the Historic Hill District and should be the first choice when selecting new windows." Weathershield Signature Series white, wood aluminum clad, double hung windows comply with the guideline. The applicant also proposes fixed windows for the transoms and west elevation basement level and casements for the east elevation egress windows in the basement level. No mutins are proposed. The windows maintain a vertical orientation, with a proportion of between 2:1 and 3:1. While the windows do not comply in material, they do comply in style and profile. While not specified, the double hung windows will need full frame, flush mount storms/screens with a simulated meeting rail.

The proposed. 7' steel doors with full glass comply with the guidelines in that *they look like* part of the building and are appropriately colored. A manufacturer specification for the doors was not provided and will need to be submitted to HPC staff.

8. Sec. 74.65 (e) (3) Building Elements: Porches and Decks. The proposed front porches generally relate to the porch treatment of existing adjacent structures and creates a transition from public to private space. The vertical elements supporting the porch roof are important. They should carry the visual as well as the actual weight of the porch roof. The visual vertically of the porch columns are carried through for the central two story porch all the way to grade, complying with the guideline. The proposed style and massing of the corner columns relate to adjacent porches. The depicted 2" by 2" wood railing in the project description is of a simple design that generally complies with the guideline.

Porch details of the flooring and treads and risers were not provided but should be wood tongue-and-groove with solid wood treads and risers.

- **9.** The rock-faced block foundation relates the traditional limestone foundation material often found in the district.
- **10. Sec. 74.65 (f) (1) Setback.** The proposed 5' 7' front setback is *sited at a distance not more than 5% out-of-line from the setback of existing adjacent buildings.* The 30' setback on the Laurel Avenue elevation generally aligns with the adjacent residential property.
- **11. Sec. 74.65 (f) (2)** *Landscaping.* The proposed concrete walks and 15' by 8' concrete patio on the south elevation will have a broom finish and maintains the *semipublic space* of the front yard. The segmental retaining wall at the west side of the garage was not detailed and will need to be submitted to HPC staff.
- **12. Sec. 74.65 (f) (3)** *Garages and Parking.* The detached garage is appropriately oriented toward the alley and clad in a smooth LP siding. The garage doors will be individual paneled steel doors which comply with the guidelines.
- **13.Sec. 74.65 (g)** The guideline that states, "electric, telephone and cable TV lines should be placed underground or along alleys, and meters should be placed where inconspicuous" should be followed when utilities are installed at the property. Air conditioning units are located at the rear of the property.
- **14.** The construction level plans submitted to the HPC for review at the public hearing incorporates revisions to features/elements identified in the findings and direction provided by the HPC at the pre-application review.
- **15.** The proposal to construct a two-and-one-half story, three unit row house on the lot of 617 Laurel Avenue will not adversely affect the Program for the Preservation and architectural control of the Historic Hill Heritage Preservation District (Leg. Code §73.06 (e)) so long as the conditions are met.

### F. STAFF RECOMMENDATION:

Based on the findings, staff recommends approval of the building permit application with the following conditions:

1. The LP Smartside smooth siding shall have an exposure no greater than 4" and trim

- boards no greater than 6".
- 2. The porch shall have a wood tongue-and-groove floor and all stairs shall have solid wood treads and risers.
- 3. All final materials, colors and details shall be submitted to the HPC and/or staff for final review and approval.
- 4. Any revisions to the approved plans shall be reviewed and approved by the HPC and/or staff.
- 5. The HPC stamped approved plans shall remain on site for the duration of the project.

### **G. ATTACHMENTS:**

- 1. HPC Design Review Application
- 2. Project Description
- 3. Plans





Saint Paul Heritage Preservation Commission Department of Planning and Economic Development 25 Fourth Street West, Suite 1400 Saint Paul, MN 55102 Phone: (651) 266-9078

## Heritage Preservation Commission Design Review Application

### **PROCESS**

This application must be completed in addition to required city permit applications for individually designated Heritage Preservation Sites and properties located within Heritage Preservation Districts.

Design review applications are reviewed and approved by either heritage preservation staff or the Heritage Preservation Commission (HPC) at a public hearing. HPC staff are authorized to approve work that complies with adopted design review guidelines and preservation programs, available at our website www.stpaul.gov/hpc, while the HPC reviews projects that are significant alterations, demolitions, additions, new construction or proposals that do not comply with HPC guidelines. The decision of whether a proposal may be reviewed and approved by HPC staff or must be reviewed by the HPC at a public hearing is made once a complete application is submitted.

The HPC public hearing schedule is viewable here:

 $\underline{https://www.stpaul.gov/departments/planning-economic-development/heritage-preservation/heritage-preservation-commission}$ 

A complete application consists of:

1) An application form

ApplyHPC@stpaul.gov

2) Required attachments that adequately describe the proposed work (see attached checklist)

An incomplete application will be put on hold and staff will contact you for additional information. If an application is incomplete for 30 days after it was received, it will be returned to the applicant.

Complete applications will be reviewed in the order they are received. Applications are not entered in queue to be reviewed until staff has determined them to be complete. Once reviewed, a Certificate of Approval will be issued along with any conditions for the proposed work. You will be notified by staff when the Certificate of Approval has been issued and a copy will be sent to the Department of Safety and Inspections (DSI) to complete the HPC process of obtaining the necessary permit(s).

1. CATEGORY		
Please check the category	that best describes the propos	ed work
☐ Repair/Rehabilitation ☐ Moving ☐ Demolition	☐ Sign/Awning ☐ Fence/Retaining Wall ☐ Other	<ul><li>■ New Construction/Addition/ Alteration</li><li>□ Pre-Application Review Only</li></ul>
2. PROJECT ADDRESS		
Street and number: 617	Laurel	Zip Code: 55104

3. APPLICANT INFORM	ATION	
Name of contact person:	an Hupp	
Company: Hupp Hold		
Street and number: 1043		lls Road
City: Eden Prairie	State: MN	Zin Code: 55347
Phone number: 952-334	1-2250 <sub>e-mail:</sub> awh	Zip Code: 55347
4. PROPERTY OWNER(S	i) INFORMATION (If dif	ferent from applicant)
Name: same		
Street and number:		
City:	State:	Zip Code:
Phone number:	e-mail:	
5. PROJECT ARCHITEC	T (If applicable)	
Contact person: Pete Ke	ely	
Company: Collage Ar	chitects	
Street and number: 705 R	aymond Ave #2	200
City: St Paul	State: MN	Zip Code: 55114
Phone number: (651) 472	2-0050 <sub>e-mail:</sub> pke	Zip Code: 55114 ely@collagearch.com
i affected existing exterior oors, siding, railings, steps, t	erior changes being propo features and changes to crim, roof, foundation or	osed for the property. Include descrip architectural details such as wind porches. Attach specifications for do uding color and material samples.
see attached		
		August 1110
otal Project Value: 900	0000	Attach additional sheets if necessary



## 7. ATTACHMENTS & DESIGN REVIEW CHECKLIST

Please refer to the following checklist section(s) that relate to your proposed scope of work and check next to the items that are attached to your application. Attach all checked items listed to this application or attach in an email to <a href="https://example.com/apply-pc/apply-

Staff may contact you for additional information or materials.

If your project or work type is not included in this checklist, please contact the staff by calling 651-266-9078 or sending an e-mail to <a href="mailto:applyhpc@stpaul.gov">applyhpc@stpaul.gov</a> for assistance on how to complete an application.

Applicant Submitted	Staff Received	<u>Date</u> Received	
			Destruction / Proving Pala Little 4
			Restoration /Repair/Rehabilitation  Three (3) copies of scaled and dimensioned plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections).
			Photographs of all features and areas affected by proposed work.
			If an existing architectural feature is being replaced, please provide detailed drawings of the existing feature.
			Historic photographs (if any) that inform the restoration/rehabilitation/repair work.
			Sign/Awning:
			Photographs of location of proposed signage on structure/property.
П	П		Photographs of structure and all exterior sides affected by proposed work.
			Three (3) copies of plans that note materials, dimensions, colors, and method of attachment.
			Section drawing showing point of installation, method of installation, awning profile and projection.
			Illumination plan.
			Photographs or elevation of the building showing location of proposed sign in relation to the building and, if applicable, other signage on the building.
			New Construction/Addition/Exterior Alteration:
<b>√</b>			Three (3) copies of construction level plans which note all materials, finishes, and dimensions on plan (2 copies will be forwarded to the Dept. of Safety and Inspections). Show how the addition(s) relates to the existing structure.
			Photographs of all features and areas affected by proposed work.
<b>√</b>			Site plan showing lot dimensions, location of any existing buildings, and proposed addition(s), elevation plans, section and detail drawings as necessary. All plans must be scaled and dimensioned.
			Digital copies of the plans and photos submitted on CD or USB.



Applicant Submitted	Staff Received	<u>Date</u> <u>Received</u>	
			Fencing/Retaining Wall:
<b>√</b>			A site plan showing the location of the fence/wall in relation to property lines and any structures with measurements.
			An elevation drawing or photo of the proposed fence/wall.
			Roofing:
			Sample or description of existing material(s).
$\checkmark$			Sample or specifications of proposed material(s).
$\checkmark$			Sample colors.
			Photographs of all exterior sides affected by the proposed work.
			Photographs of the building and roof showing existing conditions of roof, coping, flashing, affected masonry, parapet, siding, existing skylights, and/or dormers. Also include any other critical intersections where the roof meets the historic fabric, and sightline drawings when a change in slope or other potentially visible change is proposed.
			Heating, Ventilating, and Air Conditioning Equipment
$\checkmark$			Site plan showing location of condenser in relation to the building(s) and property lines.
			Photographs of the proposed location of any condensers or venting.
			Photographs demonstrating that the proposed unit is not visible from the street.
$\checkmark$			A screening plan if a condenser is in the side yard.
			Drawing or photograph demonstrating where and how conduit will be attached to the building.
			Window/Sash Replacement:
			Statement describing in detail why windows need replacement as well as a description of weatherization efforts and copy of window repair estimates.
			Existing window design and dimensions.
$\checkmark$			Proposed window design, dimensions, and manufacturer's specifications including shop drawings.
			Existing type of exterior storm windows.
$\checkmark$			Proposed style of exterior storm windows.
			Existing exterior window trim material.
$\checkmark$			Proposed exterior window trim material and style.
			Photographs of all exterior sides where window replacement is being proposed.
			Photographs of existing features/conditions which support window replacement proposal.



Applicant Submitted	<u>Staff</u> <u>Received</u>	<u>Date</u> <u>Received</u>	
			Other Items Requested by HPC Staff:
			for the Investment Tax Credits?  YES  NO
	must be su	a property bmitted by	nderstand that the Design Review Application is limited to the aforementioned work to 7. I further understand that any additional exterior work to be done under my ownership y application to the St. Paul Heritage Preservation Commission. Any unauthorized d to be removed.
			Alan Hupp Digitally signed by Alan Hupp Date: 2017.05.03 19:54:06-05'00' Date: 5/3/2017
	Typed nar	ne of app	licant: Alan Hupp
	Signature	of owner	Alan Hupp Date: 2017.05.03 19:54:36 -05'00' Date: 5/3/2017
,	Typed nan	ne of own	<sub>er:</sub> Alan Hupp

Send completed application with the necessary attachments to  $\underline{ApplyHPC@stpaul.gov}$  or to:

Saint Paul Heritage Preservation Commission Department of Planning and Economic Development 25 Fourth Street West, Suite 1400 Saint Paul, MN 55102

You may also click the button below to attach the completed application to an email that will go directly to  $\underline{ApplyHPC@stpaul.gov} \;. \; \textbf{Please attach supporting documents to the email} \; as \; well.$ 

Submit Application



FOR HPC O	FFICE USE ONLY
Address: 617 Laurel  Date received:  Date complete:	FILE NO
District:/Individual Site: Pivotal/Contributing/Non-contributing/New	Construction/Parcel
☐ Requires staff review	□ Requires Commission review
Supporting data: YES NO Complete application: YES NO The following condition(s) must be met in order for application to conform to preservation program:	Submitted:  3 Sets of Plans  15 Sets of Plans reduced to 8 ½" by 11" or 11" by 17"  Photographs CD of Plans (pdf) & Photos (jpg) City Permit Application Complete HPC Design Review application  Hearing Date set for:  HPC Staff Notes
It has been determined that the work to be performed pursuant to the application does not adversely affect the program for preservation and architectural control of the heritage preservation district or site (Ch.73.06).	
HPC staff approval	
Date	



### **Hupp Holdings LLC**

Heritage Preservation Commission New construction application submission Project Details May 3, 2017

### **Project Overview:**

Hupp Holdings LLC proposes a three-unit, row house development on a prime, undeveloped lot that it owns near the increasingly vibrant corner of Selby and Dale in St. Paul, MN. The proposed development is consistent with St. Paul's Comprehensive Plan while at the same time providing a valuable transition between the adjacent commercial and residential districts.

In addition, this project will (1) reinforce the growing vitality of the area Selby/Dale neighborhood node, (2) provide new housing options for young professionals and retiring seniors desiring to live in an urban environment, and (3) put a valuable asset back on the

tax roll after 50 years of dormancy.

This RM2 zoned site has been vacant since 1968. It is located in the Cathedral Hill neighborhood under the purview of the Summit-University District Council, which "supports quality housing that provides lifelong options for residents at all stages of their lives." The property sits squarely between commercial and residential properties within the Historic Hill Heritage Preservation overlay-zoning district.

As illustrated in the diagram to the right, the project is oriented towards, and takes its energy from, the commercial and multifamily neighbors to the north, west, and south. At the same time it provides an important visual and noise barrier separating the busy Dale corridor from residences to the east.

Selby Ave

Selby Ave

ACCIRCAN Hob

Minelessiph Merket Parking
Lot

Parking
Lot

Pergola
Apartment

Apartment

Lossed Ave

Lossed Ave

Lossed Ave

A-plex

As illustrated in the attached drawings, the overall design is urban residential. Each unit has its own distinct identity with a walk-up porch located in close proximity to adjacent sidewalk. In a nod to the commercial buildings to the north, each unit also has bays with flat roofs that blend with the main gable roof running north-south.

In preparing this request, we have had discussions and input from with Anthony Johnson - City Planner/PED; Christine Boulware and Allison Souhan - HPC; Sean Westenhofer, Tia Anderson and Jerome Benner - Zoning/DSI; representatives of the Summit-University District Council and Pete Keeley of Collage Architects.

**Windows**: WeatherShield Signature Series wood, aluminum clad, double hung windows with white trim color will be installed per call outs on elevation.

Roofing: CertainTeed Landmark black architectural shingles

### **Exterior doors:**

o Front and back: 7' steel door; red

o Garage: Clopay 25-gauge steel, 9'x7', 16 recessed panels, white

**Siding**: LP® SmartSide® 76 Series Smooth Fiber Lap Siding LP 5.84" reveal, dwelling and garage; Wausau Siding Systems finishes

Exterior paint: Sherwin William A-100 Acrylic Latex paint with following colors:

Building body - Smoky Ash (dark gray)

Bay - Light Gray

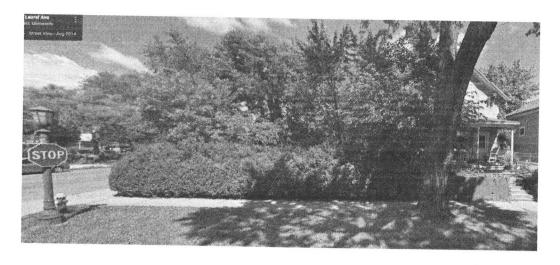
Trim - White

Walk ways: 3' wide from front steps to sidewalk; concrete

Porch Railings: 2" x 2" treated wood painted with white trim color and built per code.

### Photos:

View from the south



## View of site from the southwest



View of site from northwest





## CITY OF ST PAUL

Department of Safety and Inspections

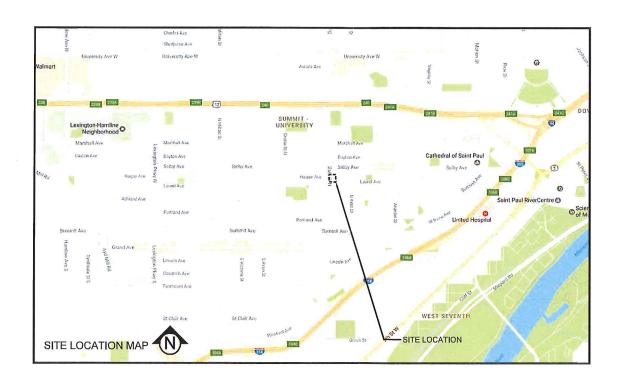
## GENERAL BUILDING PERMIT APPLICATION

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# LAUREL AVE AND DALE ST N

ST. PAUL, MINNESOTA

ISSUED FOR: HPC SUBMITTAL



### ARCHITECT

COLLAGE ARCHITECTS 705 RAYMON AVF #200

## **DEVELOPER / PROPERTY OWNER:**

### **ENGINEER / LANDSCAPE ARCHITECT:**

CIVIL SITE GROUP 4931 W 35TH STREET SUITE 200 ST LOUIS PARK, MN 55416

### SURVEYOR:

CLARK SURVEYING 12755 HWY 55 #1 00

### GEOTECHNICAL ENGINEER:

XXXXX

### MASTER LEGEND: EX. 1' CONTOUR ELEVATION INTERVAL PROPOSED MANHOLE STORM X 1137.12 EXISTING SPOT GRADE ELEVATION PROPOSED CATCH BASIN OR CATCH BASIN MANHOLE STORM 1.0' CONTOUR ELEVATION INTERVAL PROPOSED GATE VALVE SPOT GRADE ELEVATION (GUTTER/FLOW LINE PROPOSED FIRE HYDRANT PROPOSED MANHOLE SANITARY 891.00 G SPOT GRADE ELEVATION TOP OF CURB (GUTTER TOP) PROPOSED SIGN 891.00 TC SPOT GRADE ELEVATION TOP OF WALL 891.00 BS/TS SPOT GRADE ELEVATION BOTTOM OF WALL PROPOSED LIGHT PROPOSED SANITARY SEWER PROPOSED STORM SEWER EOF=1135,52 SILT FENCE / BIOROLL - GRADING LIMIT EXISTING SANITARY SEWER INLET PROTECTION EXISTING STORM SEWER EXISTING WATER MAIN STABILIZED CONSTRUCTION ENTRANCE EXISTING GAS MAIN EXISTING UNDERGROUND ELECTRIC SOIL BORING LOCATION EXISTING UNDERGROUND CABLE CURB AND GUTTER (T.O = TIP OUT) ○ EXISTING MANHOLE • EXISTING STOPBOX ☆ EXISTING LIGHT ▶ ≪ EXISTING GATE VALVE EXISTING GAS METER ☑ EXISTING ELECTRIC BOX 9 EXISTING GAS VALVE **STATE OF THE PROPERTY OF THE**

GOPHER STATE ONE CALL WWW.GOPHERSTATEONECALL.ORG (800) 252-1166 TOLL FREE



DAL AND AVE

ARCHITECT

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DATE 05/03/17 LICENSE NO. 44263

SHEET INDEX

SHEET NUMBER | SHEET TITLE

C0.0 TITLE SHEET

C0.1 SITE SURVEY

C2.0 SITE PLAN

C5 0 DETAILS

C5.1 DETAILS

C1.0 REMOVALS PLAN

C3.0 GRADING PLAN C4.0 UTILITY PLAN

L1.0 LANDSCAPE PLAN

SW1.2 SWPPP - DETAILS

SW1.3 SWPPP - NARRATIVE

SW1.4 SWPPP - ATTACHMENTS

SW1.5 SWPPP - ATTACHMENTS

L1.1 LANDSCAPE PLAN NOTES & DETAILS

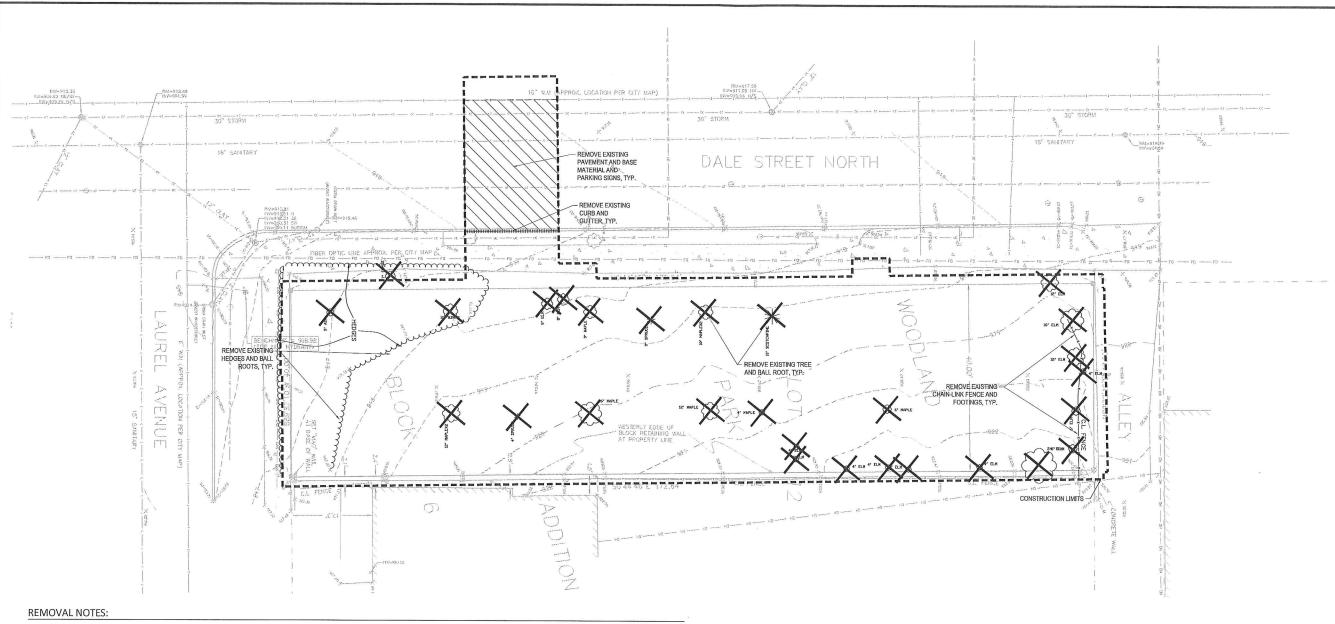
SW1.0 SWPPP - EXISTING CONDITIONS

ISSUE/SUBMITTAL SUMMARY DATE DESCRIPTION

TITLE SHEET

HAGUE AVENUE	ALLE AVENUES  LANGEL AVENUES  LANGEL AVENUES  LANGEL AVENUES	Correct field Surface    Control Field   Contr	Civil Site Group, Inc.  Sec. 1, Tup. 28, Rag. 23  Ramsay County, Minneaclo  Ramsay County, Minneaclo  ENGINEERING www.lank-cup.com
Table State Lightness Lindows	EXAMPLE AVENUES  Trans  Trans	Supervision, and that I am is also Licenses Land Surveyor under the Sacr of the State of Mencestals.  Consumer	DMARN BY Cody L DMCOCD BY Cody J DATE USEY 12, 2017 DATE 1, 2017 DATE

DATE	DESCRIPTION
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- 1. SEE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) PLAN FOR CONSTRUCTION STORM WATER MANAGEMENT PLAN.
- 2. REMOVAL OF MATERIALS NOTED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH MNDOT, STATE AND LOCAL REGULATIONS.
- 3. REMOVAL OF PRIVATE UTILITIES SHALL BE COORDINATED WITH UTILITY OWNER PRIOR TO CONSTRUCTION
- EXISTING PAVEMENTS SHALL BE SAWCUT IN LOCATIONS AS SHOWN ON THE DRAWINGS OR THE NEAREST JOINT FOR PROPOSED PAVEMENT CONNECTIONS.
- 5. REMOVED MATERIALS SHALL BE DISPOSED OF TO A LEGAL OFF-SITE LOCATION AND IN ACCORDANCE WITH 6. ABANDON, REMOVAL, CONNECTION, AND PROTECTION NOTES SHOWN ON THE DRAWINGS ARE
- APPROXIMATE. COORDINATE WITH PROPOSED PLANS. 7. EXISTING ON-SITE FEATURES NOT NOTED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT THE DURATION OF THE CONTRACT.
- PROPERTY LINES SHALL BE CONSIDERED GENERAL CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED ON THE DRAWINGS, WORK WITHIN THE GENERAL CONSTRUCTION LIMITS SHALL INCLUDE STAGING, DEMOLITION AND CLEAN-UP OPERATIONS AS WELL AS CONSTRUCTION SHOWN ON THE DRAWINGS.
- MINOR WORK OUTSIDE OF THE GENERAL CONSTRUCTION LIMITS SHALL BE ALLOWED AS SHOWN ON THE PLAN AND PER CITY REQUIREMENTS.
- DAMAGE BEYOND THE PROPERTY LIMITS CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED IN A MANNER APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT OR IN ACCORDANCE WITH THE CITY.
- 11. PROPOSED WORK (BUILDING AND CIVIL) SHALL NOT DISTURB EXISTING UTILITIES LINLESS OTHERWISE SHOWN ON THE DRAWINGS AND APPROVED BY THE CITY PRIOR TO CONSTRUCTION.
- 12. SITE SECURITY MAY BE NECESSARY AND PROVIDED IN A MANNER TO PROHIBIT VANDALISM, AND THEFT, DURING AND AFTER NORMAL WORK HOURS, THROUGHOUT THE DURATION OF THE CONTRACT, SECURITY MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY.
- 13. VEHICULAR ACCESS TO THE SITE SHALL BE MAINTAINED FOR DELIVERY AND INSPECTION ACCESS DURING NORMAL OPERATING HOURS. AT NO POINT THROUGHOUT THE DURATION OF THE CONTRACT SHALL CIRCULATION OF ADJACENT STREETS BE BLOCKED WITHOUT APPROVAL BY THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- 14. ALL TRAFFIC CONTROLS SHALL BE PROVIDED AND ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED, ALL PUBLIC STREETS SHALL REMAIN OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.

- 15. SHORING FOR BUILDING EXCAVATION MAY BE USED AT THE DISCRETION OF THE CONTRACTOR AND AS APPROVED BY THE OWNERS REPRESENTATIVE AND THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.
- 16. STAGING, DEMOLITION, AND CLEAN-UP AREAS SHALL BE WITHIN THE PROPERTY LIMITS AS SHOWN ON THE

CITY OF ST. PAUL REMOVAL NOTES:

1. RESERVED FOR CITY SPECIFIC REMOVAL NOTES.

**EROSION CONTROL NOTES** 

SEE SWPPP ON SHEETS SW1.0-SW1.3

REMOVALS LEGEND:

----- 1125 ----

EX. 1' CONTOUR ELEVATION INTERVAL



REMOVAL OF PAVEMENT AND ALL BASE MATERIAL. INCLUDING BIT., CONC., AND GRAVEL PVMTS. REMOVAL OF STRUCTURE INCLUDING ALL



TREE PROTECTION



TREE REMOVAL - INCLUDING ROOTS AND STUMPS





Matt Pavek 763-213-3944



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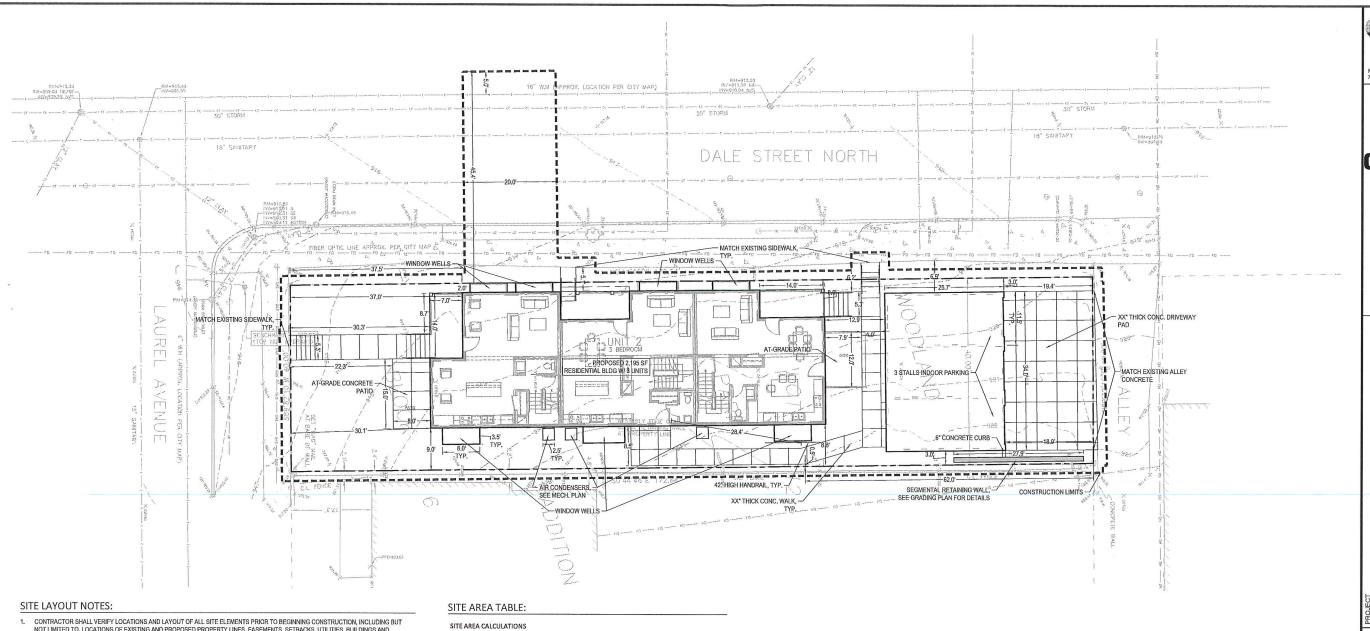
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HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE 05/03/17 LICENSE NO. 44263

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DATE	DESCRIPTION
05/03	HPC SUBMITTAL
	l
	REVISION SUMMARY
DATE	DESCRIPTION

REMOVALS PLAN



- CONTRACTOR SHALL VERIFY LOCATIONS AND LAYOUT OF ALL SITE ELEMENTS PRIOR TO BEGINNING CONSTRUCTION, INCLUDING BUT
  NOT LIMITED TO, LOCATIONS OF EXISTING AND PROPOSED PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, BUILDINGS AND
  PAVEMENTS. CONTRACTOR IS RESPONSIBLE FOR FINAL LOCATIONS OF ALL ELEMENTS FOR THE SITE. ANY REVISIONS REQUIRED AFTER COMMENCEMENT OF CONSTRUCTION, DUE TO LOCATIONAL ADJUSTMENTS SHALL BE CORRECTED AT NO ADDITIONAL COST TO OWNER, ADJUSTMENTS TO THE LAYOUT SHALL BE APPROVED BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF MATERIALS, STAKE LAYOUT FOR APPROVAL.
- 2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION, INCLUDING A RIGHT-OF-WAY AND STREET
- 3. THE CONTRACTOR SHALL VERIFY RECOMMENDATIONS NOTED IN THE GEO TECHNICAL REPORT PRIOR TO INSTALLATION OF SITE IMPROVEMENT MATERIALS.
- 4. CONTRACTOR SHALL FIELD VERIFY COORDINATES AND LOCATION DIMENSIONS OF THE BUILDING AND STAKE FOR REVIEW AND APPROVAL BY THE OWNERS REPRESENTATIVE PRIOR TO INSTALLATION OF FOOTING MATERIALS,
- 5. LOCATIONS OF STRUCTURES, ROADWAY PAVEMENTS, CURBS AND GUTTERS, BOLLARDS, AND WALKS ARE APPROXIMATE AND SHALL BE STAKED IN THE FIELD, PRIOR TO INSTALLATION, FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT,
- 6. CURB DIMENSIONS SHOWN ARE TO FACE OF CURB. BUILDING DIMENSIONS ARE TO FACE OF CONCRETE FOUNDATION, LOCATION OF
- 7. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR SAMPLES AS SPECIFIED FOR REVIEW AND APPROVAL BY THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR ALL PREFABRICATED SITE IMPROVEMENT MATERIALS SUCH AS, BUT NOT LIMITED TO THE FOLLOWING, FURNISHINGS, PAVEMENTS, WALLS, RAILINGS, BENCHES, FLAGPOLES, LANDING PADS FOR CURB RAMPS, AND LIGHT AND POLES, THE OWNER RESERVES THE RIGHT TO REJECT INSTALLED MATERIALS NOT PREVIOUSLY APPROVED.
- 8. PEDESTRIAN CURB RAMPS SHALL BE CONSTRUCTED WITH TRUNCATED DOME LANDING AREAS IN ACCORDANCE WITH A.D.A.
- 9. CROSSWALK STRIPING SHALL BE 24" WIDE WHITE PAINTED LINE. SPACED 48" ON CENTER PERPENDICULAR TO THE FLOW OF TRAFFIC. WIDTH OF CROSSWALK SHALL BE 5' WIDE. ALL OTHER PAVEMENT MARKINGS SHALL BE WHITE IN COLOR UNLESS OTHERWISE NOTED OR REQUIRED BY ADA OR LOCAL GOVERNING BODIES,
- 10. CURB AND GUTTER TYPE SHALL BE 8612 UNLESS OTHERWISE NOTED ON THE DRAWINGS-TAPER BETWEEN CURB TYPES-SEE DETAIL.
- 11. ALL CURB RADII ARE MINIMUM 3' UNLESS OTHERWISE NOTED.
- 12. CONTRACTOR SHALL REFER TO FINAL PLAT FOR LOT BOUNDARIES, NUMBERS, AREAS AND DIMENSIONS PRIOR TO SITE IMPROVEMENTS.
- 13. FIELD VERIFY ALL EXISTING SITE CONDITIONS, DIMENSIONS.
- 14. PARKING IS TO BE SET PARALLEL OR PERPENDICULAR TO EXISTING BUILDING UNLESS NOTED OTHERWISE.

BUILDING IS TO BUILDING FOUNDATION AND SHALL BE AS SHOWN ON THE DRAWINGS.

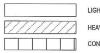
- 15. ALL PARKING LOT PAINT STRIPPING TO BE WHITE, 4" WIDE TYP
- 16. BITUMINOUS PAVING TO BE "LIGHT DUTY" UNLESS OTHERWISE NOTED. SEE DETAIL SHEETS FOR PAVEMENT SECTIONS.
- 17. ALL TREES THAT ARE TO REMAIN ARE TO BE PROTECTED FROM DAMAGE WITH A CONSTRUCTION FENCE AT THE DRIP LINE, SEE

SITE AREA CALCULATIONS				
	EXISTIN	IG	PROPOSED LO	Т
BUILDING COVERAGE	0 SF	0.0%	3,584 SF	51.9%
ALL PAVEMENTS	0 SF	0.0%	1,407 SF	20.4%
ALL NON-PAVEMENTS	6,905 SF	100.0%	1,914 SF	27.7%
TOTAL SITE AREA	6,905 SF	100.0%	6,905 SF	100.0%
IMPERVIOUS SURFACE				
EXISTING CONDITION	0 SF	0.0%		
PROPOSED CONDITION LOT 1	4,991 SF	72.3%	4,991 SF	72.3%
DIFFERENCE (EX. VS PROP.)	4,991 SF	72.3%		
IMPERVIOUS TOTAL	4,991 SF	72.3%		

### CITY OF ST. PAUL SITE SPECIFIC NOTES:

1. RESERVED FOR CITY SPECIFIC NOTES.





LIGHT DUTY BITUMINOUS PAVEMENT

HEAVY DUTY BITUMINOUS PAVEMENT CONCRETE PAVEMENT AS SPECIFIED (PAD OR WALK)



CONSTRUCTION LIMITS

CURB AND GUTTER-SEE NOTES (T.O.) TIP OUT GUTTER WHERE APPLICABLE-SEE PLAN



TRAFFIC DIRECTIONAL ARROWS



SIGN AND POST ASSEMBLY, SHOP DRAWINGS REQUIRED. HC = ACCESSIBLE SIGN NP = NO PARKING FIRE LANE

CP = COMPACT CAR PARKING ONLY





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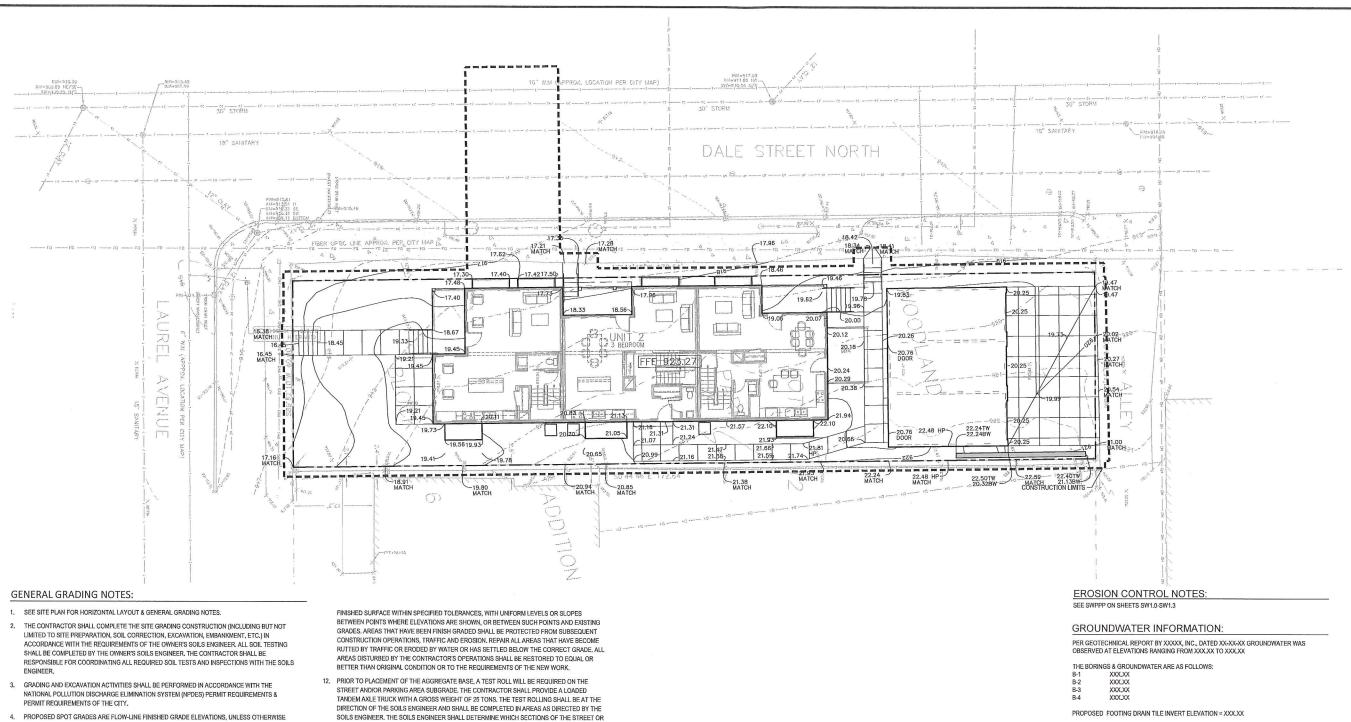
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SITE PLAN



- 5. GRADES OF WALKS SHALL BE INSTALLED WITH 5% MAX, LONGITUDINAL SLOPE AND 1% MIN, AND 2% MAX, CROSS SLOPE, UNLESS OTHERWISE NOTED.
- 6. PROPOSED SLOPES SHALL NOT EXCEED 3:1 UNLESS INDICATED OTHERWISE ON THE DRAWINGS. MAXIMUM SLOPES IN MAINTAINED AREAS IS 4:1
- 7. PROPOSED RETAINING WALLS, FREESTANDING WALLS, OR COMBINATION OF WALL TYPES GREATER THAN 4' IN HEIGHT SHALL BE DESIGNED AND ENGINEERED BY A REGISTERED RETAINING WALL ENGINEER. DESIGN DRAWINGS SHALL BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF GRADE STAKES THROUGHOUT THE DURATION OF CONSTRUCTION TO ESTABLISH PROPER GRADES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR A FINAL FIELD CHECK OF FINISHED GRADES ACCEPTABLE TO THE ENGINEER/LANDSCAPE ARCHITECT PRIOR TO TOPSOIL AND SODDING ACTIVITIES.
- 9. IF EXCESS OR SHORTAGE OF SOIL MATERIAL EXISTS, THE CONTRACTOR SHALL TRANSPORT ALL EXCESS SOIL MATERIAL OFF THE SITE TO AN AREA SELECTED BY THE CONTRACTOR OR IMPORT SUITABLE MATERIAL TO THE SITE.
- 10. EXCAVATE TOPSOIL FROM AREAS TO BE FURTHER EXCAVATED OR REGRADED AND STOCKPILE IN AREAS DESIGNATED ON THE SITE, THE CONTRACTOR SHALL SALVAGE ENOUGH TOPSOIL FOR RESPREADING ON THE SITE AS SPECIFIED. EXCESS TOPSOIL SHALL BE PLACED IN EMBANKMENT AREAS, OUTSIDE OF BUILDING PADS, ROADWAYS AND PARKING AREAS, THE CONTRACTOR SHALL SUBCUT CUT AREAS, WHERE TURF IS TO BE ESTABLISHED, TO A DEPTH OF 6 INCHES, RESPREAD TOPSOIL IN AREAS WHERE TURF IS TO BE ESTABLISHED TO A MINIMUM DEPTH OF 6 INCHES.
- 11. FINISHED GRADING SHALL BE COMPLETED. THE CONTRACTOR SHALL UNIFORMLY GRADE AREAS WITHIN LIMITS OF GRADING, INCLUDING ADJACENT TRANSITION AREAS. PROVIDE A SMOOTH

PARKING AREA ARE UNSTABLE, CORRECTION OF THE SUBGRADE SOILS SHALL BE COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOILS ENGINEER, NO TEST ROLL SHALL OCCUR WITHIN 10' OF ANY UNDERGROUND STORM RETENTION/DETENTION SYSTEMS.

### 13. TOLERANCES

- 13.1. THE BUILDING SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.30 FOOT ABOVE, OR 0.30 FOOT BELOW, THE PRESCRIBED ELEVATION AT ANY POINT WHERE MEASUREMENT IS MADE.
- 13.2. THE STREET OR PARKING AREA SUBGRADE FINISHED SURFACE ELEVATION SHALL NOT VARY BY MORE THAN 0.05 FOOT ABOVE, OR 0.10 FOOT BELOW, THE PRESCRIBED ELEVATION OF ANY POINT WHERE MEASUREMENT IS MADE.
- 13.3. AREAS WHICH ARE TO RECEIVE TOPSOIL SHALL BE GRADED TO WITHIN 0,30 FOOT ABOVE OR BELOW THE REQUIRED ELEVATION, UNLESS DIRECTED OTHERWISE BY THE ENGINEER.
- 13.4. TOPSOIL SHALL BE GRADED TO PLUS OR MINUS 1/2 INCH OF THE SPECIFIED THICKNESS.

### 14. MAINTENANCE

- 14.1. THE CONTRACTOR SHALL PROTECT NEWLY GRADED AREAS FROM TRAFFIC AND EROSION, AND KEEP AREA FREE OF TRASH AND DEBRIS.
- 14.2. CONTRACTOR SHALL REPAIR AND REESTABLISH GRADES IN SETTLED, ERODED AND RUTTED AREAS TO SPECIFIED TOLERANCES, DURING THE CONSTRUCTION, IF REQUIRED, AND DURING THE WARRANTY PERIOD, ERODED AREAS WHERE TURF IS TO BE ESTABLISHED SHALL BE RESEEDED AND MULCHED.
- 14.3. WHERE COMPLETED COMPACTED AREAS ARE DISTURBED BY SUBSEQUENT CONSTRUCTION OPERATIONS OR ADVERSE WEATHER CONTRACTOR SHALL SCARIFY SURFACE RESHAPE AND COMPACT TO REQUIRED DENSITY PRIOR TO FURTHER CONSTRUCTION

### CITY OF ST. PAUL GRADING NOTES:

1. RESERVED FOR CITY SPECIFIC GRADING NOTES.

### GRADING PLAN LEGEND:

EX. 1' CONTOUR ELEVATION INTERVAL 1.0' CONTOUR ELEVATION INTERVAL -1137 SPOT GRADE ELEVATION (GUTTER/FLOW LINE 41.26

891.00 G 891.00 TC SPOT GRADE ELEVATION GUTTER SPOT GRADE ELEVATION TOP OF CURB

891.00 BS/TS

CURB AND GUTTER (T.O = TIP OUT)

SPOT GRADE ELEVATION BOTTOM OF STAIRS/TOP OF STAIRS



EMERGENCY OVERFLOW





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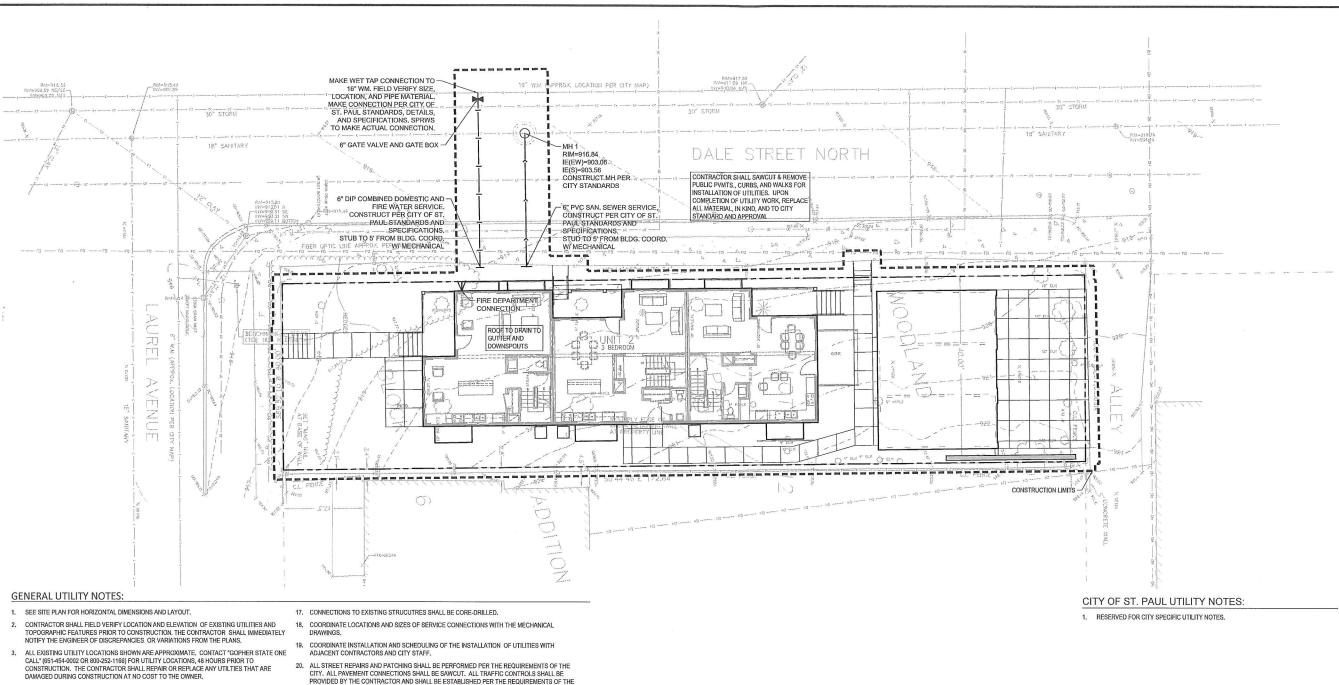
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**GRADING PLAN** 



- UTILITY INSTALLATION SHALL CONFORM TO THE CURRENT EDITION OF "STANDARD SPECIFICATIONS FOR WATER MAIN AND SERVICE LINE INSTALLATION" AND "SANITARY SEWER AND STORM SEWER INSTALLATION" AS PREPARED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), AND SHALL CONFORM WITH THE REQUIREMENTS OF THE CITY AND THE PROJECT SPECIFICATIONS.
- 5. CASTINGS SHALL BE SALVAGED FROM STRUCTURE REMOVALS AND RE-USED OR PLACED AT THE DIRECTION OF THE OWNER.
- 6. ALL WATER PIPE SHALL BE CLASS 52 DUCTILE IRON PIPE (DIP) UNLESS OTHERWISE NOTED.
- 8. ALL STORM SEWER PIPE SHALL BE HDPE UNLESS OTHERWISE NOTED.
- 9. PIPE LENGTHS SHOWN ARE FROM CENTER TO CENTER OF STRUCTURE OR TO END OF FLARED
- 10. UTILTIES ON THE PLAN ARE SHOWN TO WITHIN 5' OF THE BUILDING FOOTPRINT. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE FINAL CONNECTION TO BUILDING LINES, COORDINATE WITH ARCHITECTURAL AND MECHANICAL PLANS.
- 11. CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET, ALL CATCH
- 12. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND BACK OF CURB UNLESS OTHERWISE
- 13. HYDRANT TYPE, VALVE, AND CONNECTION SHALL BE IN ACCORDANCE WITH CITY REQUIREMENTS. HYDRANT EXTENSIONS ARE INCIDENTAL.
- 14. A MINIMUM OF 8 FEET OF COVER IS REQUIRED OVER ALL WATERMAIN, UNLESS OTHERWISE NOTED. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM OF 18" VERTICAL. SEPARATION TO SANITARY OR STORM SEWER LINES. EXTRA DEPTH WATERMAIN IS INCIDENTAL.
- 15. A MINIMUM OF 18 INCHES OF VERTICAL SEPARATION AND 10 FEET OF HORIZONTAL SEPARATION IS REQUIRED FOR ALL LITHLITIES, LINEESS OTHERWISE NOTED
- 16. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION.

- PROVIDED BY THE CONTROLS SHALL BE SAYUOT. ALL TRAFFIC CONTROLS SHALL BE PROVIDED BY THE CONTRACTOR AND SHALL BE ESTABLISHED PER THE REQUIREMENTS OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD) AND THE CITY. THIS SHALL INCLUDE BUT NOT BE LIMITED TO SIGNAGE, BARRICADES, FLASHERS, AND FLAGGERS AS NEEDED, ALL PUBLIC STREETS SHALL BE OPEN TO TRAFFIC AT ALL TIMES. NO ROAD CLOSURES SHALL BE PERMITTED WITHOUT APPROVAL BY THE CITY.
- 21. ALL STRUCTURES, PUBLIC AND PRIVATE, SHALL BE ADJUSTED TO PROPOSED GRADES WHERE REQUIRED. THE REQUIREMENTS OF ALL OWNERS MUST BE COMPLIED WITH. STRUCTURES BEING RESET TO PAVED AREAS MUST MEET OWNERS REQUIREMENTS FOR TRAFFIC LOADING.
- 22. CONTRACTOR SHALL CORDINATE ALL WORK WITH PRIVATE UTILITY COMPANIES.
- 7. ALL SANITARY SEWER SHALL BE SDR 26 POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED, 23. CONTRACTOR SHALL COORDINATE CONNECTION OF IRRIGATION SERVICE TO UTILITIES COORDINATE THE INSTALLATION OF IRRIGATION SLEEVES NECESSARY AS TO NOT IMPACT INSTALLATION OF UTILITIES.
  - CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
  - 25. ALL JOINTS AND CONNECTIONS IN STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, OR OTHER STRUCTURES.
- BASINS IN GUTTERS SHALL BE SUMPED 0.15 FEET PER DETAILS, RIM ELEVATIONS SHOWN ON THIS PLAN DO NOT REFLECT SUMPED ELEVATIONS. WATER SERVICE LINE MUST BE TESTED IN ACCORDANCE WITH MN RULES, CHAPTER 4714, SECTION 1109.0.

CATCH BASIN MANHOLE

UTILITY LEGEND:

WATER MAIN STORM SEWER



GATE VALVE AND VALVE BOX PROPOSED FIRE HYDRANT

FES AND RIP RAP UTILITY PLAN

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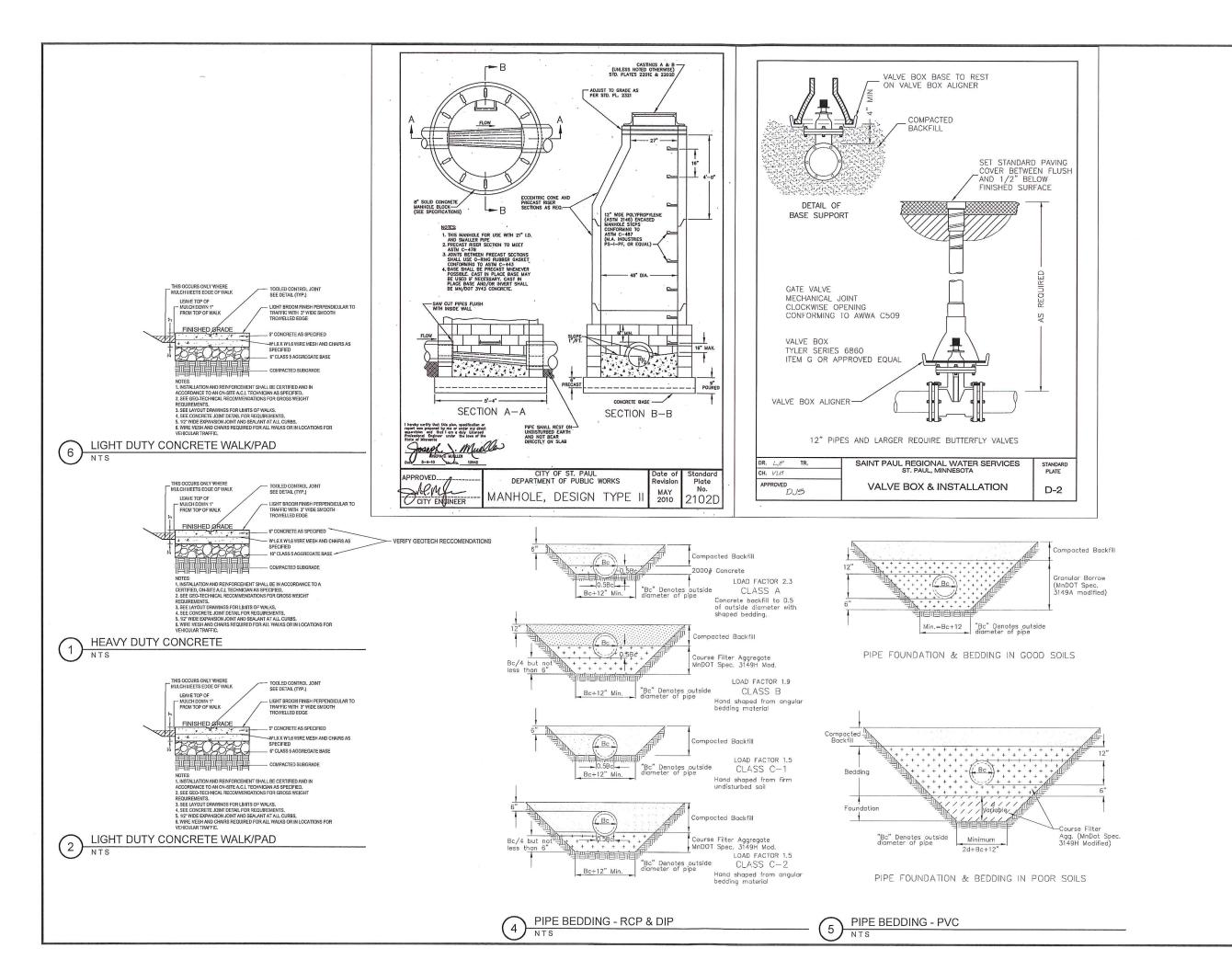
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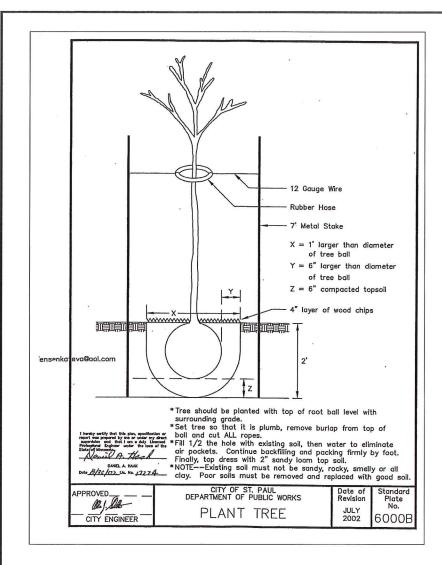
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COLLAGE ARCHITECTS
705 RAYMOND AVE #200, ST. PAUL, MN 55114

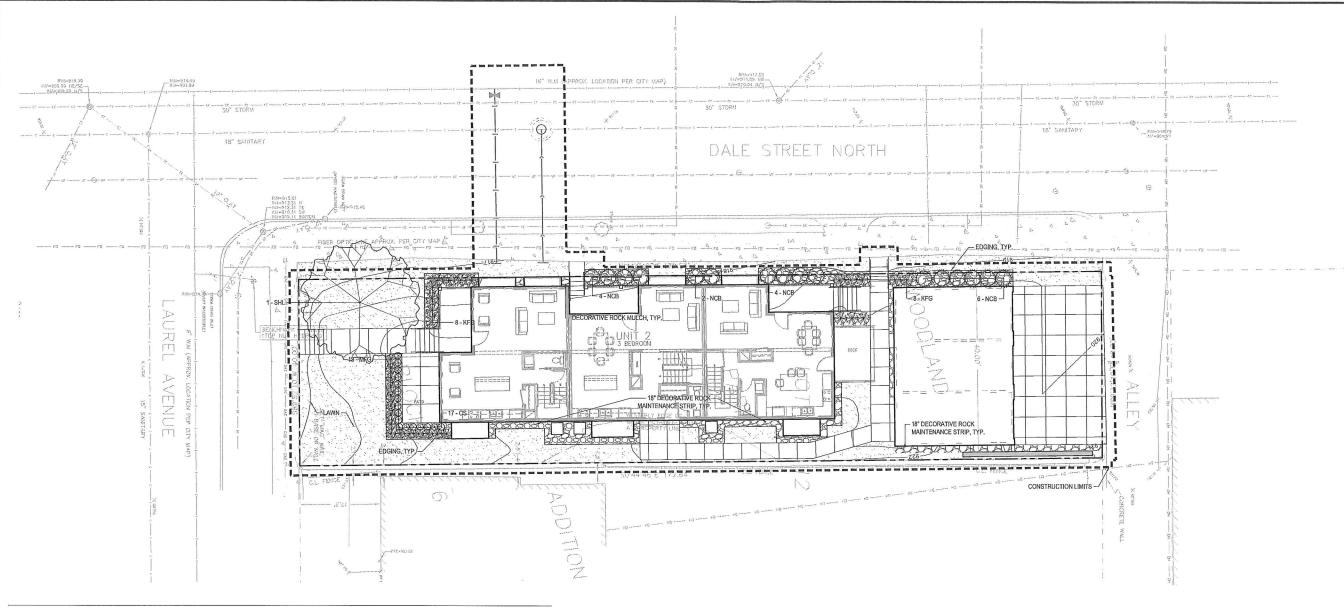
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CIVIL DETAILS



### PLANT SCHEDULE - ENTIRE SITE

SYM	QUANT.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	COMMENTS
		DECIDUOUS TREES				
SHL	1	SKYLINE HONEYLOCUST	Gleditsia triacanthos 'Skycole'	2.5" CAL.	B&B	STRAIGHT LEADER, FULL FORM
		SHRUBS - CONIFEROUS & EVERGREEN				
NCB	16	NORTHERN CHARM BOXWOOD	Buxus 'Wilson'	24" HT.	CONT.	
		PERENNIALS & GRASSES				
KFG	16	KARL FOERSTER GRASS	Calamagrostis x acutiflora "Karl Foerster"	#1	CONT.	
MFG	15	MEXICAN FEATHER GRASS	Stipa tenuissima 'Pony Tails'	#1	CONT.	
CS	17	CARADONNA SALVIA	Salvia x sylvestris 'Caradonna'	#1	CONT.	

### LANDSCAPE NOTES:

- ALL SHRUB BEDS SHALL BE MULCHED WITH 4" DEPTH OF DOUBLE DECORATIVE ROCK MULCH OVER WEED BARRIER, OWNER'S REP SHALL APPROVE MULCH SAMPLE PRIOR TO INSTALLATION, EDGING SHALL BE METAL EDGING OR APPROVED EQUAL.
- ALL TREES SHALL BE MULCHED WITH DECORATIVE ROCK MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF PLANTING BED, IF APPLICABLE. ALL MULCH SHALL BE KEPT WITHIN A MINIMUM OF 2' FROM TREE TRUNK.
- 3. PLANT MATERIALS SHALL CONFORM WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND SHALL BE OF HARDY STOCK, FREE FROM DISEASE, DAMAGE AND DISFIGURATION. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING PLUMPNESS OF PLANT MATERIAL FOR DURING OF ACCEPTANCE PERIOD.
- 4. UPON DISCOVERY OF A DISCREPANCY BETWEEN THE QUANTITY OF PLANTS SHOWN ON THE SCHEDULE AND THE QUANTITY SHOWN ON THE PLAN, THE PLAN SHALL GOVERN,
- 5. CONDITION OF VEGETATION SHALL BE MONITORED BY THE LANDSCAPE ARCHITECT THROUGHOUT THE DURATION OF THE CONTRACT, LANDSCAPE MATERIALS PART OF THE CONTRACT SHALL BE WARRANTED FOR ONE (1) FULL GROWING SEASONS FROM SUBSTANTIAL COMPLETION DATE.
- 6. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL RECEIVE 4" LAYER LOAM AND SOD AS SPECIFIED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- 7. COORDINATE LOCATION OF VEGETATION WITH UNDERGROUND AND OVERHEAD UTILITIES, LIGHTING FIXTURES, DOORS AND WINDOWS, CONTRACTOR SHALL STAKE IN THE FIELD FINAL LOCATION OF TREES AND SHRUBS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 8. ALL PLANT MATERIALS SHALL BE WATERED AND MAINTAINED UNTIL ACCEPTANCE.
- 9. REPAIR AT NO COST TO OWNER ALL DAMAGE RESULTING FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.
- 10. SWEEP AND MAINTAIN ALL PAVED SURFACES FREE OF DEBRIS GENERATED FROM LANDSCAPE CONTRACTOR'S ACTIVITIES.





SHREDDED HARDWOOD MULCH OVER FILTER FABRIC. SAMPLES REQUIRED SOD



PROPOSED CANOPY & EVERGREEN TREE SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



PROPOSED DECIDUOUS AND EVERGREEN SHRUB SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES



PROPOSED PERENNIAL PLANT SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES







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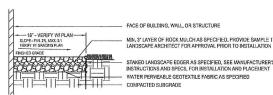
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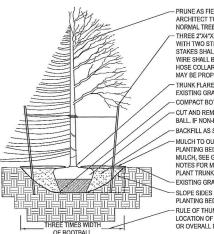
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LANDSCAPE PLAN



AGGREGATE MAINTANENCE STRIP



PRUNE AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT TO IMPROVE APPEARANCE (RETAIN NORMAL TREE SHAPE)

THREE 2"X4"X8' WOODEN STAKES, STAINED BROWN WITH TWO STRANDS OF WIRE TWISTED TOGETHER.
STAKES SHALL BE PLACED AT 120° TO ONE ANOTHER. WIRE SHALL BE THREADED THROUGH BLACK RUBBER HOSE COLLARS. ALTERNATE STABILIZING METHODS

TRUNK FLARE JUNCTION: PLANT TREE 1"-2" ABOVE

- COMPACT BOTTOM OF PIT, TYP.

- CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL. IF NON-BIODEGRADABLE, REMOVE COMPLETELY - BACKFILL AS SPECIFIED

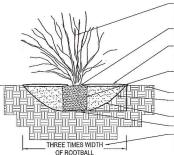
- MULCH TO OUTER EDGE OF SAUCER OR TO EDGE OF MULCH, SEE GENERAL LANDSCAPE NOTES AND PLAN NOTES FOR MULCH TYPE. KEEP MULCH MIN. 2" FROM PLANT TRUNK

- EXISTING GRADE

SLOPE SIDES OF HOLE OR VERTICAL SIDES AT EDGE OF PLANTING BED

RULE OF THUMB - MODIFY EXCAVATION BASED ON LOCATION OF PLANT MATERIAL AND DESIGN OF BEDS OR OVERALL PLANT PLACEMENT

DECIDUOUS & CONIFEROUS TREE PLANTING



PRUNE AS FIELD DIRECTED BY THE LANDSCAPE ARCHITECT TO IMPROVE APPEARANCE (RETAIN NORMAL SHAPE FOR SPECIES)

PLANT TOP OF ROOTBALL 1-2" ABOVE ABOVE SURROUNDING GRADE

- ROCK OR ORGANIC MULCH, SEE GENERAL LANDSCAPE NOTES AND PLAN NOTES FOR MULCH TYPE. KEEP MULCH MIN. 2" FROM PLANT TRUNK

- ROOTS AT OUTER EDGE OF ROOTBALL LOOSENED TO ENSURE PROPER BACKFILL-TO-ROOT CONTACT

— EXISTING GRADE — SLOPE SIDES OF HOLE OR VERTICAL SIDES AT EDGE OF PLANTING BED

BACKFILL AS PER SPECIFICATION DO NOT EXCAVATE BELOW ROOTBALL. RULE OF THUMB - MODIFY EXCAVATION BASED ON LOCATION OF PLANT MATERIAL AND DESIGN OF BEDS OR OVERALL PLANT PLACEMENT

DECIDUOUS & CONIFEROUS SHRUB PLANTING

SEE LANDSCAPE PLAN

PLANT TOP OF ROOTBALL 1-2" ABOVE ABOVE SURROUNDING GRADE

ROCK OR ORGANIC MULCH, SEE GENERAL LANDSCAPE NOTES AND PLAN NOTES FOR MULCH TYPE. KEEP MULCH MIN. 2" FROM PLANT STEM ROOTS AT OUTER EDGE OF ROOTBALL LOOSENED TO

ENSURE PROPER BACKFILL-TO-ROOT CONTACT EXISTING GRADE

- SLOPE SIDES OF HOLE OR VERTICAL SIDES AT EDGE OF PLANTING BED

BACKFILL AS PER SPECIFICATION

- DO NOT EXCAVATE BELOW ROOTBALL MODIFY EXCAVATION BASED ON LOCATION OF PLANT MATERIAL AND DESIGN OF BEDS OR OVERALL PLANT

PERENNIAL BED PLANTING

**IRRIGATION NOTES:** 

- ENTIRE SITE SHALL BE FULLY IRRIGATED. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SEE MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS FOR IRRIGATION WATER, METER, AND POWER
- 3. CONTRACTOR TO VERIFY LOCATION OF ALL UNDERGROUND/ABOVE GROUND FACILITIES PRIOR TO ANY EXCAVATION/INSTALLATION. ANY DAMAGE TO UNDERGROUND/ABOVE GROUND FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND COSTS ASSOCIATED WITH CORRECTING DAMAGES SHALL BE BORNE ENTIRELY BY THE CONTRACTOR
- 4. SERVICE EQUIPMENT AND INSTALLATION SHALL BE PER LOCAL UTILITY COMPANY STANDARDS AND SHALL BE PER NATIONAL AND LOCAL CODES. EXACT LOCATION OF SERVICE EQUIPMENT SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT OR EQUIVALENT AT THE JOB SITE.
- 5. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY COMPANY FOR THE PROPOSED ELECTRICAL SERVICE AND
- 6. IRRIGATION WATER LINE CONNECTION SIZE IS 1-1/2" AT BUILDING. VERIFY WITH MECHANICAL PLANS, COVAGE,
- ALL MAIN LINES SHALL BE 18" BELOW FINISHED GRADE.
- 8. ALL LATERAL LINES SHALL BE 12" BELLOW FINISHED GRADE.
- 9. ALL EXPOSED PVC RISERS, IF ANY, SHALL BE GRAY IN COLOR.
- 10. CONTRACTOR SHALL LAY ALL SLEEVES AND CONDUIT AT 2'-0" BELOW THE FINISHED GRADE OF THE TOP OF PAVEMENT. EXTEND SLEEVES TO 2'-0" BEYOND PAVEMENT.
- 11. CONTRACTOR SHALL MARK THE LOCATION OF ALL SLEEVES AND CONDUIT WITH THE SLEEVING MATERIAL "ELLED" TO 2'-0" ABOVE FINISHED GRADE AND CAPPED.
- FABRICATE ALL PIPE TO MANUFACTURE'S SPECIFICATIONS WITH CLEAN AND SQUARE CUT JOINTS. USE QUALITY GRADE PRIMER AND SOLVENT CEMENT FORMULATED FOR INTENDED TYPE OF CONNECTION.
- 13. BACKFILL ALL TRENCHES WITH SOIL FREE OF SHARP OBJECTS AND DEBRIS.
- 14. ALL VALVE BOXES AND COVERS SHALL BE BLACK IN COLOR.
- 15. GROUP VALVE BOXES TOGETHER FOR EASE WHEN SERVICE IS REQUIRED. LOCATE IN PLANT BED AREAS WHENEVER
- 16. IRRIGATION CONTROLLER LOCATION SHALL BE VERIFIED ON-SITE WITH OWNER'S REPRESENTATIVE
- 17. CONTROL WIRES: 14 GAUGE DIRECT BURIAL, SOLID COPPER IRRIGATION WIRE. RUN UNDER MAIN LINE, USE
  MOISTURE-PROOF SPLICES AND SPLICE ONLY AT VALVES OR PULL BOXES. RUN SEPARATE HOT AND COMMON WIRE TO EACH VALVE AND ONE (1) SPARE WIRE AND GROUND TO FURTHEST VALVE FROM CONTROLLER, LABEL OR COLOR CODE
- 18. AVOID OVER SPRAY ON BUILDINGS, PAVEMENT, WALLS AND ROADWAYS BY INDIVIDUALLY ADJUSTING RADIUS OR ARC ON SPRINKLER HEADS AND FLOW CONTROL ON AUTOMATIC VALVE.
- 19. ADJUST PRESSURE REGULATING VALVES FOR OPTIMUM PRESSURE ON SITE.
- 20. USE SCREENS ON ALL HEADS.
- 21. A SET OF AS-BUILT DRAWINGS SHALL BE MAINTAINED ON-SITE AT ALL TIMES IN AN UPDATED CONDITION.
- 22. ALL PIPE 3" AND OVER SHALL HAVE THRUST BLOCKING AT EACH TURN

**LEGEND** 

- 23. ALL AUTOMATIC REMOTE CONTROL VALVES WILL HAVE 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL UNDERNEATH VALVE AND VALVE BOX, GRAVEL SHALL EXTENT 3" BEYOND PERIMETER OF VALVE BOX,
- 24. THERE SHALL BE 3" MINIMUM SPACE BETWEEN BOTTOM OF VALVE BOX COVER AND TOP OF VALVE STRUCTURE.

R O U
4931 W, 35TH ST, SUITE 200
ST. LOUIS PARK, MN 55416
CivilSiteGroup.com 952-250-200

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DATE 05/03/17 LICENSE NO. 24904 ISSUE/SUBMITTAL SUMMARY

05/03 HPC SUBMITTAL

REVISION SUMMARY

PROPOSED DECIDUOUS AND EVERGREEN SHRUB
SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND
FLANTING SIZES DATE [DESCRIPTION

> SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES DECORATIVE BOULDERS, 18\*-30" DIA.

- PROPOSED PERENNIAL PLANT SYMBOLS - SEE

1" DIA. DECORATIVE ROCK MULCH OVER FILTER FABRIC,

SHREDDED HARDWOOD MULCH OVER FILTER FABRIC,

PROPOSED CANOPY & EVERGREEN TREE SYMBOLS - SEE SCHEDULE AND PLAN FOR SPECIES AND PLANTING SIZES

SAMPLES REQUIRED

SAMPLES REQUIRED

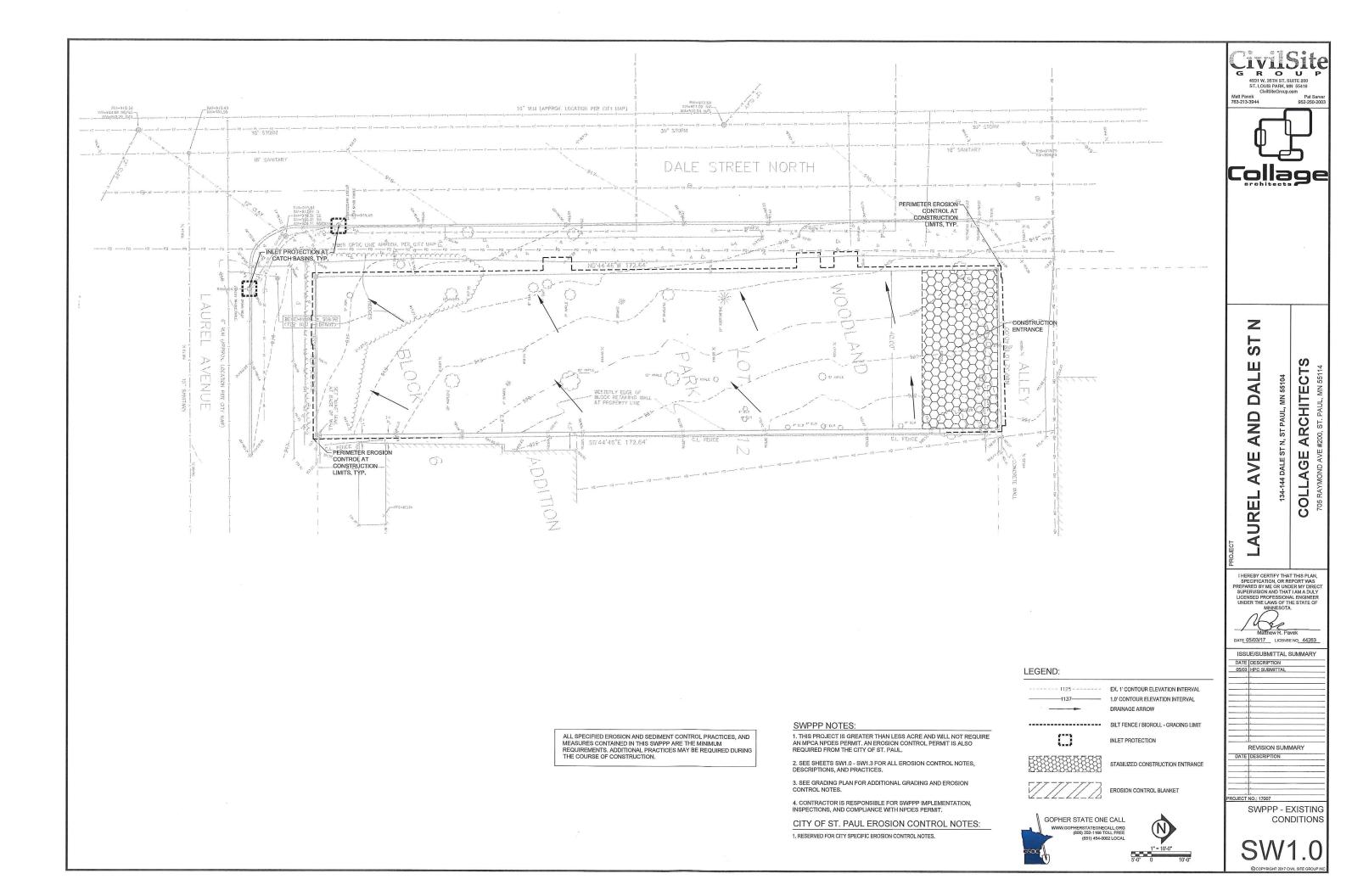
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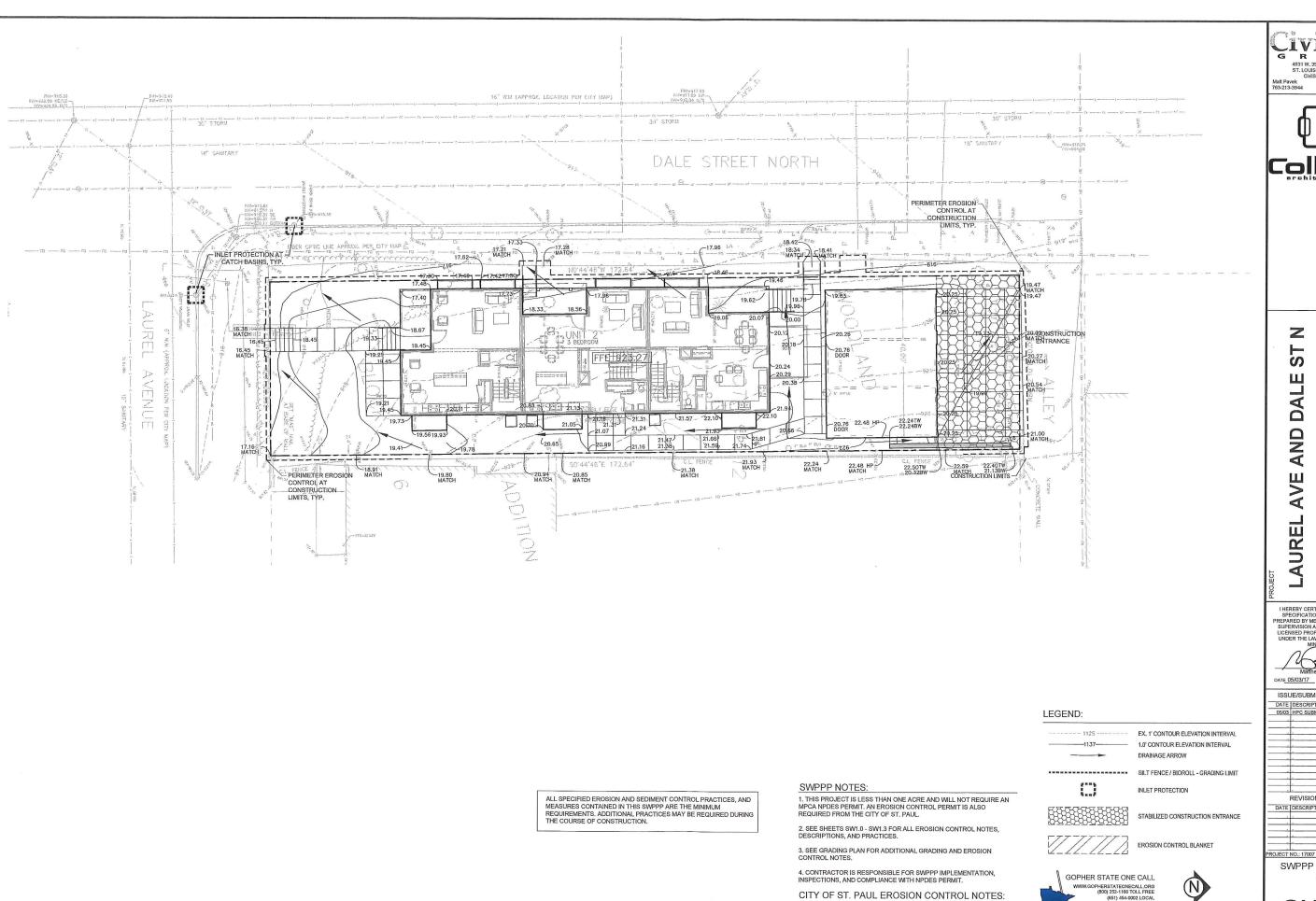
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NOTES & DETAILS

LANDSCAPE PLAN





1. RESERVED FOR CITY SPECIFIC EROSION CONTROL NOTES.

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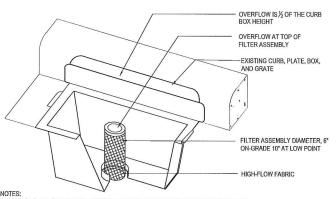
HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Matthew R. Pavek DATE 05/03/17 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY DATE DESCRIPTION 05/03 HPC SUBMITTAL

REVISION SUMMARY DATE DESCRIPTION

SWPPP - PROPOSED CONDITIONS

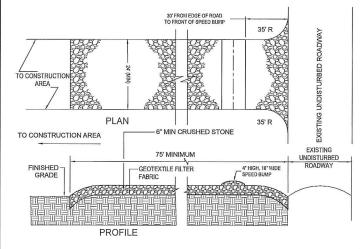


NOTED:

1. REPLACE INLET GRATE UPON COMPLETE INSTALLATION OF INLET PROTECTION FABRIC,
2. CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE SYSTEM AFTER EACH STORM EVENT AND AT THE COMPLETION OF THE CONTRACT

3. REFERENCE APPLE VALLEY STANDARD PLATE ERO-4C.

**CURB INLET FILTER** 



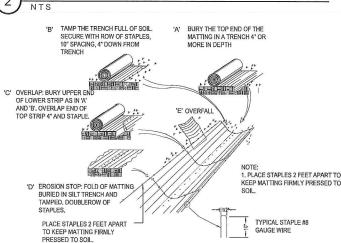
- PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND UNDISTURBED ROADWAY.
- COLUMNY:

  THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO UNDISTURBED ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE OR ADDING STONE TO THE LENGTH OF THE ENTRANCE.
- REPAIR AND CLEANOUT MEASURES USED TO TRAP SEDIMENT.
   ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO UNDISTURBED ROADWAY SHALL BE REMOVED AS DIRECTED BY THE ENGINEER.
- DIRECTED BY THE ENGINEER.

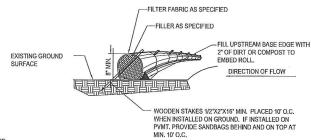
  5. FINAL LOCATION AND INSTALLATION SHALL BE COORDINATED WITH THE CITY PRIOR TO CONSTRUCTION ACTIVITIES.

  6. CRUSHED STONE SHALL BE 1-1/2" DIA. CLOSE GRADED, AND IN ACCORDANCE TO MINDOT SECTION 2118.





**EROSION BLANKET** 



- NOTE:

  1. COMPOST FILTER LOGS (BIO ROLLS) SHALL BE FILTREXX EROSION CONTROL SOXX OR APPROVED EQUAL.

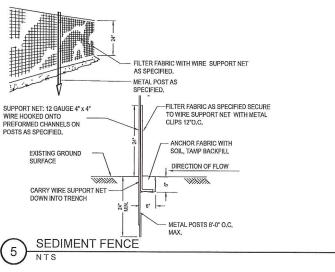
  2. COMPOST FILLER TO BE MADE FROM A COMPOST BLEND 30%-40% GRADE 2 (SPEC 3890) AND 60%-70%
  PARTIALLY BECOMPOSED WOOD CHIPS, PER MNDOT SPEC 3897.

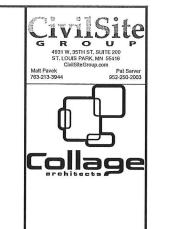
  3. FILTER FABRIC SHALL BE GEOTEXTILE KNITTED MATERIAL WITH MAX. OPENINGS OF 3/8\*.

- 4. IF MULTIPLE ROLLS NEEDED, OVERLAP BY MIN. 12" AT ENDS AND STAKE.

  5. SILT SHALL BE REMOVED ONCE IT REACHES 80% OF THE HEIGHT OF THE ROLL OR AS DEEMED NECESSARY BY SITE CONTRACTOR TO MAINTAIN PROPER FUNCTION.

SEDIMENT BIO-ROLL / COMPOST FILTER LOG





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I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIREC SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF Matthew R. Pavek

DATE 05/03/17 LICENSE NO. 44263

ISSUE/SUBMITTAL SUMMARY DATE DESCRIPTION 05/03 HPC SUBMITTAL REVISION SUMMARY DATE DESCRIPTION

JECT NO.: 17007 SWPPP - DETAILS

### GENERAL SWPPP REQUIREMENTS AND NOTES:

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED WITH A CONSTRUCTION ACTIVITY THAT DISTURBS SITE SOIL OR WHO IMPLEMENT A POLLUTANT CONTROL MEASURE IDENTIFIED
IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) MUST COMPLY WITH THE REQUIREMENTS OF THE MATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (IMPDES)
GENERAL PERMIT (DATED AUGUST 1, 2013 M NY MISON PAGES 153) AND NAY LOCAL COVERNING AGENCY HAVING JURISDICTION CONCERNING HEASING AND SHEWISTATION CONTROL

### PART III STORMWATER DISCHARGE DESIGN REQUIREMENTS

THE NATURE OF THIS PROJECT WILL BE CONSISTENT WITH WHAT IS REPRESENTED IN THIS SET OF CONSTRUCTION PLANS AND SPECIFICATIONS. SEE THE SWEED PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENTA: CONSTRUCTION SWPPP TEMPLATE) FOR ADDITIONAL SITE SPECIFIC SWPPP INFORMATION. THE PLANS SHOW LOCATIONS AND TYPES OF A TEMPORARY AND PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL BMPS. STANDARD DETAILS ARE ATTACHED TO THIS SWPPP DOCUMEN.

- THE INTERDED SEQUENCING OF MADUC CONSTRUCTION ROTIFYING STAS FOR I. INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE 2. INSTALLATION OF SILT FENCE AROUND SITE 3. INSTALL CARNICE CONSTRUCTION FENCING AROUND INFILTRATION AREAS, 4. CILEAR AND GRUB FOR TEMPORARY SEDIMENT BASIN / POND INSTALL 5. CONSTRUCT TEMPORARY SEDIMENT BASIN / POND (PART III.B) 6. CLEAR AND GRUB REMAINDER OF SITE

- STRIP AND STOCKPILE TOPSOIL ROUGH GRADING OF SITE
- 8. ROUGH GRADING OF SITE
  9. STABILIZE DENUDED AREAS AND STOCKPILES
  10. INSTALL SANITARY SEWER, WATER MAIN STORM SEWER AND SERVICES
  11. INSTALL SILT FENCE / INLET PROTECTION AROUND CB'S

- 12. INSTALL STREET SECTION
  13. INSTALL CURB AND GUTTER
  14. BITUMINOUS ON STREETS
  15. FINAL GRADE BOULEVARD, INSTALL SEED AND MULCH
  16. REMOVE ACCUMULATED SEDIMENT FROM BASIN / PON
- 7. FINAL GRADE POND / INFILTRATION BASINS (DO NOT COMPACT SOILS IN INFILTRATION AREAS.) (PART III.C)
- 8. WHEN ALL CONSTRUCTION ACTIVITY IS COMPLETE AND THE SITE IS STABILIZED BY EITHER SEED OR SODILANDSCAPING, REMOVE SILT FENCE AND RESEED ANY AREAS DISTURBED BY

### RECORDS RETENTION (PART III.F):

THE SWPPP (ORIGINAL OR COPIES) INCLUDING, ALL CHANGES TO IT, AND INSPECTIONS AND MAINTENANCE RECORDS MUST BE KEPT AT THE SITE DURING CONSTRUCTION BY THE PERMITTEE WHO HAS OPERATIONAL CONTROL OF THAT PORTION OF THE SITE. THE SWPPP CAN BE KEPT IN EITHER THE FIELD OFFICE OR IN AN ON SITE VEHICLE DURING NO

ALL OWNER(S) MUST KEEP THE SWPPP, ALONG WITH THE FOLLOWING ADDITIONAL RECORDS, ON FILE FOR THREE (3) YEARS AFTER SUBMITTAL OF THE NOT AS OUTLINED IN PART ILC.
THIS DOES NOT INCLUDE ANY RECORDS AFTER SUBMITTAL OF THE NOT.

- THER STORMWATER RELATED PERMITS REQUIRED FOR THE PROJECT:
- 3. RECORDS OF ALL INSPECTION AND MAINTENANCE CONDUCTED DURING CONSTRUCTION (SEE PART IV.E. INSPECTIONS AND MAINTENANCE);
  4. ALL PERMANENT OPERATION AND MAINTENANCE AGREEMENTS THAT HAVE BEEN IMPLEMENTED, INCLUDING ALL RIGHT OF WAY, CONTRACTS, COVENANTS AND OTHER BINDING
- EQUIREMENTS REGARDING PERPETUAL MAINTENANCE: AND
- 5. ALL REQUIRED CALCULATIONS FOR DESIGN OF THE TEMPORARY AND PERMANENT STORMWATER MANAGEMENT SYSTEMS.

### SWPPP IMPLEMENTATION RESPONSIBILITIES:

- 1. THE OWNER AND CONTRACTOR ARE PERMITTEE(S) AS IDENTIFIED BY THE NPDES PERMIT.
- 1. IH: UNINEM AND CONTRACTOR ARE PERMITTES(S) AS IDENTIFIED BY THE NPOES PERMIT.
  2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE IMPLEMENTATION OF THE SWIPP, INCLUDING THE ACTIVITIES OF ALL OF THE CONTRACTOR'S SUBCONTRACTOR'S.
  3. CONTRACTOR SHALL PROVIDE A PERSONIS) KNOWLEDGEABLE AND EXPERIENCED IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL BMPS TO OVERSEE ALL INSTALLATION AND MAINTENIANCE OF BMPS AND INFLEMENTATION OF THE SWIPP A.
  4. CONTRACTOR SHALL PROVIDE PERSONIS) MEETING THE TRAINING REQUIREMENTS OF THE KPOES PERMIT TO CONDUCT INSPECTION AND MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS IN ACCORDANCE WITH THE RECURSIVEMENTS OF THE PERMIT. ONE OF THE MODIFICAL SYSTEM OF A MAINTENANCE OF ALL EROSION PREVENTION AND SEDIMENT CONTROL BMPS IN ACCORDANCE WITH THE RECURSIVEMENTS OF THE PERMIT. ONE OF THE MODIFICAL SYSTEM OF A MAINTENANCE OF ALL EROSION PREVENTION WITHIN 27 HOURS UPON REQUEST BY MPCA. CONTRACTOR SHALL PROVIDE TRAINING DOCUMENTATION FOR THESE INDIVIDUAL(S) AS REQUIRED BY THE NIPES PERMIT. THIS TRAINING DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWIPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWIPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE BEEN DETERMINED. DOCUMENTATION SHALL BE RECORDED IN OR WITH THE SWIPPP BEFORE THE START OF CONSTRUCTION OR AS SOON AS THE PERSONNEL FOR THE PROJECT HAVE
- NAMES OF THE PERSONNEL ASSOCIATED WITH THE PROJECT THAT ARE REQUIRED TO BE TRAINED PER PART III.F.1 OF THE PERMIT. DATES OF TRAINING AND NAME OF INSTRUCTOR AND ENTITY PROVIDING TRAINING.
- CONTENT OF TRAINING COURSE OR WORKSHOP INCLUDING THE NUMBER OF HOURS OF TRAINING. 5. FOLLOWING FINAL STABILIZATION AND THE TERMINATION OF COVERAGE FOR THE NPDES PERMIT. THE OWNER IS EXPECTED TO FURNISH LONG TERM OPERATION AND

### MAINTENANCE (O & M) OF THE PERMANENT STORM WATER MANAGEMENT SYSTEM PART IV. CONSTRUCTION ACTIVITY REQUIREMENTS

### CONSTRUCTION ACTIVITY FIELD REQUIREMENTS:

- ONSTRUCTION ACTIVITY FIELD REQUIREMENTS:

  1. ALL FIELD REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NPDES PERMIT AND STORNIMATER POLLUTION PREVENTION PLAN (SWIPPP).

  2. THE CONTRACTOR MUST IMPLEMENT THE SWIPP AND PROVIDE BMPS IDENTIFIED IN THE SWIPPP IN AN APPROPRIATE AND FUNCTION MANNER.

  3. THE CONTRACTOR SHALL RESPOND TO CHANGING SITE CONDITIONS AND IMPLEMENTSUPPLEMENT EROSSION PREVENTION AND SEDIMENT CONTROL MEASURES UTILIZED TO PROVIDE ADEQUATE PROVIDED ONLY FEROMETRICHOR OF SEDIMENT TRANSPORT OFF-SITE, AT A MINIMUM, THE FOLLOWING STORMWATER POLLUTION PREVENTION CONSTRUCTION ACTIVITY FIELD REQUIREMENTS SHALL BE FURNISHED BY THE CONTRACTOR.

### EROSION PREVENTION (PART IV.B):

LINCOJONY FILLY WITHOUT (FIGHT) WITHOUT (FIGHT) WITHOUT WITHOU

ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT NO LATER THAN THE END OF THE NEXT WORK DAY WHEN EARTH-DISTURBING ACTIVITIES WILL CEASE FOR AT LEAST 14 DAYS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT SITE, CLAY OR GREATER, CLAY OR GREATER STOCKPILES, SAND STOCKPILES, AND THE CONSTRUCTED BASE COMPONENTS OF ROADS, PARKING LOTS AND SMILLAR SURFACES ARE EXEMPT FROM THIS REQUIREMENT BUT MUST COMPLY WITH PART W.C.S.

SOILS WITHIN 200 FEET OF A PUBLIC WATER (AS DESIGNATED BY THE MINNESOTA DNR) MUST BE STABILIZED WITHIN 24 HOURS DURING FISH SPAWNING TIMES

THE NORMAL WETTED PERIMETER OF ANY TEMPORARY OR PERMANENT DRAINAGE DITCH OR SWALE THAT DRAINS WATER FROM ANY PORTION OF THE CONSTRUCTION SITE OR DIVERTS WATER AROUND THE SITE, MUST BE STABILIZED WITHIN 200 LINEAL FEET FROM THE PROPERTY EDGE, OR FROM THE POINT OF DISCHARGE INTO ANY SURFACE WATER. STABIL OF THE LAST 200 LINEAL FEET MUST BE COMPLETED WITHIN 24 HOURS AFTER CONNECTING TO A SURFACE WATER.

STABILIZATION OF THE REMAINING PORTIONS OF ANY TEMPORARY OR PERMANENT DITCHES OR SWALES MUST BE COMPLETE WITHIN 14 DAYS AFTER CONNECTING TO A SURFACE WATER AND CONSTRUCTION IN THAT PORTION OF THE DITCH HAS TEMPORARILY OR PERMANENTLY CEASED.

TEMPORARY OR PERMANENT DITCHES OR SWALES THAT ARE BEING USED AS A SEDIMENT CONTAINMENT SYSTEM (WITH PROPERLY DESIGNED ROCK DITCH CHECKS, BIO ROLLS, SILT DIKES ETC.) DO NOT NEED TO BE STABILIZED, THESE AREAS MUST BE STABILIZED WITHIN 24 HOURS AFTER NO LONGER BEING USED AS A SEDIMENT CONTAINMENT SYSTEM.

### PIPE OUTLETS MUST BE PROVIDED WITH TEMPORARY OR PERMANENT ENERGY DISSIPATION WITHIN 24 HOURS AFTER CONNECTION TO A SURFACE WATER

ALL SEED MIXES AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MINDOT SEEDING MANUAL

SEED NOTES (PART III A 4 A):

GENERAL RECOMMENDATIONS; IMMEDIATELY BEFORE SEEDING THE SOIL SHALL BE TILLED TO A MINIMUM DEPTH OF 3 INCHES,

### TEMPORARY EROSION CONTROL SEEDING, MULCHING & BLANKET.

TEMPORARY SEED SHALL BE MNDOT SEED MIX 21-112 (WINTER WHEAT COVER CROP) FOR WINTER AND 21-111 (OATS COVER CROP) FOR SPRING/SUMMER APPLICATIONS, BOTH SEED

IMMEDIATELY AFTER SEEDING, WITHIN 24 HOURS, MNDOT TYPE 1 MULCH SHOULD BE APPLIED TO PROTECT AND ENHANCE SEED GERMINATION, MULCH SHALL BE APPLIED AT 90% COVERAGE (2 TONS PER ACRE OF STRAW MULCH)

3:1 (HORIZ/VERT.) OR FLATTER MIJCH SHALL BE COVERED WITH MULCH

- SLOPES STEEPER THAN 3:1 OR DITCH BOTTOMS SHALL BE COVERED WITH EROSION CONTROL BLANKET. SEE PLAN FOR MORE DETAILED DITCH AND STEEP SLOPE EROSION CONTROL TREATMENTS.

### SEDIMENT CONTROL (PART IV.C):

- SEDIMENT CONTROL PRACTICES MUST MINIMIZE SEDIMENT FROM ENTERING SURFACE WATERS, INCLUDING CURB AND GUTTER SYSTEMS AND STORM SEWER INLETS. a. TEMPORARY OR PERMANENT DRAINAGE DITCHES AND SEDIMENT BASINS THAT ARE DESIGNED AS PART OF A SEDIMENT CONTAINMENT SYSTEM (E.G., DITCHES WITH ROCK CHECK DAMS) REQUIRE SEDIMENT CONTROL PRACTICES ONLY AS APPROPRIATE FOR SITE CONDITIONS.
- b. IF THE DOWN GRADIENT TREATMENT SYSTEM IS OVERLOADED, ADDITIONAL UPGRADIENT SCOTTED, PRACTICES OR REDUNDANT BMPS MUST BE INSTALLED TO
- ELIMINATE THE OVERLOADING, AND THE SWPPP MUST BE AMENDED TO IDENTIFY THESE ADDITIONAL PRACTICES AS REQUIRED IN PART III.A.4, A. THROUGH C.

  6. IN ORDER TO MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES, THERE SHALL BE NO UNBROKEN SLOPE LENGTH OF GREATER THAN 75 FEET FOR SLOPES WITH A

SEDIMENT CONTROL PRACTICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UPGRADIENT LAND DISTURBING ACTIVITIES BEGIN. THESE PRACTICES SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED IN ACCORDANCE WITH PART IV.G.

THE TIMING OF THE INSTALLATION OF SEDIMENT CONTROL PRACTICES MAY BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING OR GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT-TERM MCTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL PRACTICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED. HOWEVER, SEDIMENT CONTROL PRACTICES MUST BE INSTALLED BEFORE THE NEXT PRECIPITATION EVEN IF THE ACTIVITY IS NOT COMPLETE.

ALL STORM DRAIN INLETS MUST BE PROTECTED BY APPROPRIATE BMPS DURING CONSTRUCTION UNTIL ALL SOURCES WITH POTENTIAL FOR DISCHARGING TO THE INLET HAVE BEEN STABILIZED. INLET PROTECTION MAY BE REMOVED FOR A PARTICULAR INLET IF A SPECIFIC SAFETY CONCERN (STREET FLOCOING/FREEZING) HAS BEEN IDENTIFIED AND THE PRIMITTER(S) HAVE RECEIVED WRITTEN CORRESPONDENCE FROM THE JURISDICTIONAL AUTHORITY (E.G. CITYCOUNTY/TOWNSHIPMINDOT ENGINEER) VERTIFYING THE MEDICAL OF REMOVAL. THE WRITTEN CORRESPONDENCE CAN NOT BE 

TEMPORARY SOIL STOCKPILES MUST HAVE SILT FENCE OR OTHER EFFECTIVE SEDIMENT CONTROLS, AND CANNOT BE PLACED IN SURFACE WATERS, INCLUDING STORMWATER CONVEYANCES SUCH AS CURB AND GUTTER SYSTEMS, OR CONDUITS AND DITCHES UNLESS THERE IS A BYPASS IN PLACE FOR THE STORMWATER.

VEHICLE TRACKING OF SEDIMENT FROM THE CONSTRUCTION SITE (OR ONTO STREETS WITHIN THE SITE) MUST BE MINIMIZED BY BMIPS SUCH AS STONE PADS, CONCRETE OR STEEL WASH RACKS, OR EQUIVALENT SYSTEMS. STREET SWEEPING MUST BE USED IF SUCH BMIPS ARE NOT ADEQUATE TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE STREET

THE PERMITEE MUST MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL. MINIMIZING SOIL COMPACTION IS NOT REQUIRED WHERE THE FUNCTION OF TH SPECIFIC AREA OF THE SITE DICTATES THAT IT BE COMPACTED. METHODS FOR MINIMIZING COMPACTION INCLUDE THE USE OF TRACKED EQUIPMENT, AND STAYING OFF OF AREAS TO BE LEFT UN-COMPACTED. METHODS TO PRESERVE TOPSOIL INCLUDE STRIPPING AND STOCKPILING TOPSOIL PRIOR TO GRADING OR EXCAVATION OPERATIONS.

THE PERMITTEE MUST INSTALL TEMPORARY SEDIMENTATION BASINS AS REQUIRED IN PART III.B. OF THIS PERMIT.

### DEWATERING AND BASIN DRAINING (PART IV.D):

DEWATERING OR BASIN DRAINING (E.G., PUMPED DISCHARGES, TRENCHIDITCH CUTS FOR DRAINAGE) RELATED TO THE CONSTRUCTION ACTIVITY THAT MAY HAVE TURRID OR SEDIMENT DEVIALENCE OF THE COLOUR. THE DISCHARGES, HERCHOLD CUTS OF USED THE COLOUR COLOUR CONSTRUCTION ACTIVITY I HAVE VIGED ON SEDIMENT. 
LIDEN DISCHARGE WATER MUST BE DISCHARGED TO A TEMPORATE OF REPROADER'S ESCIMENTATION ASSIN ON THE PRODUCT SITE WHENEVER POSSIBLE. IT THE WATER CANNOT BE 
DISCHARGED TO A SEDIMENTATION ASSIN PRIOR TO SETTING THE SURFACE WATER, IT MUST BE HEATED WITH THE APPROPRIATE BEINFS SUCH THE WATER CANNOT BE 
DISCHARGED TO A SEDIMENTATION ASSINTS FROM INDIVIDENT OF THE PRODUCT OF

FILTER BACKWASH WATERS MUST BE HAULED AWAY FOR DISPOSAL, RETURNED TO THE BEGINNING OF THE TREATMENT PROCESS, OR INCORPORATE INTO THE SITE IN A MANNER THAT DOES NOT CAUSE EROSION. DISCHARGE OF THE BACKWASH WATER TO SANITARY SEVIER IS ALLOWED WITH PERMISSION OF THE SANITARY SEVIER AUTHORITY.

### INSPECTIONS AND MAINTENANCE (PART IV.E):

THE CONTRACTOR IS RESPONSIBLE AT ALL TIMES FOR THE MAINTENANCE AND PROPER OPERATION OF EROSION AND SEDIMENT CONTROL FACILITIES, THE CONTRACTOR SHALL AT A MINIMUM, INSPECT, MAINTAIN AND REPAIR ALL DISTURBED SURFACES AND ALL EROSION AND SEDIMENT CONTROL FACILITIES AND SOIL STABILIZATION MEASURES CONCE EVERY SEVEN (7) DAYS DURING A CITIVE CONSTRUCTION AND WITHIN 24 HOURS FOLLOWING A RAINFALL OF 0.5 INCHES OR GREATER AND WITHIN 7 DAYS AFTER THAT. CONTINUE INSPECTION ACTIVITIES UNTIL LAND-DISTURBING ACTIVITY HAS CEASED. THEREAFTER THE CONTRACTOR SHALL PERFORM THESE RESPONSIBILITIES AT LEAST YEERLY UNTIL VEGETATIVE COVER IS ESTABLISHED, INSPECTIONS MUST INCLUDE STABILIZED AREAS, EROSION PREVENTION AND SEDIMENT CONTROL BMP'S AND INFILTRATION AREAS

BASED ON INSPECTION RESULTS THE CONTRACTOR MAY MODIFY THE SIVPPP IN ORDER TO PREVENT POLLUTANTS FROM LEAVING THE SITE VIA STORM WATER RUNOFF. THIS MODIFICATION MUST BE MADE WITHIN 7 CALENDAR DAYS OF THE INSPECTION UNLESS OTHERWISE REQUIRED BY THE TERMS OF THE PERMIT, LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

INSPECTION REPORTS MUST BE RECORDED WITHIN 24 HOURS IN WRITING AND KEPT ON FILE BY THE CONTRACTOR AS AN INTEGRAL PART OF THE SWPPP ON SITE AND THEN FOR AT

ALL PERIMETER CONTROL DEVICES MUST BE REPAIRED, REPLACED OR SUPPLEMENTED WHEN THEY BECOME NONFUNCTIONAL OR THE SEDIMENT REACHES 1/2 OF THE HEIGHT OF THE DEVICE, THESE REPAIRS MUST BE MADE BY THE END OF THE NEXT BUSINESS DAY AFTER DISCOVERY, OR THEREAFTER AS SOON AS FIELD CONDITIONS ALLOW A

REMOVE ALL DELTAS AND SEDIMENT DEPOSITED IN SURFACE WATERS, INCLUDING DRAINAGE WAYS, CATCH BASINS, AND OTHER DRAINAGE SYSTEMS, AND RESTABILIZE THE AREAS WHERE SEDIMENT REMOVAL RESULTS IN EXPOSED TOPSOIL. THIS REMOVAL AND STABILIZATION MUST TAKE PLACE WITHIN 7 DAYS OF DISCOVERY UNLESS PRECLUDED BY LEGAL, REGULATORY, OR PHYSICAL ACCESS CONSTRAINTS.

SEE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) FOR SITE SPECIFIC INSPECTIONS AND MAINTENANCE REQUIREMENTS.

### POLLUTION PREVENTION MANAGEMENT (PART IV.F):

THE CONTRACTOR SHALL IMPLEMENT THE FOLLOWING POLLUTION PREVENTION MANAGEMENT MEASURES ON THE SITE:

SOLID WASTE: COLLECTED SEDIMENT, ASPHALT AND CONCRETE MILLINGS, FLOATING DEBRIS, PAPER, PLASTIC, FABRIC, CONSTRUCTION AND DEMOLITION DEBRIS AND OTHER WASTES MUST BE DISPOSED OF PROPERLY AND MUST COMPLY WITH MINNESOTA POLLUTION CONTROL AGENCY (MPCA) DISPOSAL REQUIREMENTS.

HAZARDOUS MATERIALS: OIL, GASOLINE, PAINT AND ANY HAZARDOUS SUBSTANCES MUST BE PROPERLY STORED, INCLUDING SECONDARY CONTAINMENT. TO PREVENT SPILLS LEAKS OF OTHER DISCHARGE, RESTRICTED ACCESS TO STORAGE AREAS MUST BE PROVIDED TO PREVENT VANDALISM, STORAGE AND DISPOSAL OF HAZARDOUS WASTE MUST BE IN COMPLIANCE

EXTERNAL WASHING OF TRUCKS AND OTHER CONSTRUCTION VEHICLES MUST BE LIMITED TO A DEFINED AREA OF THE SITE, RUNOFF MUST BE CONTAINED AND WASTEWATER PROPERLY DISPOSED OF, NO ENGINE DEGRESSING IS ALLOWED ON SITE.

CONCRETE WASHOUT: ALL LIQUID AND SOLID WASTES GENERATED BY CONCRETE WASHOUT OPERATIONS MUST BE CONTAINED IN A LEAK PROOF CONTAINMENT FACILITY OR IMPERMEABLE LINER. A COMPACTED CLAY LINER THAT DOES NOT ALLOW WASHOUT LIQUIDS TO ENTER THE GROUND IS CONSIDERED AN IMPERMEABLE LINER. THE LIQUID AND SO WASTES MUST BY ON CONTACT THE GROUND, AND THERE MUST NOT BE RUNOFF FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISTORTED AND CONTROL FROM THE CONCRETE WASHOUT OPERATIONS OR AREAS. LIQUID AND SOLID WASTES MUST BE DISTORTED AND CONTROL FACILITY TO INFORM CONCRETE COUPMENT OPERATOR. UTILIZE THE PROPER FACILITIES. CONCRETE WASHOUT MAY ALSO OCCUR OFF SITE ACCORDING TO THE APPROPRIATE REGULATIONS

FUELING OPERATION PLAN: ALL FUELING SHALL TAKE PLACE AT THE DESIGNATED FUELING LOCATION AND ACCORDING TO BEST PRACTICES FOR SITE FUEL ING OPERATIONS AS TO

SPILL PREVENTION PLAY: ALL SPILLS SHALL BE IMMEDIATELY CLEANED UP AFTER DISCOVERY. THE SITE SUPERINTENDENT, WHO IS RESPONSIBLE FOR DAY-TO-DAY OF CONSTRUCTION OPERATIONS WILL BE THE SPILL PREVENTION COORDINATOR AND WILL BE RESPONSIBLE FOR IMPLEMENTING CLEAN UP PROCEDURES, POSTING CLEAR RECOMMENDATIONS, AND ENSURING PROPER CLEAR UP TRAINING OF APPROPRIATE PERSONNEL.

SANITARY AND SEPTIC WASTE: SANITARY/SEPTIC FACILITIES SHALL BE PROVIDED AND MAINTAINED IN A NEAT AND SANITARY CONDITION. FOR THE USE OF THE CONTRACTOR'S EMPLOYEES, A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY STATE REGULATIONS WILL COLLECT SANITARY WASTE FROM PORTABLE UNITS

### FINAL STABILIZATION (PART IV.G):

THE CONTRACTOR MUST ENSURE FINAL STABILIZATION OF THE SITE ACCORDING THE DEFINITIONS IN THE NPDES GENERAL PERMIT PART IV SECTION G. THE CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION (NO.T.) WITHIN 30 DAYS AFTER FINAL STABILIZATION IS OWN/FET OR NITHIN 70 DAYS AFTER ELLING THE SITE OF PORTION OF THE SITE (THAT HAS NOT UNDERGONE FINAL STABILIZATION) TO ANOTICE OF TERMINATION PERMIT MODIFICATION FORM MUST GO TO THE NEW OWNER. THE ORIGINAL CURRENT OWNER MUST PROVIDE A SYMPPE TO HEND WOMEN FINAL STABILIZATION ACTIVITY, SEE THE SWPPP PLAN SHEETS AND SWPPP NARRATIVE (ATTACHMENT A: CONSTRUCTION SWPPP TEMPLATE) AND SWPPP PLAN SHEETS FOR FINAL STABILIZATION MEASURES

### TRAINING (PART III.A.2)

DESIGN ENGINEER: MATTHEW R. PAVEK P.E. TRAINING COURSE: DESIGN OF SWPPP TRAINING ENTITY: UNIVERSITY OF MINNESOTA TRUCTOR: JOHN CHAPMAN DATES OF TRAINING COURSE: 5/15/2011 - 5/16/2011

TOTAL TRAINING HOURS: 12 RE-CERTIFICATION: 03/16/2017 (8 HOURS), EXP. 05/31/2020

## OWNER INFORMATION

XXXX

CONTACT

### AREAS AND QUANTITIES (PART III,A,4,B&C):

### SITE AREA CALCULATIONS EXISTING PROPOSED LOT BUILDING COVERAGE 0 SF 0.0% 3.584 SF 51.9% **ALL PAVEMENTS** 0 SF 0.0% 1,407 SF 20.4% ALL NON-PAVEMENTS 6,905 SF 100.0% 1,914 SF TOTAL SITE AREA 6,905 SF 100.0% 6.905 SF 100.0% IMPERVIOUS SURFACE EXISTING CONDITION 0 SF 0 0% PROPOSED CONDITION LOT 1 4,991 SF 72.3% 4,991 SF 72.3% DIFFERENCE (EX. VS PROP.) 4,991 SF 72.3% IMPERVIOUS TOTAL 4,991 SF 72.3%

### **EROSION CONTROL QUANTITIES**

8,756 SF
329 LF
0 SF
2 EA

NOTE: QUANTITIES ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL DETERMINE FOR THEMSELVES THE EXACT QUANTITIES FOR BIDDING AND CONSTRUCTION.

### SWPPP CONTACT PERSON

CONTRACTOR:

SWPPP INSPECTOR TRAINING: ALL SWPPP INSPECTIONS MUST BE PERFORMED BY A PERSON THAT MEETS THE TRAINING REQUIREMENTS OF THE NPDES CONSTRUCTION SITE PERMIT. TRAINING CREDENTIALS SHALL BE PROVIDED BY THE CONTRACTOR AND KEPT ON SITE WITH THE SWPP

### PARTY RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF PERMANENT STORM WATER MANAGEMENT SYSTEM

PERMANENT STORMWATER MANAGEMENT IS NOT REQUIRED AS PART OF THIS PROJECT TO MEET NPDES PERMIT REQUIREMENTS. THE PROPERTY OWNER IS RESPONSIBLE FOR THE LONG TERM OPERATION AND MAINTENANCE OF THE PROPOSED STORMWATER SYSTE SWPPP ATTACHMENTS (ONLY APPLICABLE IF SITE IS 1 ACRE OR GREATER):

CONTRACTOR SHALL OBTAIN A COPY OF THE FOLLOWING SWPPP ATTACHMENTS WHICH ARE A PART OF THE OVERALL SWPPP PACKAGE: ATTACHMENT A. CONSTRUCTION SWPPP TEMPLATE - SITE SPECIFIC SWPPP DOCUMENT ATTACHMENT B. CONSTRUCTION STORMWATER INSPECTION CHECKLIST ATTACHMENT B. CONSTRUCTION STORMWATER INSPECTION CHECKLIST ATTACHMENT C., MAINTENANCE PLAN FOR PERMANENT STORM WATER TREATMENT SYSTEMS ATTACHMENT D. STORMWATER MANAGEMENT REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER. AVAILABLE UPON REQUEST, ATTACHMENT E: GEOTECHNICAL EVALUATION REPORT - ON FILE AT THE OFFICE OF PROJECT ENGINEER. AVAILABLE UPON REQUEST,

### SUPPLEMENTARY SITE SPECIFIC EROSION CONTROL NOTES: THESE NOTES SUPERCEDE ANY GENERAL SWPPP NOTES.

THIS PROJECT IS LESS THAN 1.0 ACRES SO AN NPDES PERMIT IS NOT REQUIRED AND DOES NOT NEED TO BE SUBMITTED TO THE MPCA. THE

PROJECT IS A REDEVELOPMENT OF AN EXISTING EMPTY LOT TO A RESIDENTIAL BUILDING WITH LANDSCAPING AND SITE IMPROVEMENTS.

SPECIAL TMDL BMP REQUIREMENTS SITE SPECIFIC (IF REQUIRED):

- DURING CONSTRUCTION:

  A. STABILIZATION OF ALL EXPOSED SOIL AREAS MUST BE INITIATED IMMEDIATELY TO LIMIT SOIL EROSION BUT IN NO CASE COMPLETED

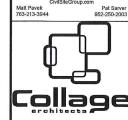
  LATER THAN SEVEN (7) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY
- TEMPORARY SEDIMENT BASIN REQUIREMENTS DESCRIBED IN PART III.C, MUST BE USED FOR COMMON DRAINAGE LOCATIONS THAT RVE AN AREA WITH FIVE (5) OR MORE ACRES DISTURBED AT ONE TIME. 2. POST CONSTRUCTION:THE WATER QUALITY YOLUME THAT MUST BE RETAINED ON SITE BY THE PROJECTS PERMANENT STORMWATER MANAGEMENT SYSTEM DESCRIBED IN PART III.D. SHALL BE ONE (1) INCH OF RUNOFF FROM THE NEW IMPERVIOUS SURFACES CREATED BY TIP PROJECT. SEE PART III.D.1. FOR MORE INFORMATION ON INFILITATION DESIGN, PROHIBITIONS AND APPROPRIATE CONDITIONS.

### PERMANENT STABILIZATION NOTES SITE SPECIFIC:

### PERMANENT SEED MIX

- FOR THIS PROJECT ALL AREAS THAT ARE NOT TO BE SODDED OR LANDSCAPED SHALL RECEIVE A NATIVE PERMANENT SEED MIX AREAS IN BUFFERS AND ADJACENT TO OR IN WET AREAS MNDOT SEED MIX 33-261 (STORMWATER SOUTH AND WEST) AT 35 LBS PER
- DRY AREAS MNDOT SEED MIX 35-221 (DRY PRAIRIE GENERAL) AT 40 LBS PER ACRE.
- MAINTENANCE SHALL BE IN ACCORDANCE TO THE MINDOT SEEDING MAI

Matt Pavek 63-213-394



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I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION, OR REPORT WAS PARED BY ME OR UNDER MY DIRE UPERVISION AND THAT I AM A DUL ICENSED PROFESSIONAL ENGINEER JNDER THE LAWS OF THE STATE OF

Matthew R. Pavek DATE 05/03/17 LICENSE NO. 44263

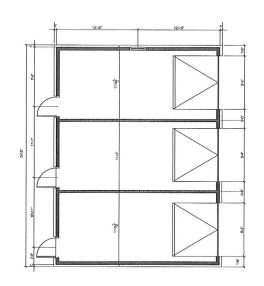
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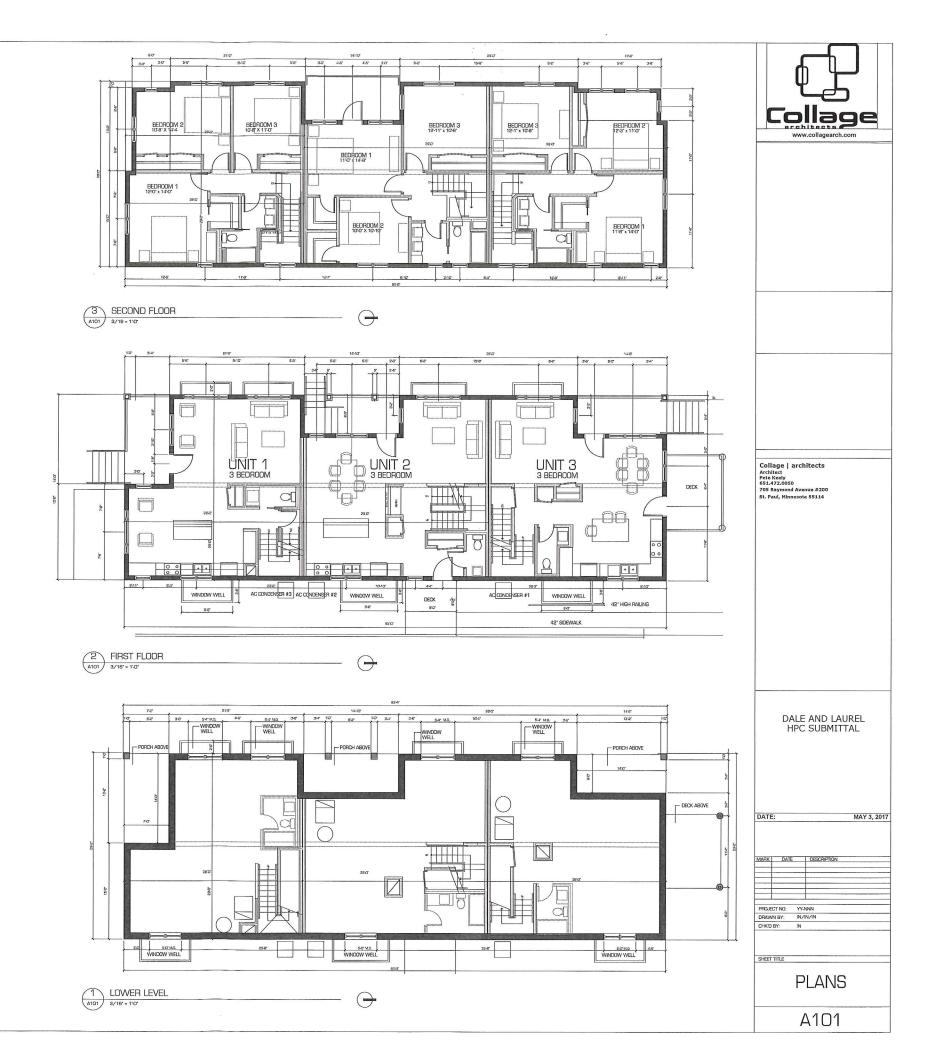
REVISION SUMMARY DATE DESCRIPTION

DJECT NO.: 17007

SWPPP - NARRATIVE



4 GARAGE PLAN
3/16' = 1'.0'

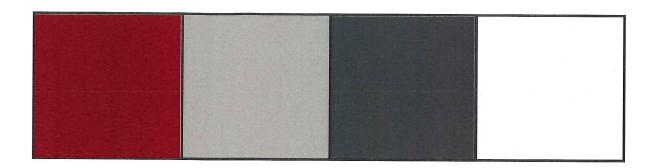






## DALE & LAUREL

St. Paul, MN 05.03.2017







**WEST ELEVATION** 

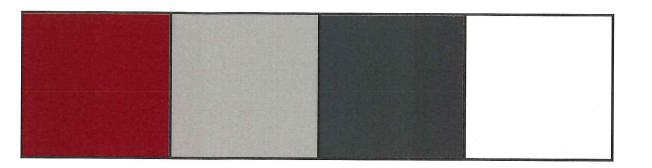
**WEST ELEVATION** 

**SOUTH ELEVATION** 



## DALE & LAUREL

St. Paul, MN 05.03.2017





**NORTH ELEVATION** 

**EAST ELEVATION** 

**NORTH ELEVATION** 

