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# FORD SITE

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A 21<sup>st</sup> Century Community

Ford Site Zoning and  
Public Realm Master Plan

**DRAFT IN PROCESS (4-12-2017)**  
**Undergoing revisions in preparation for  
Planning Commission review**

Adoption Date:



May 25, 2017

Ford Task  
Force  
Meeting

# Agenda

- 6:00 Welcome and meeting agenda
- 6:35 DRAFT Plan review and adoption schedule
- 6:40 Ford Task Force recommendation process
- 6:45 Review May 1<sup>st</sup> Task Force key discussion points and draft recommendation language
- 7:00 Review remainder of Draft Zoning and Public Realm Plan and discuss recommendations
- 8:30 Summarize agreed upon items, identify next steps for memo preparation, and designate spokespeople for public hearings
- 9:00 Adjourn

A map showing the Ford Site Planning area. The map features a grid of streets including Highland, Cretin, Ford, and St. Paul. A large green area is highlighted, representing the site. A yellow area is also highlighted to the east of the green area. A blue area is highlighted at the bottom of the green area. The Mississippi River is shown on the left side of the map. The text "Ford Site Planning Task Force meeting 1" is overlaid in large blue letters.

# Ford Site Planning Task Force meeting 1

**February 5, 2007**

**UAW-Ford-MNSCU Training Center**

# Ford Task Force



## Ford Task Force today

1. William Klein, Co-Chair
2. Kyle Makarios, Co-Chair
3. Tony Schertler, Co-Chair
4. Peter Armstrong
5. James Bricher
6. Ronnie Brooks
7. Rob Cory
8. David Drach
9. Charles Hathaway
10. Deborah Karasov
11. Angela Kline
12. Gary Marx
13. Jim Reinitz
14. Morgan Tamsky
15. Bruce Valen
16. Ellen Watters
17. Pamela Wheelock

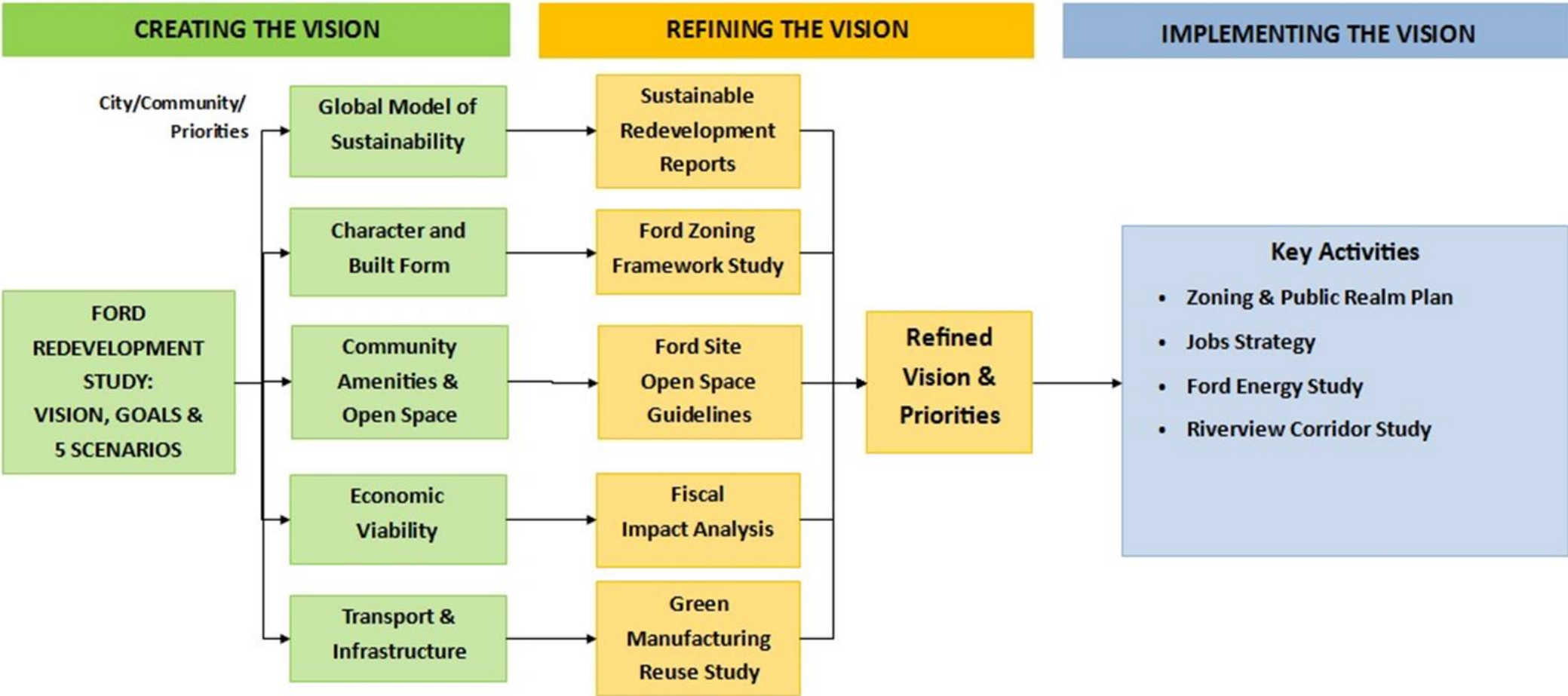
- 125 people applied to be on Ford Task Force
- 25 people appointed in January 2007
- Task Force has met 39 times over 10+ years!



## Former Task Force members

1. Stephanie Warne
2. Matthew Schuerger
3. Richard Broderick
4. Terri Dooher Fleming
5. Jay Gardner
6. Shawn Bartsh
7. Lance Neckar
8. Carol Faricy

## Saint Paul Ford Site



# A Decade of Public Engagement

- Ford Task Force initiated Jan. 2007
- 55+ meetings with the public and task force
- 1,300+ different people have attended a meeting(s)
- 100+ articles in print, radio and television media
- 3,793 subscribers to the Ford project news email list
- 80+ presentations to business, civic, non-profit groups
- 18 small group meetings in March – April 2017



# Steps to City Adoption



PROPOSED PLAN	MAY	JUNE	JULY	AUG	SEPT
Ford Task Force					
Planning Commission					
City Council					

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	Ford Task Force meeting	May 1 - Meeting 1 of 2 to prepare recommendations for the Planning Commission May 25 - Meeting 2 of 2 on above
	Public Hearing	June 30 - Public Hearing TENTATIVE - Sept 6 City Council
	Plan Materials Publicly Available	Materials released 1 week prior to each Planning Commission and committee mtg May 12 - Packet with draft sent to Planning Commission Mid-August - Packet of plan sent to City Council
	Planning Commission	June 2 - Planning Commission Release DRAFT for Review and Staff Presentation June 30 - Public Hearing July 11 - Comprehensive Planning Committee (packet sent July 4) July 28 - Recommendation vote at Planning Commission (packet sent July 21)
	City Council	August 7 - Draft released for City Council hearing August 16 - CC 1st Reading August 23 - CC 2nd Reading September 6 - CC Public Hearing September 13 - CC vote

# Arriving at a Recommendation

1. Review DRAFT plan by topic areas
2. Topic A
  - Identify range of opinion
  - Note concurrence and difference
  - Note key reasons for the opinions
3. Topic B (repeat above)...



# Recommendation Outline

1. Memo from Task Force to Planning Commission  
(update when it goes to City Council)
2. Identify priority items
3. Identify areas of concurrence and provide explanation
4. Identify areas of difference and provide explanation

# Plan Review by Task Force

## May 1 meeting

- Transportation Network
- Parks and Open Space

## May 25 meeting

- Stormwater Network
- Zoning Districts
- Building Standards
- Other Ford Standards?

Task Force memo to Planning Commission and City Council

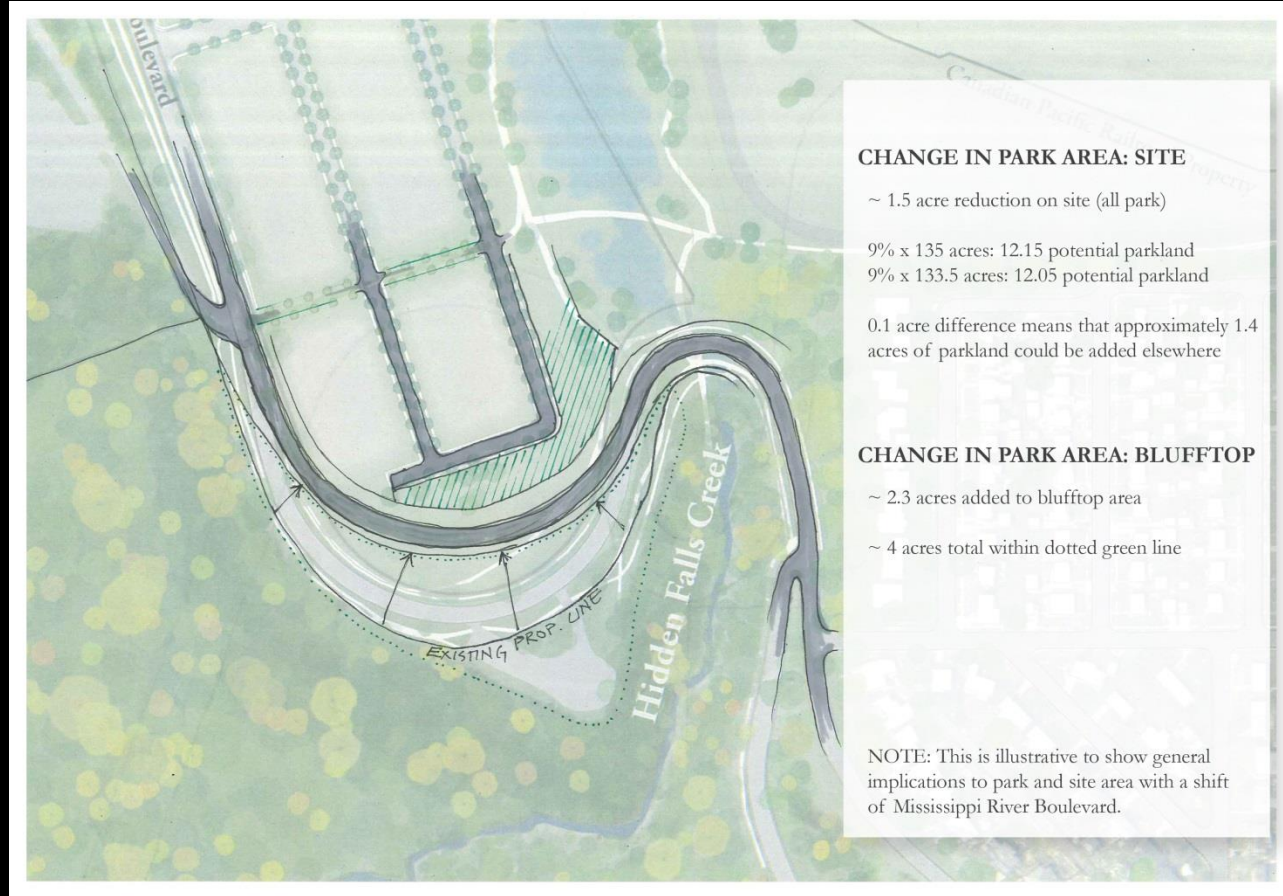
Task Force representatives to speak at public hearings

Support the transportation layout of the street and trail networks as proposed.



# May 1<sup>st</sup> T. F. Mtg – Open Space

Pursue steps to realign southern curve of Mississippi River Boulevard at the south end of the Ford site and use the shifted southern park space to the expand bluff top open space adjacent to Hidden Falls Regional Park.



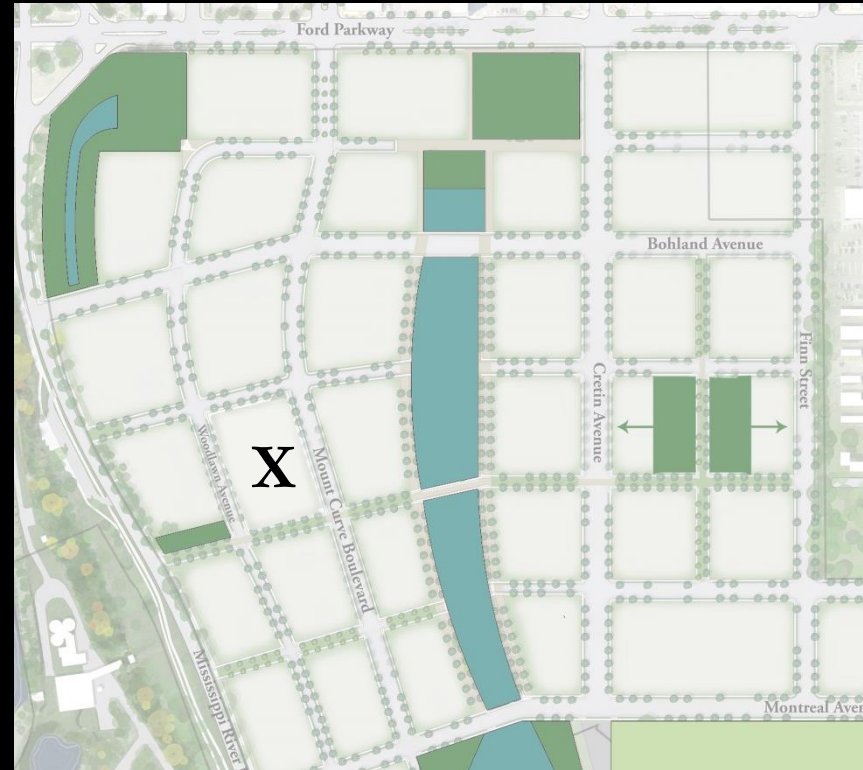
# May 1<sup>st</sup> T. F. Mtg – Open Space

- Remove the recreational fields depiction from the public realm master plan, since that future use of that land is not certain.
- Task Force supports inclusion of 10+ acres of multi-use recreation fields on site, in addition to the 9% city park land. Owner and manager of recreations fields TBD.
- City should support efforts to for recreational groups to develop the southeast area into non-city owned public space.



# May 1<sup>st</sup> T. F. Mtg – Open Space

Move neighborhood park in the middle of the “Residential Mixed Low” zoning district to replace one of the blocks in the “Residential Mixed High” district.



# Stormwater Feature



## *The Centralized Stormwater Concept*

Runoff from the entire site would be managed with above grade features in a “centralized” green infrastructure corridor. The corridor would re-create the original headwaters feature. Downstream, Hidden Falls Creek would be restored and associated natural areas linked to the development. The community would benefit from green space and developers would not be required to manage stormwater on individual parcels.





# Proposed Ford Building Standards

# Building Types



1. Multi-Unit Home
2. Carriage House
3. Townhouse/Rowhouse
4. Multi-Family Low
5. Multi-Family Medium
6. Live/Work
7. Mixed Residential & Commercial
8. Civic & Institutional
9. Commercial & Employment
10. Parking Structure



# Building Type Standards

STANDARD	BUILDING TYPE									
	Multi-Unit Home	Carriage House	Townhouse / Rowhouse	Multi-Family, Low	Multi-Family, Medium	Live/Work	Mixed Residential & Commercial	Civic & Institutional	Commercial & Employment	Parking Structure
Units per Bldg	2-6	1-2	3-16	6 - 40	40 and over	2-8	n/a			
Building Width, maximum	60'		150'	200'	60' min, no max	150'	n/a	n/a	n/a	n/a
Lot Width, minimum	80'		30'	60'	n/a	30'	n/a			
Lot Coverage by Bldgs, maximum	30%		50%	70%			80%			
Lot Coverage for Open Space, minimum	50%		25%				20%			
Building Height	Determined by Zoning District	30' maximum	Determined by Zoning District							
Public Right-of-Way Setback	Min. = 10' (a) Max. = 40'	Min. = 10' Max. = 20'				Min. = 5' Max. = 20'	Min. = 5' Max. = 15'			
Interior Lot Line Setback	Min. = 10' (b) Max. = n/a					Min. = 6' (b) Max. = n/a				
Parking	Min. = 0.75 space per dwelling unit and Max. = 2.0 spaces per dwelling unit; Min. = 0.25 space per bedroom and Max. = 1.0 space per bedroom for congregate living.					Use combined standards for residential and non-residential uses		Min. = 1.0 space per 600 square feet gross floor area Max. = 1.0 space per 400 square feet gross floor area		
Accessory Structures	Up to 3 per lot		Up to 1 per dwelling unit	Up to 2 per structure	Up to 2 per structure	Up to 1 per dwelling unit	Up to 2 per structure	Up to 2 per structure	Up to 2 per structure	Up to 2 per structure

(a) Minimum setback along Mississippi River Boulevard is 30'

(b) No setback is required for building walls containing no windows or other openings when the wall meets the fire resistance standards of the Minnesota State Building Code and there is a Common Interest Community (CIC) or recorded maintenance easement that covers the affected properties.

## Multi-Unit Home

Dwelling units	2-6 units per structure
Lot width, minimum	80 feet
Building width, maximum	60 feet
Lot coverage by buildings, maximum	30% (includes coverage by secondary structure - Carriage House, and by other accessory structures)
Lot coverage by open space, minimum	50%
Building height	Determined by zoning district
Setbacks	
Public Right-of-Way	Minimum 30 feet minimum from Mississippi River Boulevard and minimum 10 feet from other rights-of-way, maximum 40 feet
Interior Lot Line	10 feet minimum; no maximum
Parking requirements	Minimum 0.75 spaces per dwelling unit; maximum 2.0 spaces per dwelling unit; except as noted in Chapter 4, Parking.
Accessory structures allowed	Up to 3 including the Carriage House structure

**Definition:** The Multi-Unit Home building type is a small- to medium-sized structure that consists of side-by-side or stacked dwelling units.

**Access:** Each unit will have a private interior entrance, but may share front and rear ingress/egress with other units. Building exteriors shall be accessed from the front street.



## Multi-Family, Low

Dwelling units	6-40 units per structure
Lot width, minimum	60 feet
Building width, maximum	200 feet
Lot coverage by buildings, maximum	70%
Lot coverage by open space, minimum	25%
Building height	Determined by zoning district
Setbacks	
Public Right-of-Way	Minimum 10 feet; maximum 20 feet
Interior Lot line	Minimum 6 feet; no maximum
Parking requirements	Minimum .75 spaces per dwelling unit, maximum 2.0 spaces per dwelling unit, except as noted in Chapter 4, Parking.
Accessory structures allowed	Up to 2 per structure

**Definition:** A small to medium sized structure with multiple dwelling units, occupying a portion, but not all of, a city block. The dwelling units may be of mixed sizes (number of bedrooms) and styles to encourage mixed-income development and to meet the needs of families of all sizes. This building type allows for different types of housing arrangements besides single family, such as senior housing or congregate living. The building may include other uses, such as local office and commercial.

**Access:** Entry to individual units on the ground floor may be shared through one exterior entry, or units may have individual entries along the front facades. Upper floor units shall be accessed through common exterior entries. Vehicular access shall be confined to side and rear streets.





## Multi-Family, Medium

Dwelling units	40 or more
Lot width, minimum	n/a
Building width, maximum	n/a
Lot coverage by buildings, maximum	70%
Lot coverage by open space, minimum	25%
Building height	Determined by zoning district
Setbacks	
Public Right-of-Way	Minimum 10 feet; maximum 20 feet
Interior Lot Line	Minimum 6 feet; no maximum
Parking requirements	Minimum 0.75 spaces per dwelling unit; maximum 2.0 spaces per dwelling unit; except as noted in Chapter 4, Parking.
Accessory structures allowed	Up to 2 per structure



**Definition:** A medium to large structure with multiple dwelling units, which may occupy a portion of a city block or a full city block. The building may include other uses, such as local office and commercial. The dwelling units may be of mixed sizes (number of bedrooms) and styles to encourage mixed-income development and to meet the needs of families of all sizes. This building type allows for different types of housing arrangements besides single family, such as senior housing or congregate living.

**Access:** Units typically share exterior access with one shared entry along the front facade. Ground level non-residential units may have individual access on front facades. Vehicular access shall be confined to side and rear streets.





## Commercial & Employment

Dwelling units	n/a
Lot width, minimum	n/a
Building width, maximum	n/a
Lot coverage by buildings, maximum	80%
Lot coverage for open space, minimum	20%
Building height	Determined by zoning district
Setbacks	
Public Right-of-Way	Minimum 5 feet; maximum 15 feet
Interior Lot Line	Minimum 6 feet; no maximum
Parking requirements	1 space per 600 square feet gross floor area, minimum; 1 space per 400 square feet gross floor area, maximum
Accessory structures allowed	Up to 2 per structure

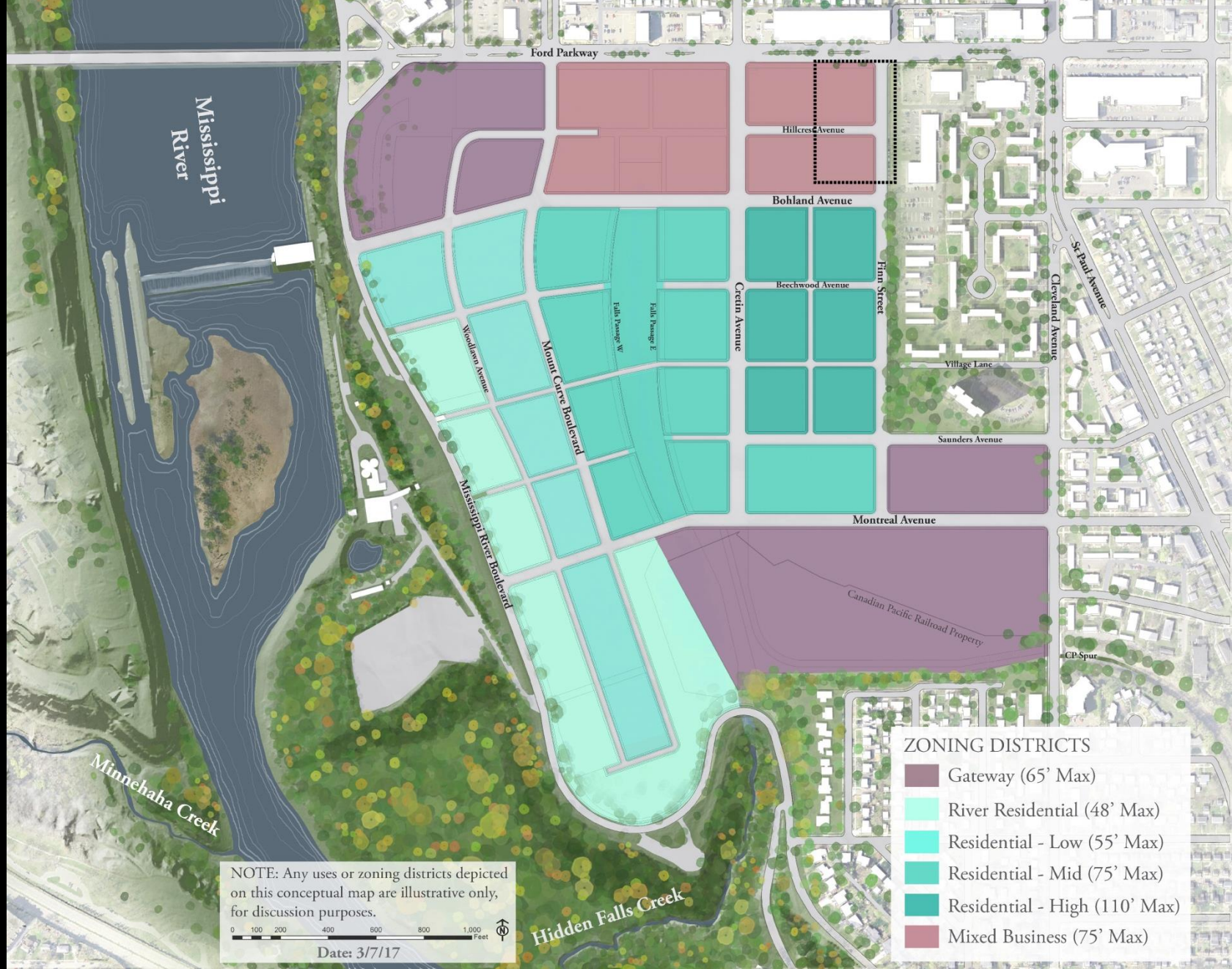
**Use:** Attached structure which contains primarily commercial uses. The ground floor shall primarily contain retail, restaurants, professional services and offices; the upper floors shall contain primarily offices and support spaces for the ground floor businesses. These commercial uses should include a range of business and retail sizes, from small neighborhood services to large office spaces, to serve a variety of local, neighborhood, and city needs.

**Access:** Upper floor units will share common exterior entries. Ground floor units will have individual exterior store fronts. Vehicular access shall be confined to side and rear streets.



# Proposed Ford Zoning Districts

# DRAFT Zoning



# DRAFT Zoning and Public Realm



## PRIMARY USES

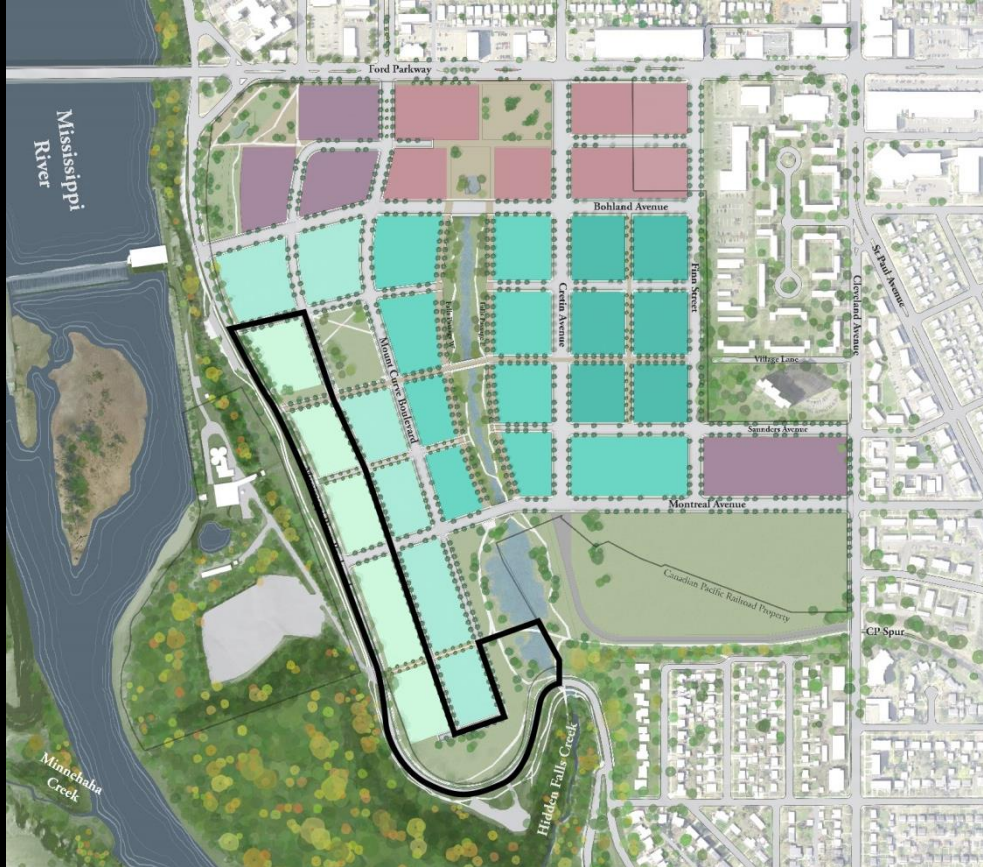
- Multi-unit home
- Carriage house

# River Residential

Images for illustration only; they do not represent approved plans.

## HEIGHTS

2 to 4 stories  
48 feet max.



# PRIMARY USES

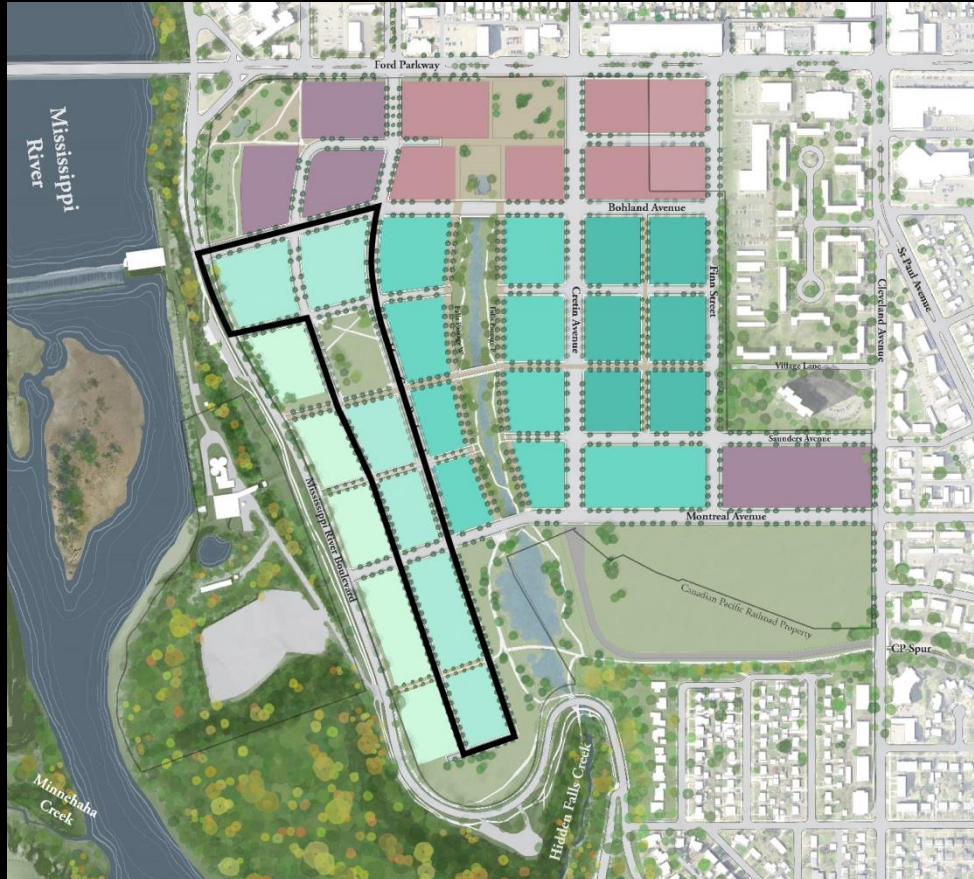
- Townhomes
- Multi-family residential
- Limited commercial; Live-Work

# Residential - Low

Images for illustration only; they do not represent approved plans.

# HEIGHTS

3 to 5 stories  
55 feet max.



## PRIMARY USES

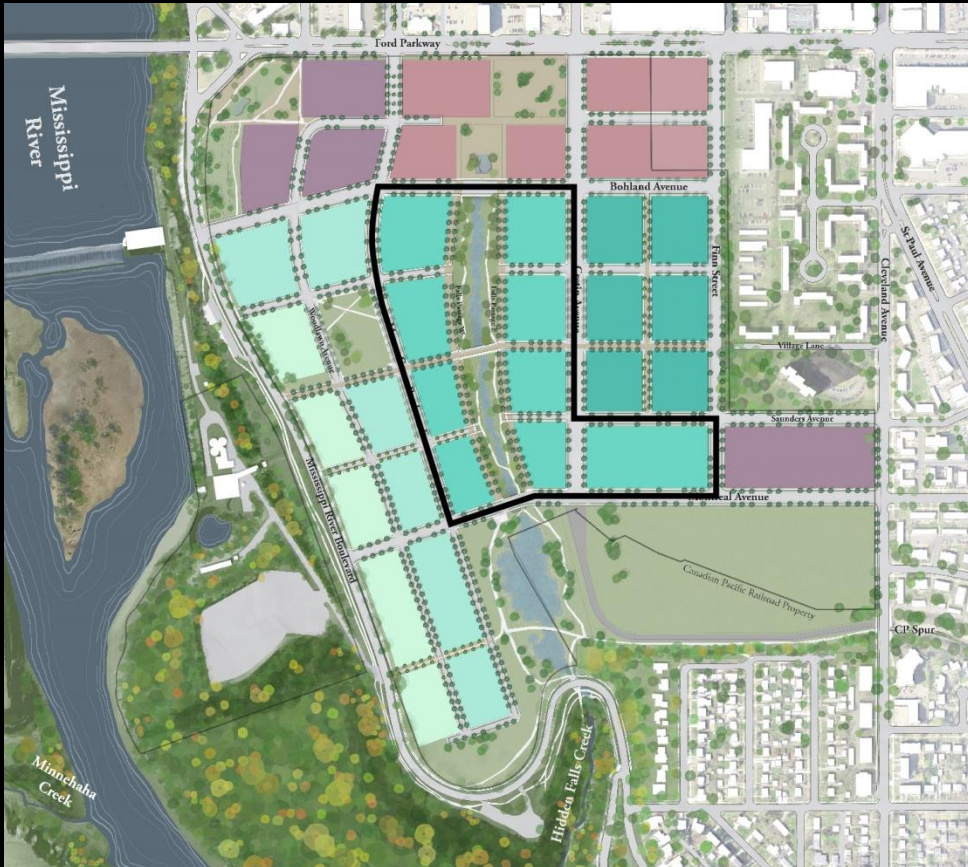
- Townhomes
- Multi-family residential
- Limited commercial & office; Live-Work

# Residential - Mid

Images for illustration only; they do not represent approved plans.

## HEIGHTS

3 to 6 stories  
75 feet max.



## PRIMARY USES

- Townhomes
- Multi-family residential
- Commercial & Office

# Residential - High

Images for illustration only; they do not represent approved plans.

## HEIGHTS

4 to 10 stories  
110 feet max.



# PRIMARY USES

- Retail and Service
- Office
- Multi-Family Residential

# Business Mixed

Images for illustration only; they do not represent approved plans.

# HEIGHTS

3 to 6 stories  
75 feet max.





# PRIMARY USES

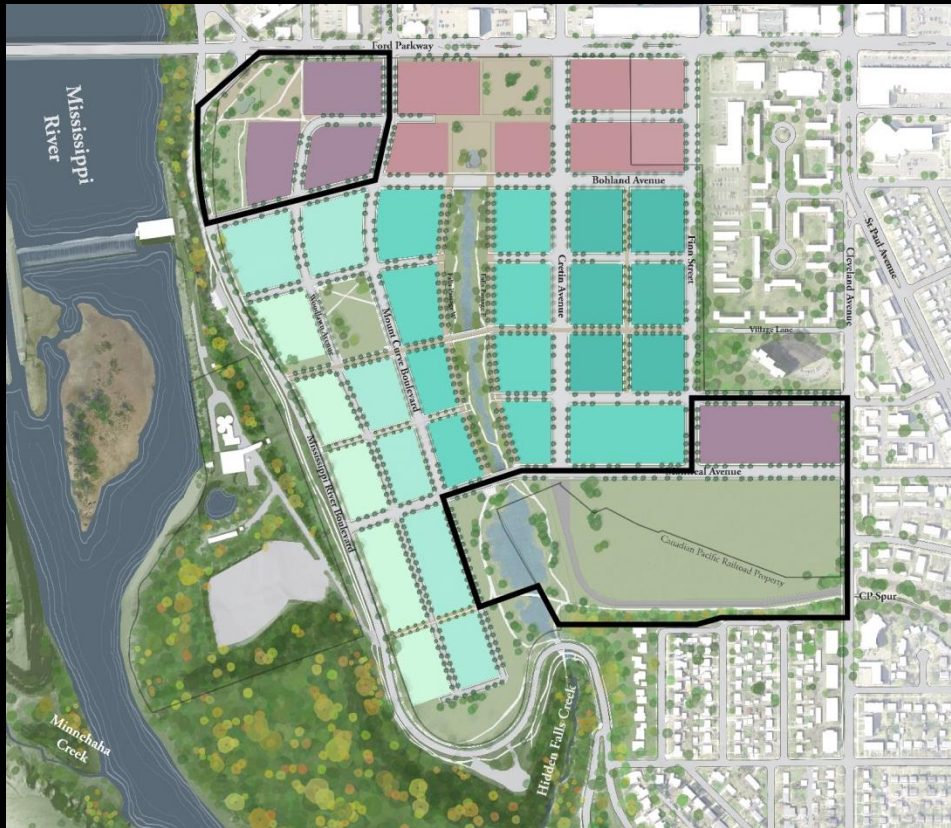
- Office
- Service
- Limited Retail

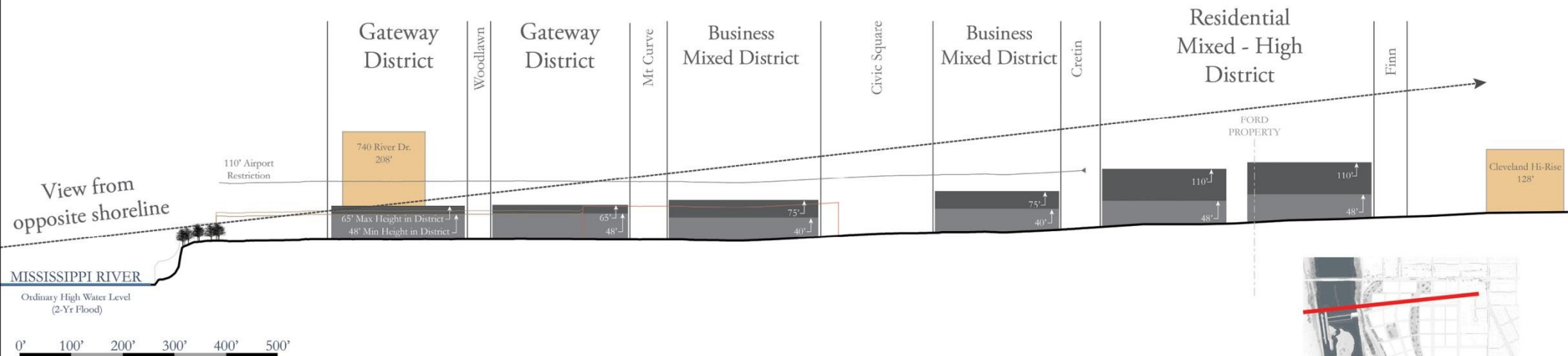
# Gateway

Images for illustration only; they do not represent approved plans.

# HEIGHTS

3 to 6 stories  
65 feet max.





Background

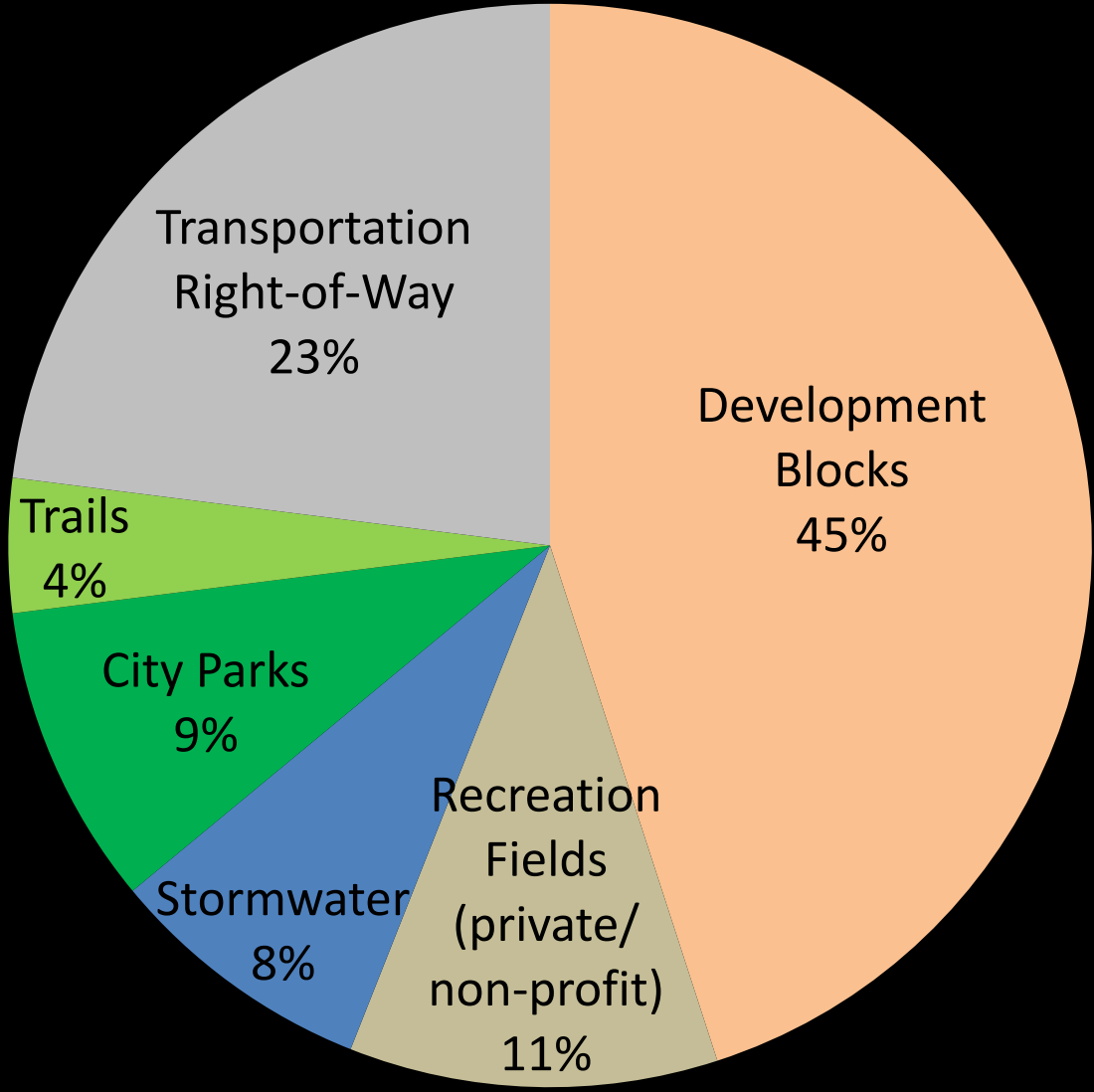
Context

Public Realm

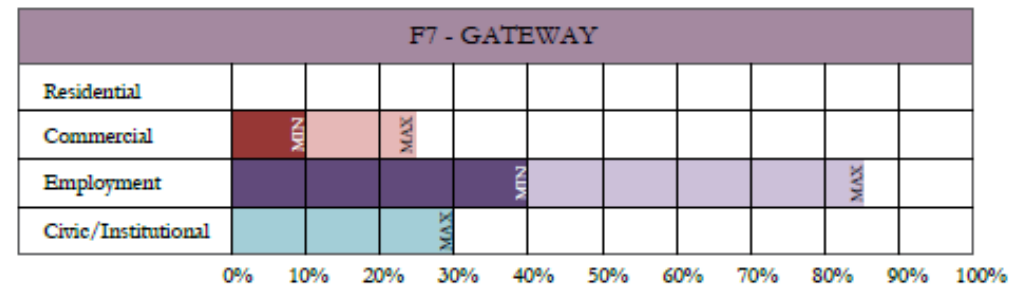
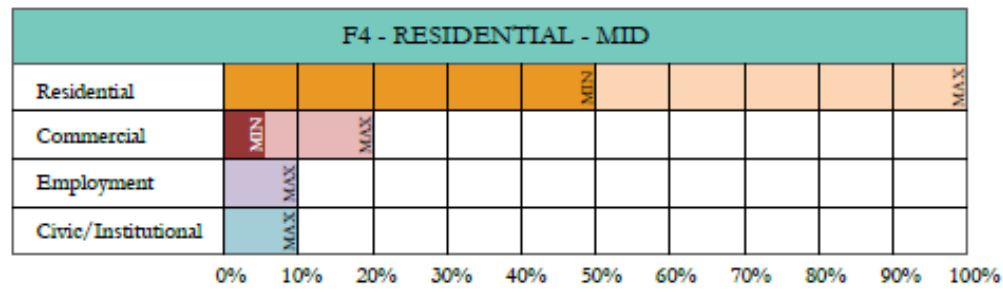
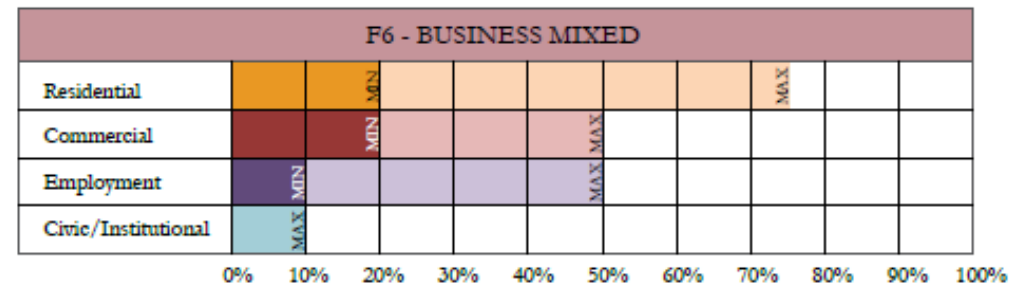
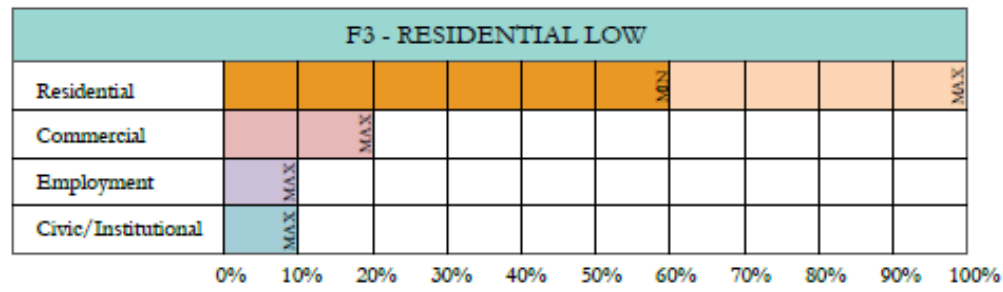
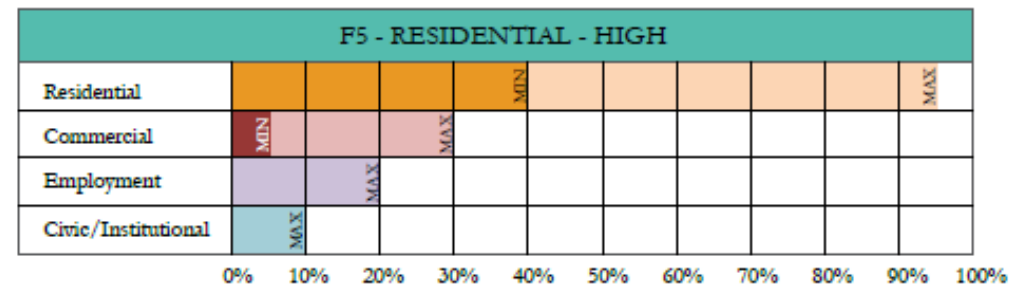
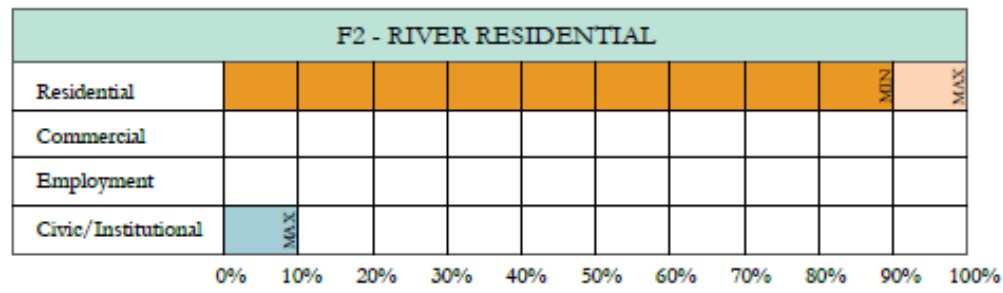
Zoning & Guidelines

What's Next

# Land Use Mix



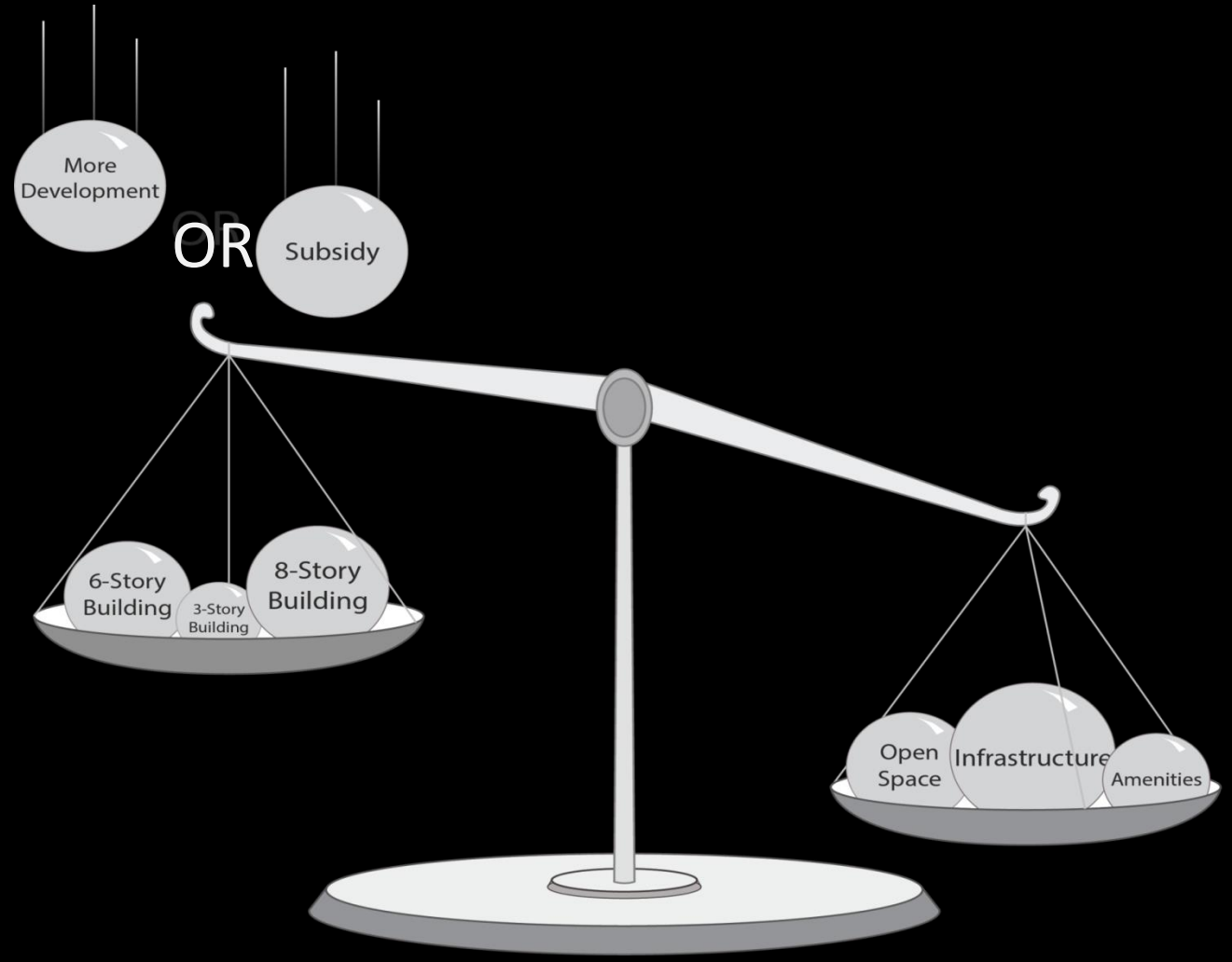
# Proposed Mix Per District



# DRAFT Development Range for Master Plan

Land Use	Minimum	Maximum
Housing	2,400 dwelling units	4,000 dwelling units
Retail & Service	150,000 sq ft GFA	300,000 sq ft GFA
Office & Employment	200,000 sq ft GFA	450,000 sq ft GFA
Civic & Institutional	50,000 sq ft GFA	150,000 sq ft GFA

# The Economics of Development



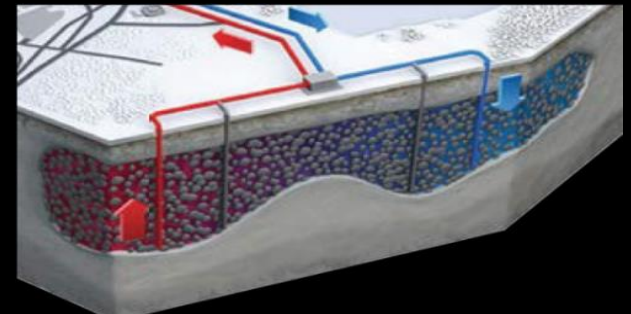
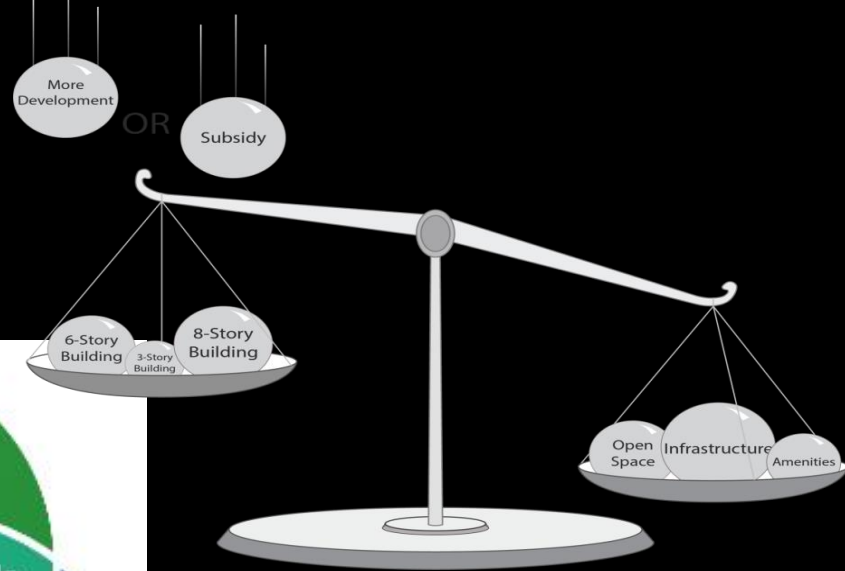
# Role of Sustainability



## What is Affordable Housing?



The government says housing is "affordable" if a family spends **no more than 30%** of their income to live there.



# Urban Design to Reduce Driving



Six factors that affect the amount people drive:

1. Land use mix
2. Household density
3. Sidewalk coverage
4. Transit access
5. Intersection density
6. Managed parking

Of the above factors, “land use mix and household density had the largest impact on vehicle miles traveled”. – 2017 study for State of MA by Bill Holloway, State Smart Transportation Initiative



# Expand Housing Choice



# Summarize Agreed Upon Items

- Transportation Network
- Parks and Open Space
- Stormwater Network
- Zoning Districts and Standards
- Other



# Task Force Input



## Task Force Memo

- drafting
- revisions
- Finalization

Public Hearing Testimony - spokespeople

# Plan Review Steps

Concept Plan  
Review & Input

Planning  
Commission

City  
Council

Nov ... Apr

May

Jun

Jul

Aug

Sep

Oct

## Input from “The Public”

- Ford Task Force
- City residents
- Neighbors
- Business people
- Subject experts
- Prospective tenants
- Stakeholder groups



# How to Provide Input



Planning Commission Public Hearing on June 30<sup>th</sup> (?)

and/or

City Council Public Hearing in September (Date to be determined)

1. Submit official public testimony through the City's Ford web form at [www.stpaul.gov/FordComments](http://www.stpaul.gov/FordComments)
2. Send a letter or email to the Planning Commission or City Council, care of City staff
3. Attend the public hearing and provide spoken testimony
  - o Each of the above methods carries equal legal weight
  - o Please include your address and full name with your testimony, in order for it to be included in the official public record