

Introduction

The design standards are to be used in concert with the building type details and form requirements found in other chapters of the *Ford Site Zoning and Public Realm Master Plan* and the The Saint Paul Zoning Code, which acts as the backdrop of zoning and other building and site regulations for all elements not specifically referenced within this chapter. It will be used in tandem throughout the design and review process. The design standards that follow support and complete the walkable, pedestrian-and bike-friendly built environment of the Ford Site.

The design standards are organized by the three scales to which they apply: site-wide, by zoning district, and by frontage type. The Vehicle Access diagram graphically maps where the walkable pedestrian environment is given priority, and where sidewalks and paths should not be interrupted by driveways, garage or service curb cuts.

Design standards that apply by zoning district and frontage type are focused on private spaces, lots, yards, and buildings. Because each district includes unique areas and features, frontage types address how the public/private development complements the public realm. A total of nine (9) unique frontages are applicable in various districts.

Design Standards – Site-wide

Private Landscape Standards

(Refer also to requirements for vegetative, landscape and building lot coverage in Chapter 4).

Lawns and Gardens

G1. Plant materials shall provide visual, multi-seasonal color and a layered aesthetic with plant materials at various heights and textures (refer to pages 47-49 of the Master Plan).

Pavements and Surfaces

G2. Surfaces for walks shall be poured concrete, integral color concrete, stone, pavers, clay brick, and other long-lasting materials.

G3. Concrete shall be broom finished with a deliberate scoring pattern to prevent cracking.

G4. Paving materials shall coordinate with the overall design of the lot and building.

Walls, Fences, and Furnishings

G5. Site and retaining walls shall be of long-lasting quality materials, with preference given to natural stone and clay brick that coordinates with related building materials on nearby structures. Segmental block is permitted, but shall be selected for resistance to salt and weather and are appropriate in scale, finish and color to building materials.

G6. With the exception of walls required for infrastructure, walls in landscaped areas exceeding 4' in height shall be terraced to soften their appearance. Climbing and cascading plants should be used.

G7. All retaining walls designed to retain or protect roadway ROW shall be designed as cast-in-place cantilever walls per the MNDOT Roadway Design Manual.

G8. Fencing visible from public rights-of-way shall be masonry, ornamental metal or wood, or some combination of the three, and shall be resistant to impacts of salt and weather.

G9. Furnishings shall be of high quality and match the style of the building design.

G10. The use of chain link, plastic or wire fencing (or similar) shall not be permitted.

Building Standards

G11. The lower twenty-five (25) feet of buildings shall include elements that relates to the human scale at grade. These elements include doors and windows, texture, projections, awnings and canopies, ornament, etc.

G12. Porches, steps, roof overhangs, hooded front doors or similar architectural elements shall be used to define all primary residential entrances.

G13. A primary building entrance shall be located on the addressed side(s) of the building.

G14. New buildings on corner lots shall be oriented to the corner and both public streets.

G15. For new Live/Work, Mixed Residential and Commercial, Civic and Institutional, and Commercial & Employment buildings, windows and doors or openings shall comprise at least fifty (50) percent of the length and at least thirty (30) percent of the area of the ground floor along addressed sides of the building and sides that face open space.



G16. Windows shall be designed with punched and recessed openings or other window installations that create a strong rhythm of light and shadow. Glass on windows and doors shall be clear or slightly tinted, and allow views into and out of the interior.

G17. If an outdoor storage, service or loading area is visible from adjacent residential uses or a public street or walkway, it shall be screened by a decorative fence, wall or screen of plant material at least six (6) feet in height.

G18. Surface parking shall not be located facing a front street or within thirty (30) feet of a corner.

G19. Exterior building materials shall consist of high-quality materials such as brick, stone, tinted masonry or cast stone, stucco, glass, metal, and fiber cement cladding/siding. The following materials are not acceptable: unadorned plain or painted concrete block; tilt-up concrete panels; synthetic stucco products (EIFS); reflective glass; and vinyl, fiberglass, asphalt or fiberboard siding.

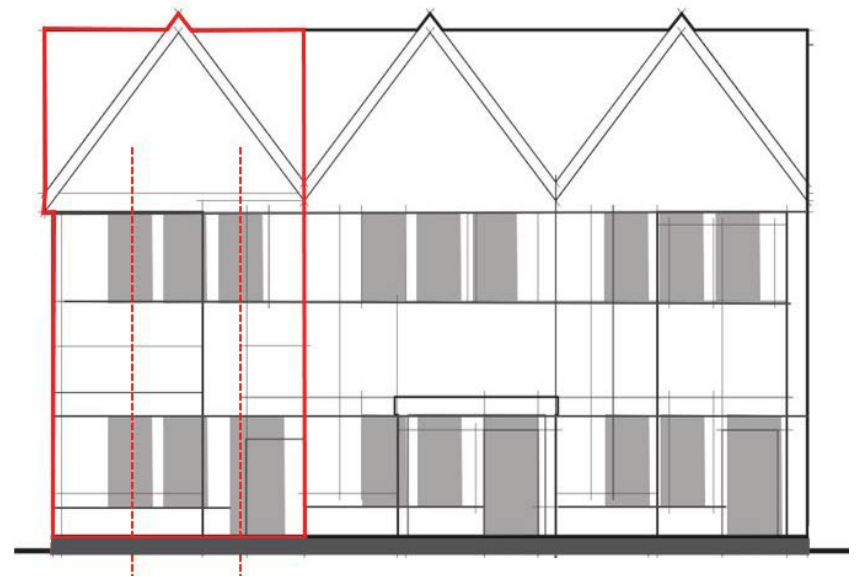
Standards specific to Multi-Unit and Townhouse Building Type

G20. Stoops may project into a required yard.

G21. Exterior stairs may be parallel or perpendicular to façade.

G22. Townhouse/rowhouse buildings shall exhibit vertical proportions; building elements including windows, balconies, doors, etc. shall reinforce the overall vertical proportions.

G23. All entrances within ten feet (10') of the front property line shall be raised above the average finished grade of the sidewalk a minimum of twelve inches (12") and a maximum of forty-eight inches (48") subject to ADA requirements.



Townhouse facade that exhibits vertical proportions

Standards specific to Structured Parking

G24. Entrance drives and garage doors for underground or structured parking shall be designed for pedestrian convenience and safety. Vehicular entrances to structured parking shall be minimized so that they do not dominate the access street frontage of the building. Design techniques shall include recessed entries; extending portions of the structure over the entry; using screening and landscaping to soften the appearance of the entry; using the smallest curb cut and driveway possible.

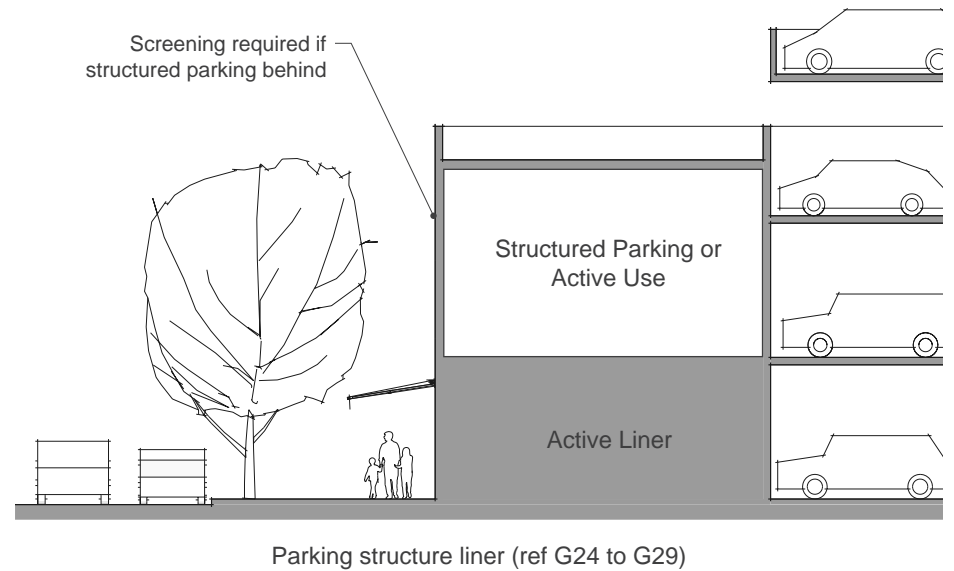
G25. New above-grade structured parking fronting on arterial and collector streets shall be lined with active commercial/retail uses at street level with direct access to the sidewalk.

G26. Any portion of structured parking that is not concealed behind active uses shall be designed with exterior wall treatments, ornamental metal, louvers, fenestration and materials that screen the view of vehicles and normal building and mechanical elements. Opaque glass used to cover structural beams shall not be permitted.

G27. Exposed ramping shall not face open space.

G28. Parking structure entrances shall be designed to be an integral part of the building façade, and to respond to the pedestrian experience and safety needs.

G29. Parking structures shall be finished with flat floor plates to allow for roof plantings and solar infrastructure.



Design Standards by Zoning District and Frontage Type

Design standards also apply by zoning district and frontage type. Each district contains unique areas and features to which standards are applied to enhance the relationship between private development and public realm. A total of nine (9) frontages are applicable in various districts and are shown on the Frontage Map. “Frontage” is the combination of the building type/façade, yard/setback, public walk, and the relationship to the boulevard and street.



*Map not to scale



Frontage Types

Urban Center

Urban Center/Diagonal

Urban Center/Residential

The intent of the Urban Center frontage type is to ensure that the Urban Plaza, Diagonal Way and Civic Square spaces are vibrant and active, that building facades provide an edge to and define the public realm, and that public activity in the plaza and square does not negatively impact activity in the private development and vice-versa. Frontage types vary depending on whether the first-floor use is residential or non-residential.

Gateway

The intent of the Gateway frontage type is to activate Gateway Park based on the scale of the open space and the likely building types that will face it. The Gateway is a large open space that will feature an element to welcome people to the new neighborhood.

Central Open Space

The intent of the Central Open Space frontage type is to frame and activate this central defining feature of the new neighborhood. Given the anticipated amount of activity in this area, it will be especially important to provide a well-defined edge between the public and private realms along Falls Passage.

Pedestrian/Bike Street

The intent of the Pedestrian/Bike Street frontage type is to design and scale buildings in proportion to a narrower, limited-mode right-of-way. Given the planned scale of the buildings along these rights-of-way, designing the frontages to avoid a “canyon effect,” blank walls, garage and service access, and exposed building utilities will be critical to maintaining vibrancy.

Mississippi River Boulevard

The intent of the River Boulevard frontage type is to continue the physical character and relationship between street and building that already exists along Mississippi River Boulevard (MRB). Maintaining the unique arrangement of street, sidewalk, public landscaping, private landscaping and building façade will provide an edge to the new neighborhood consistent with the historic pattern along MRB.

Mississippi River Boulevard South

The intent of the River Boulevard South frontage type is to design and site residential structures so that there is a clear delineation between private property and the public space to the south. This frontage type must ensure that the open space is understood to be accessible to the public.

F1 River Residential

This district includes deep building setbacks from Mississippi River Boulevard and informal landscape consistent with the predominantly detached, single family residential character of the corridor.




Building types allowed by zoning: single family, multi-unit home and carriage house.

Private Landscape Standards *Trees*

S1. Trees within thirty feet (30') of Mississippi River Boulevard right-of-way shall be native species and planted in an informal pattern.



Legend

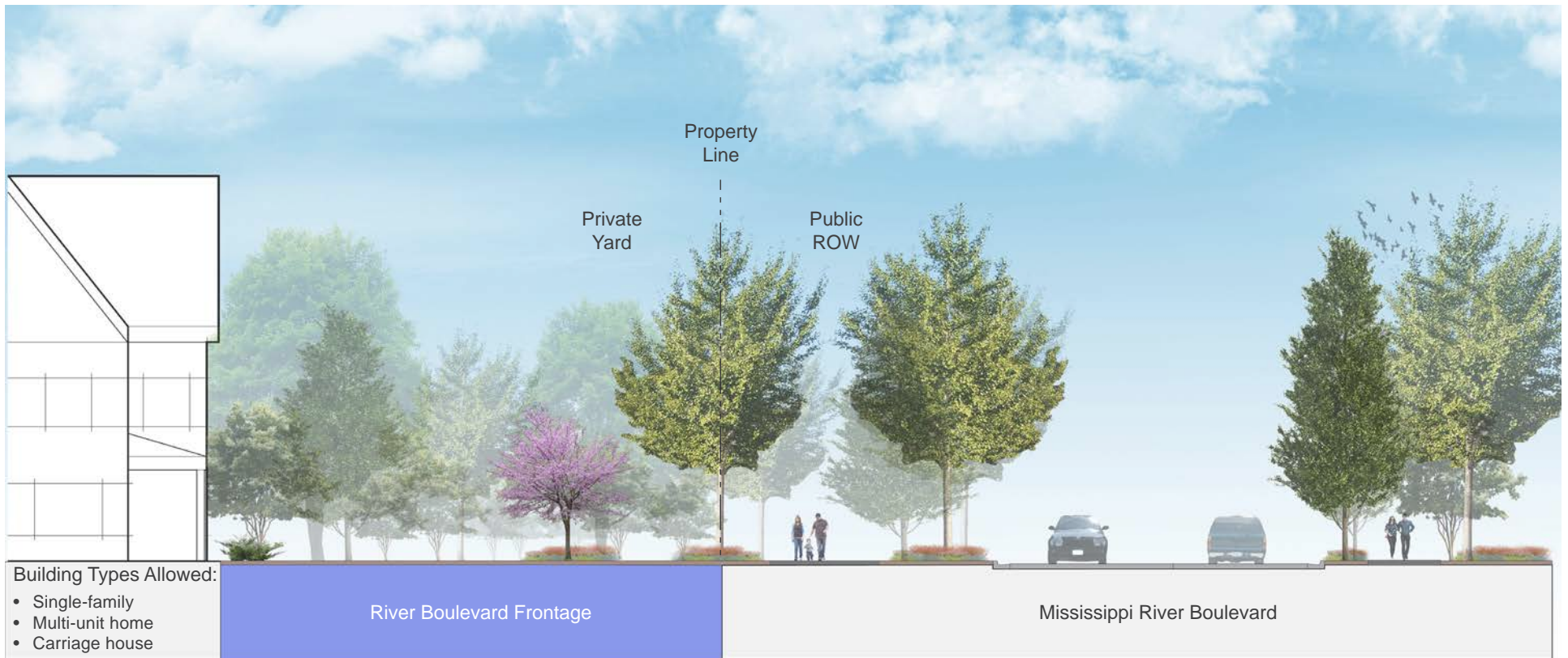
-  Mississippi River Boulevard Frontage
-  Mississippi River Boulevard South Frontage
-  F1 District Boundary

*Map not to scale

Mississippi River Boulevard Frontage Standards

S2. Private landscape shall reflect the existing the informal character of the Mississippi River Boulevard.

S3. The lot at the southeast corner of Mississippi River Boulevard and Bohland Avenue shall be setback at least fifteen feet (15') from Bohland Avenue.

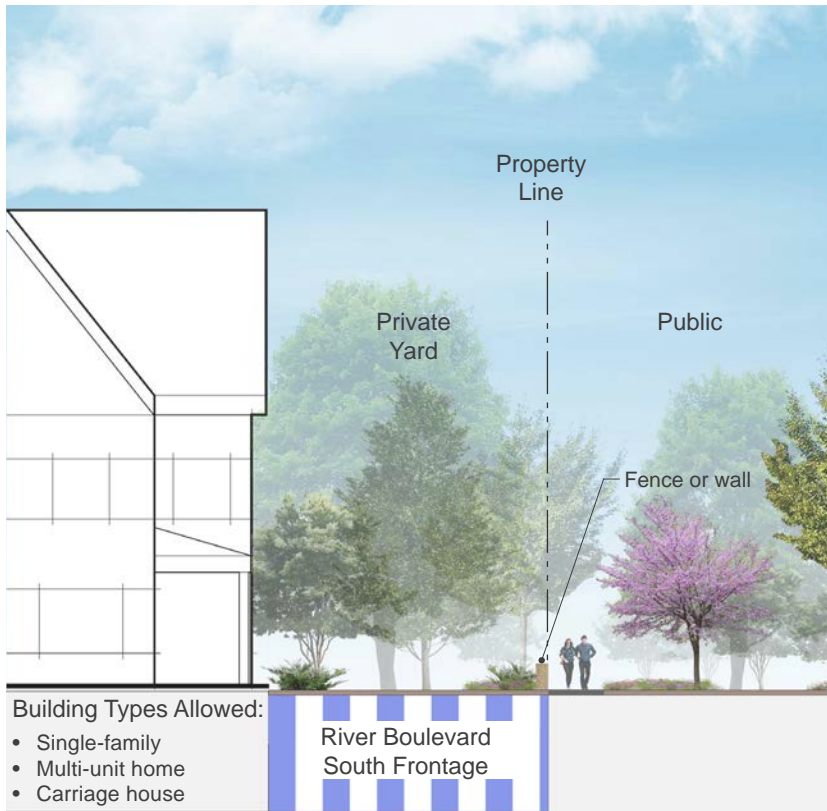


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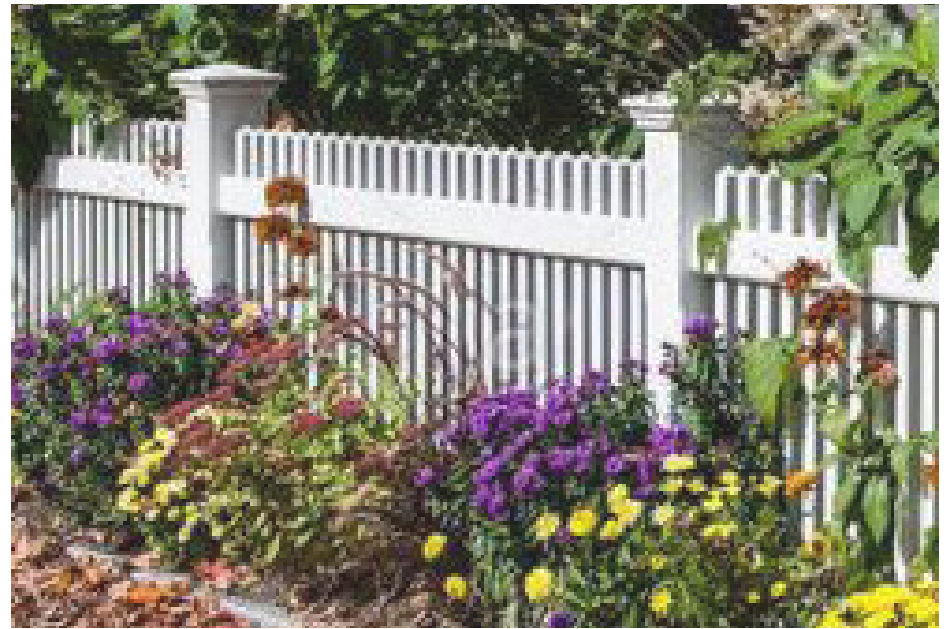
Mississippi River Boulevard South Frontage Standards

S4. The primary building face/facade must be oriented to the public open space.

S5. To differentiate the private lot from the public space, the southern property line shall be defined by a decorative fence, or wall with a maximum height of forty-two inches (42”), with breaks for pedestrian entry to units.



Illustrative section to indicate areas of public access. Does not represent correct scale or final design.



F2 Residential Mixed Low District

The Residential Mixed Low District is intended to have an established residential neighborhood character. The neighborhood park is located in this district which will further reinforce a neighborhood character and scale.

Building types allowed by zoning: carriage house, townhouse, multi-family low, live/work, mixed residential/commercial, and commercial/employment.

Building Standards

S6. All residential entrances within fifteen feet (15') of the front property line shall be raised above the average finished grade of the sidewalk a minimum of eighteen inches (18") subject to ADA requirements.



Legend

 F2 District Boundary

*Map not to scale

F3 Residential Mixed Mid

This district allows a broad range of building types and straddles the central open space. The character and identity of this highly visible location will be dependent on the careful relationship between building facades/yards and the public open spaces. Specific frontage requirements apply to the central open space and the east-west oriented ped/bike streets.

Building types allowed by zoning: townhouse, multi-family low/mid, live/work, mixed residential/commercial, and commercial/employment.



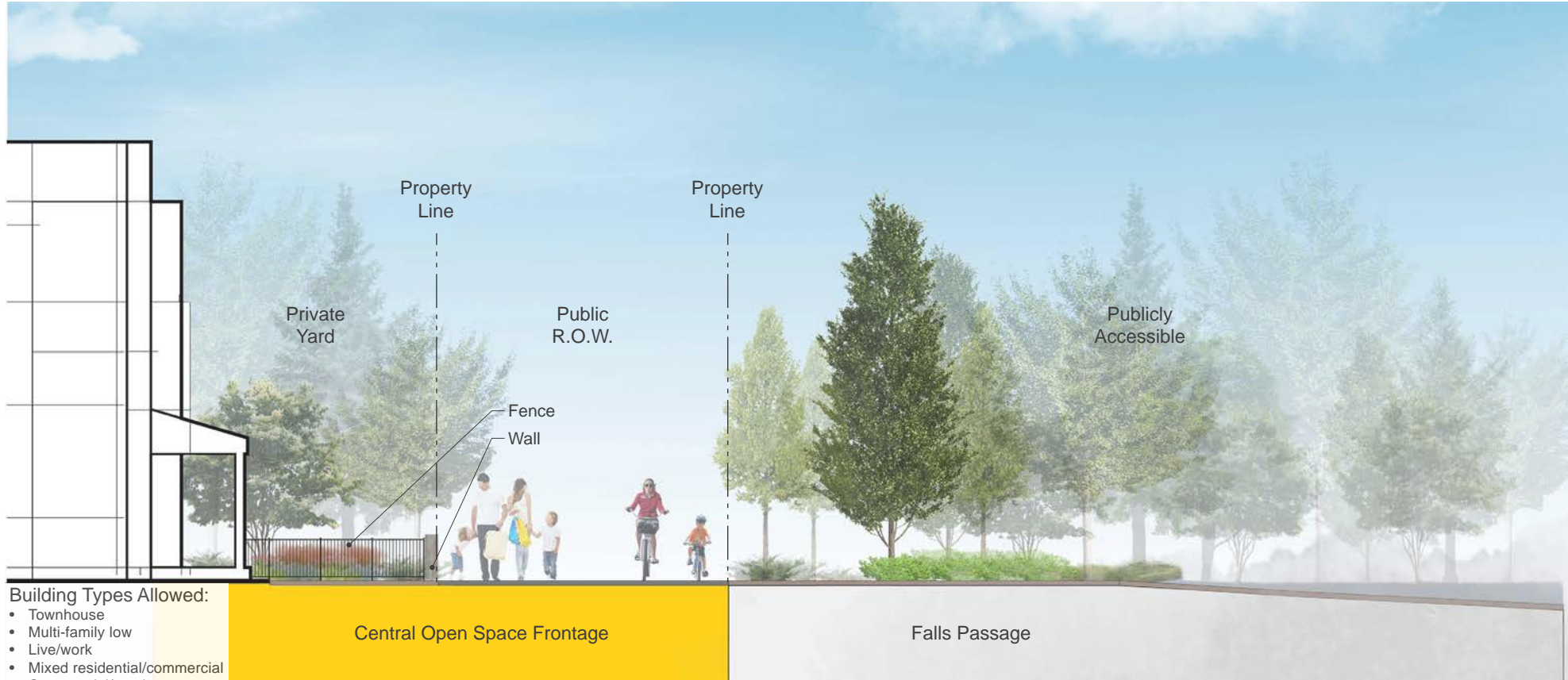
Legend

- Central Open Space Frontage
- Pedestrian/Bike Street Frontage
- F3 District Boundary

*Map not to scale

Central Open Space Frontage Standards

- S7. A primary building entrance (stoop, porch or doorway façade) shall face the Central Open Space.
- S8. A hedge, decorative stone, wood or metal fence (maximum 42' high) shall define the front property line, with breaks for pedestrian entry into units.
- S9. Grass turf is not allowed in the yard closest to the central open space.



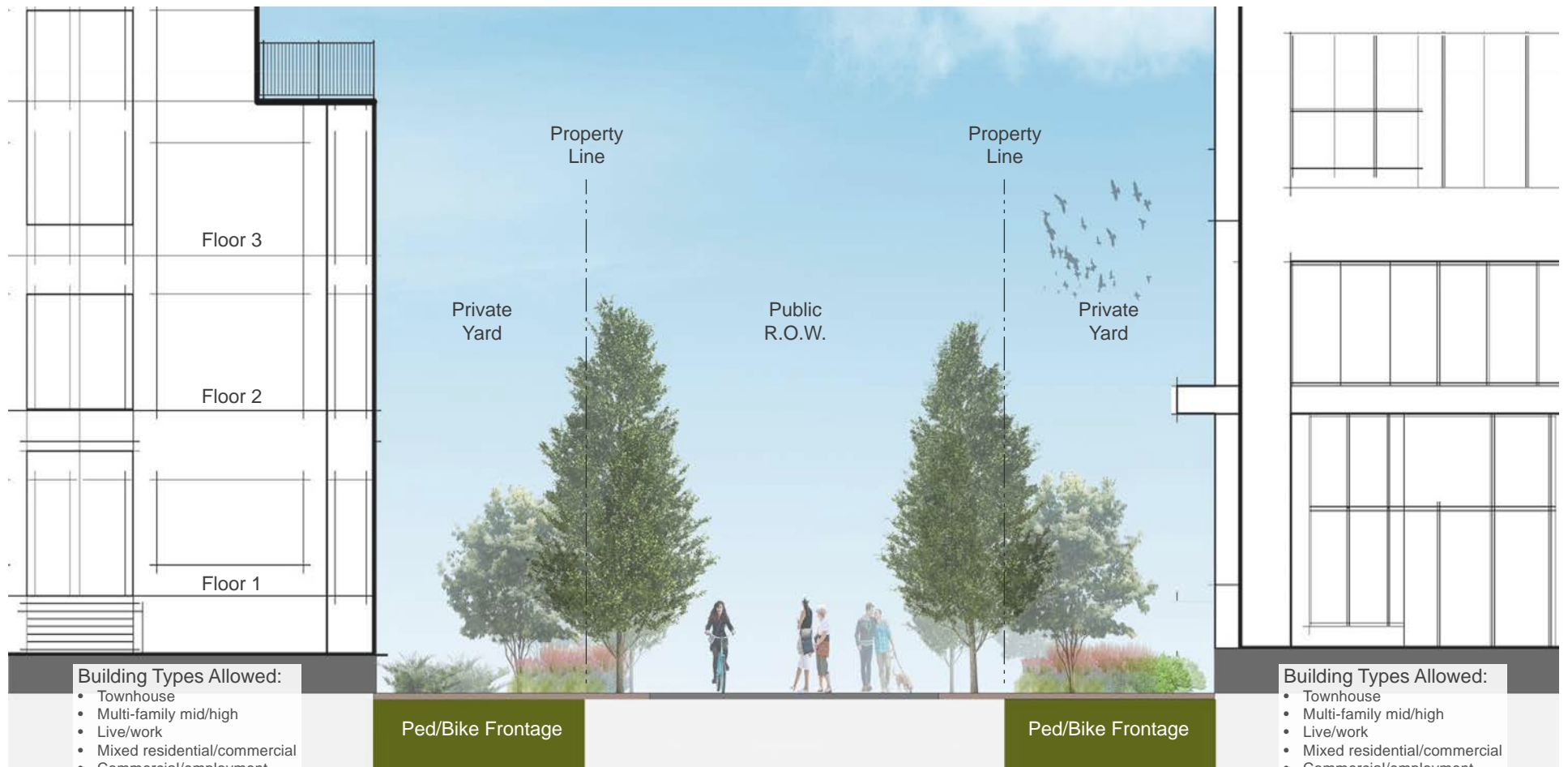
- Building Types Allowed:
- Townhouse
 - Multi-family low
 - Live/work
 - Mixed residential/commercial
 - Commercial/employment

Illustrative section to indicate areas of public access. Does not represent correct scale or final design.

Ped/Bike Street Frontage Standards

S10. Buildings shall step-back at least six feet (6') at the fourth floor or below if built to less than the ten-foot (10') setback.

S11. Grass turf is not allowed in the private yard.



Illustrative section to indicate areas of public access. Does not represent correct scale or final design.

F4 Residential Mixed High District

This district will have an urban feel and character and contain a range of taller multi-family and mixed-use buildings. Streets and dedicated pedestrian/bike ways contribute to a more dense environment that will benefit from additional landscape and building setback requirements defined with frontage types.

Building types allowed by zoning: townhouse, rowhouse, multi-family medium, multi-family high, live/work, mixed residential/commercial, commercial & employment, civic/institutional and parking structures.

Pedestrian/Bike Street Frontage Standards

The Ped/Bike frontage type is described in the F3 District section of the design standards.



Legend

- Pedestrian/Bike Street Frontage
- F4 District Boundary

*Map not to scale





F5 Business Mixed District

This district will function as the commercial center of the site. The entrance and identity of the site hinges on the Urban Plaza. The Civic Square will act as the physical ‘heart’ of the neighborhood and will host a variety of seasonal activities. The diagonal way that connects the two will support a signature pedestrian-oriented destination.

Building types allowed by zoning: mixed residential & commercial, commercial/employment, civic/institutional and parking structures.



Legend

-  Urban Center Frontage
-  Urban Center Diagonal Frontage
-  Urban Center Residential Frontage
-  F5 District Boundary

*Map not to scale

Urban Center Frontage Standards

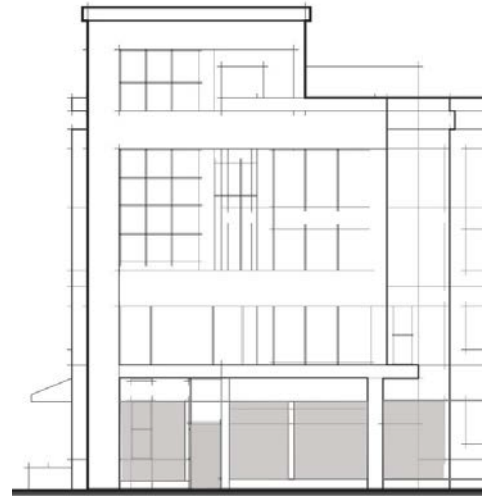
S12. The building face shall include a minimum of 65% transparent glazing in the bottom 12 feet of the building for portions of the ground floor not dedicated to residential units. See Urban Center/Residential for additional requirements for portions of the ground floor dedicated to residential units.

S13. Trees shall define the perimeter of the civic square and must be planted within 30' of the adjacent property line.

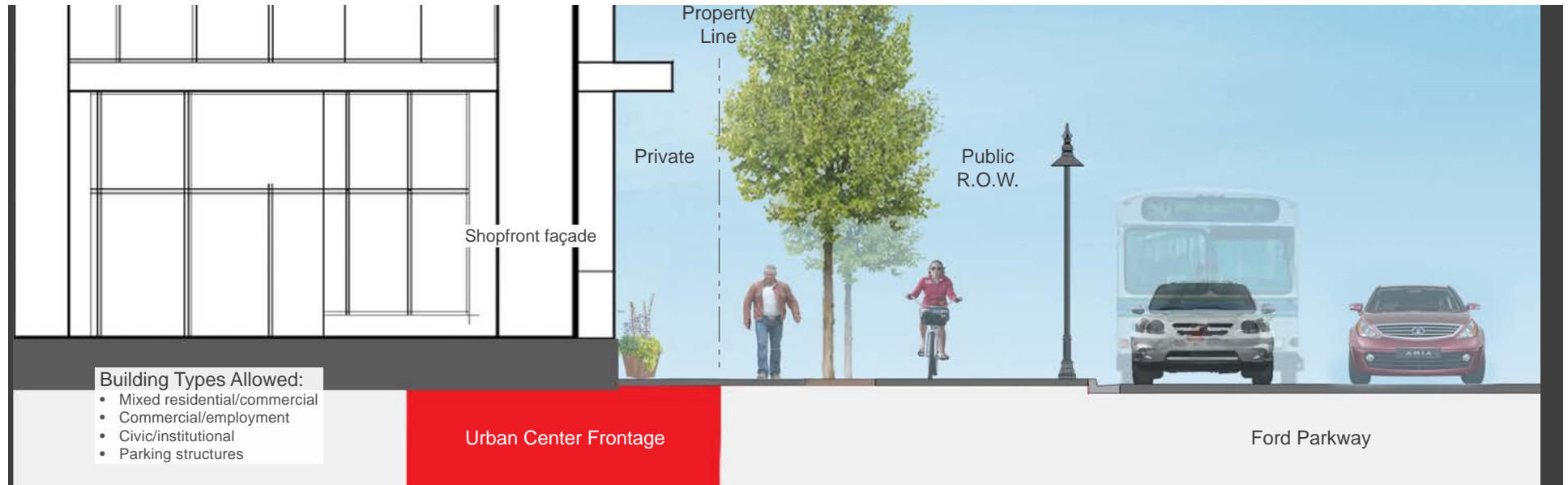
S14. Square and plaza surfaces shall be textured or integral colored poured concrete, stone, pavers, clay brick, or other long-lasting material.

S15. Building canopies/awnings to maintain a minimum nine-foot (9') clearance from ground plane.

S16. Building entries may be recessed from the façade up to six feet (6') in depth.



Facade with 65% glazing (S12)



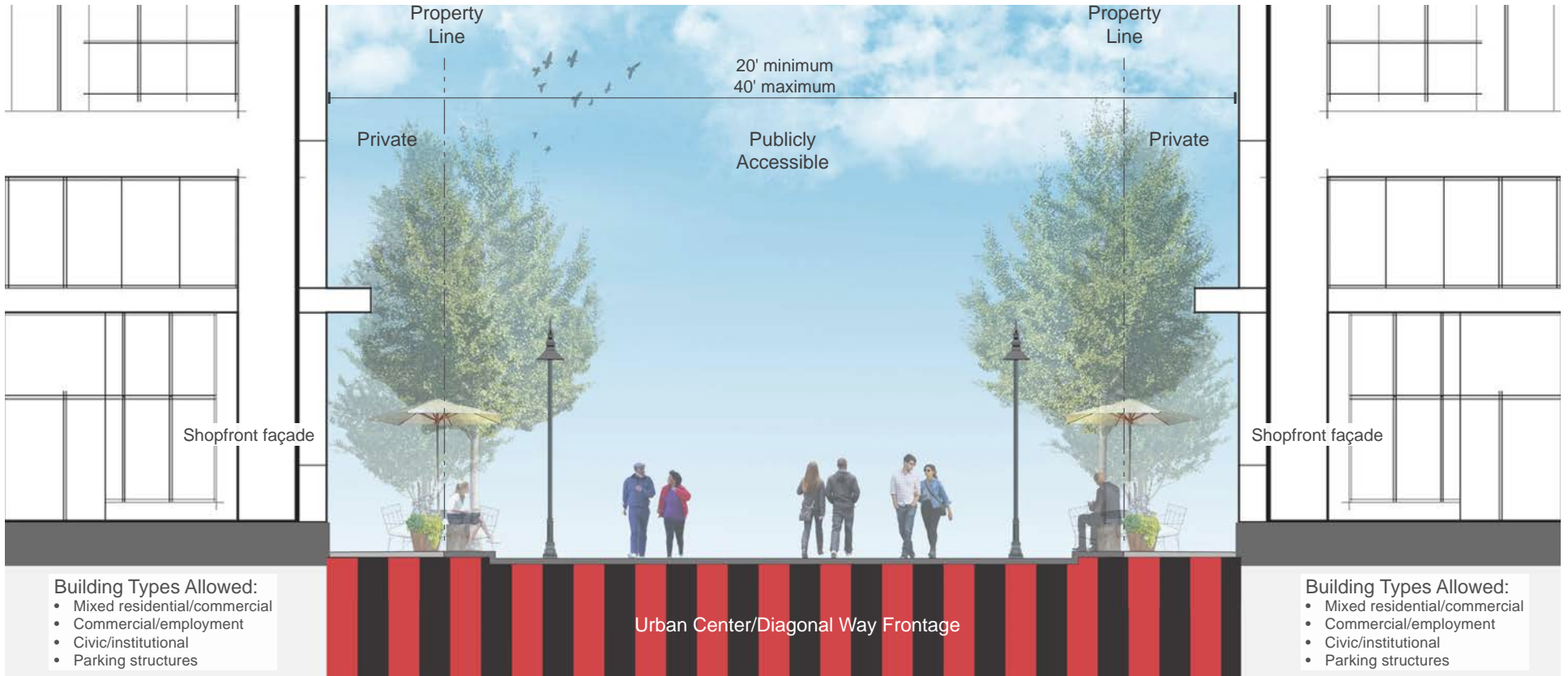
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Urban Center/Diagonal Way Frontage Standards

All Urban Center Frontage standards shall apply.

S17. The building separation distance shall range from twenty (20') minimum to forty (40') maximum.

S18. The center of the Diagonal Way shall remain clear of obstructions to a minimum of twelve feet (12').



- Building Types Allowed:**
- Mixed residential/commercial
 - Commercial/employment
 - Civic/institutional
 - Parking structures

- Building Types Allowed:**
- Mixed residential/commercial
 - Commercial/employment
 - Civic/institutional
 - Parking structures

Urban Center/Diagonal Way Frontage

Illustrative section to indicate areas of public access. Does not represent correct scale or final design.

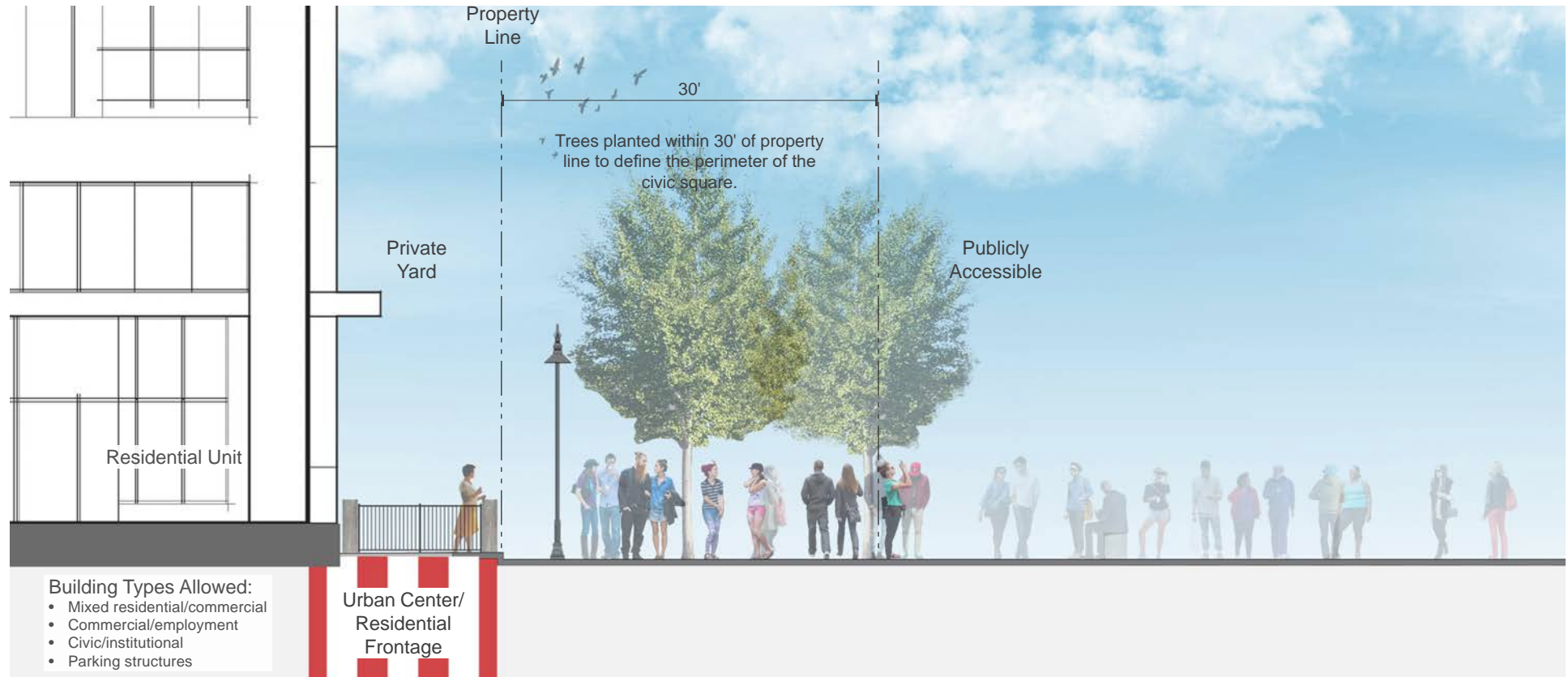


Urban Center/Residential Frontage Standards

All Urban Center Frontage standards shall apply.

S19. Any private patio/yard off of a residential unit shall be a minimum of twelve inches (12”) above ground plane of plaza/square surface.

S20. Residential units adjacent to the civic square shall be defined by a masonry or decorative metal railing (maximum forty-two inches (42”) high).



Illustrative section to indicate areas of public access. Does not represent correct scale or final design.

F6 Gateway

The gateway districts are highly visible corners of the site that will act as entry, identity and will also provide opportunities for business and employment uses. Applicable frontage types address the informal landscape character of the Mississippi River Boulevard and the more urban street relationship on the east side. Both locations represent unique opportunities for public art responses.

Building types allowed by zoning: commercial & employment, civic/institutional and parking structures.



Legend

- Gateway Frontage
- F6 District Boundary

*Map not to scale

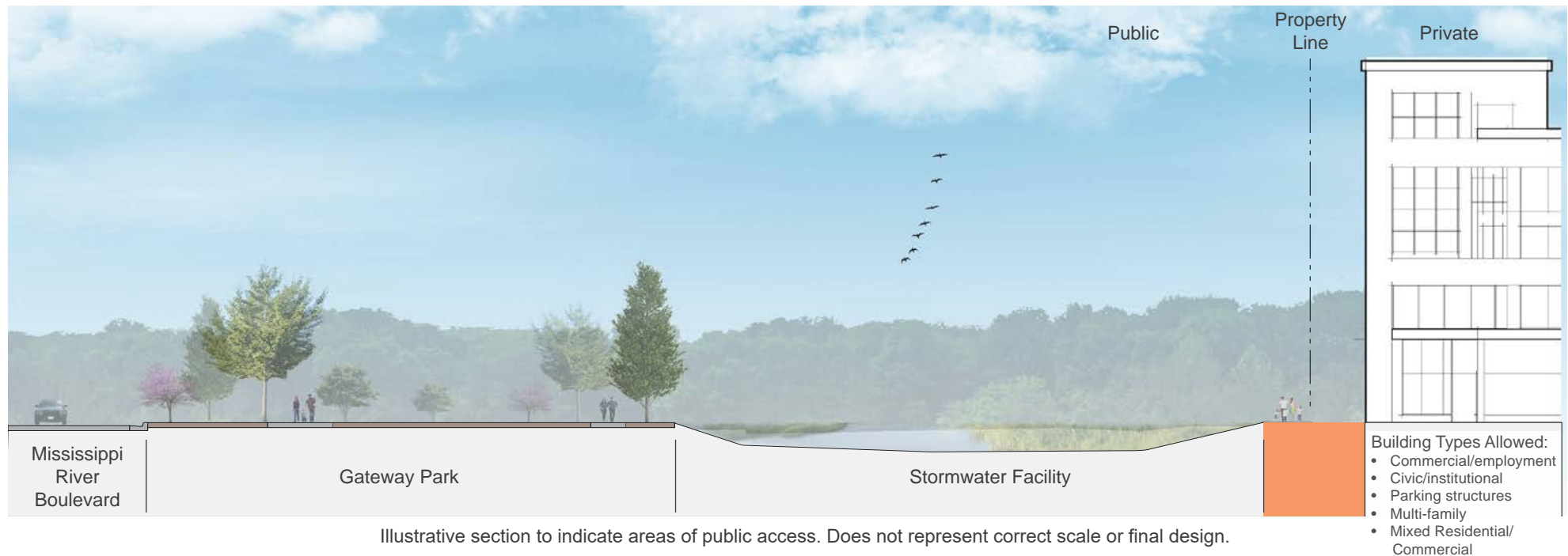


Gateway Frontage Standards

S21. Building setback fronting the Gateway park shall be a maximum of ten feet (10').

S22. The landscape design of the site and related stormwater facilities shall reflect the natural and informal character of the Boulevard.

S23. Retaining walls and other visual barriers facing the park shall be limited to twenty-four inches (24") high.





Appendix

Street Trees

- Refer to Legislative Code Title 8 Zoning Code, Chapters 66, 67 and Title 17, Chapters 175, 176, 177, 178, and Title 29, Chapter 362.
- For other boulevard treatments including rain gardens refer to applicable ordinances in Chapters 73, 105, 116, 121, 135 and 176 of the Saint Paul Legislative Code.

Building Standards

- Refer to Legislative Code Title 8 Zoning Code Article I. 63.100 General Provisions and Performance Standards

DRAFT ZONING TEXT AMENDMENTS FOR FORD DESIGN STANDARDS (Revised 7/18/19)

The Zoning Code text amendments that follow are recommended to be addressed through a zoning study initiated by the Planning Commission to reflect the addition of proposed design standards. The existing text reflects adopted changes from April of 2019 (Ord 19-19, Ryan amendments).

Note: Only relevant sections that provide reference or are being amended are included.

Sec 60.301. - Zoning districts established.

For the purposes of this code, the city is hereby divided into the following zoning districts:

(a) Residential districts.

...

(f) Special districts.

VP vehicular parking district

PD planned development district

(g) Ford districts.

F1 river residential district

F2 residential mixed low district

F3 residential mixed mid district

F4 residential mixed high district

F5 business mixed district

F6 gateway district

~~(g)~~ (h) Overlay districts...

~~(h)~~ (i) River corridor overlay districts...

~~(i)-(j)~~ Floodplain management overlay districts...

[Adds Ford Districts to list of zoning districts found in the City.]

Sec. 61.402. - Site plan review by the planning commission.

(a) *Plan to be submitted.* A site plan shall be submitted to and approved by the planning commission before a permit is issued for grading or the erection or enlargement of any building except one- and two-family dwellings, and including the following:

...

(4) Any development in a T or F district.

...

[There is currently no requirement for site plan review of single-family homes. Since there are specific standards proposed for the frontage along Mississippi River Boulevard, this amendment ensures review of the design standards in the event a one-family dwelling is proposed in that location. The exception for one- and two-family dwellings does not apply to (4) because (a) states that a site plan shall be submitted with those exceptions *and* including the following list. “Development” is defined in Sec. 60.205 and includes one- and two-family homes.]

Sec. 64.503. - T1-T4 traditional neighborhood, F1-F6 Ford and OS-BC business districts.

(a) *Business and identification signs...*

[Unless F districts are added here, 64.501 language prohibits signage on the site.]

ARTICLE IX. 66.900. FORD DISTRICTS

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Division 3. 66.930. Ford District Dimensional Standards

Sec. 66.931. Ford district dimensional standards table.

Table 66.931, Ford district dimensional standards, sets forth density and dimensional standards that are specific to Ford districts. These standards are in addition to the provisions of chapter 63, regulations of general applicability. Where an existing building does not conform to the following requirements, the building may be expanded without fully meeting the requirements as long as the expansion does not increase the nonconformity.

Table 66.931. Ford District Dimensional Standards

Building Type by Zoning District (a)	Floor Area Ratio (Min.- Max)	Lot Width Min.(feet)	Building Width Max. (feet)	Building Height (feet)		Max. Lot Coverage by Buildings	Building Setback (feet) (e)	
				Min.	Max.		ROW (Min.- Max.)	Interior Min.
F1 river residential								
One-family dwelling	0.25 - 1.5	60	60	20	30 48	40%	10 - 40 (g)	10
Multi-unit home	0.25 - 1.5	80	60	20	48	40%	10 - 40 (g)	10
Carriage house	0.25 - 1.5	n/a	60	n/a	30	40%	10 - 20 (g)	6 (h)
F2 residential mixed low								
Townhouse, rowhouse	1.0 - 2.0	30	150	30	55	50%	10 - 20	6 (h)
Multifamily low	1.0 - 2.0	60	200	30	55	70%	10 - 20	6 (h)

DRAFT ZONING TEXT AMENDMENTS FOR FORD DESIGN STANDARDS (Revised 7/18/19)

Carriage house	1.0 - 2.0	n/a	60	n/a	30	per main building	10 - 20	6 (h)
Live/work	1.0 - 2.0	30	150	30	55	70%	5 - 20	6 (h)
Nonresidential or mixed	1.0 - 2.0	n/a	500	30	55	70%	5 - 15	6 (h)
F3 residential mixed mid								
Townhouse, rowhouse	1.0 - 4.0	30	150	30	65 (b)	50%	10 - 20	6 (h)
Multifamily	2.0 - 4.0	60	n/a	40	65 (b)	70%	10 - 20	6 (h)
Live/work	2.0 - 4.0	30	150	40	65 (b)	70%	5 - 20	6 (h)
Nonresidential or mixed	2.0 - 4.0	n/a	500	40	65 (b)	70%	5 - 15	6 (h)
F4 residential mixed high								
Townhouse, rowhouse	3.0 - 6.0	30	150	48	75 (c)	50%	10 - 20	6 (h)
Multifamily medium	3.0 - 6.0	n/a	n/a	48	75 (c)	70%	10 - 20	6 (h)
Live/work	3.0 - 6.0	30	150	48	75 (c)	70%	5 - 20	6 (h)
Nonresidential or mixed	3.0 - 6.0	n/a	500	48	75 (c)	70%	5 - 15	6 (h)
F5 business mixed								
Nonresidential or mixed	2.0 - 4.0	n/a	500	40	65 (d)	70%	5 - 15	6 (h)
F6 gateway								
Nonresidential or mixed	1.0 - 3.0	n/a	500	30	65	70%	5 - 15	6 (h)

Min. - Minimum Max. - Maximum ROW - Public Right-of-Way n/a - not applicable

Notes to table 66.331, Ford district dimensional standards:

(a) Building types are described and defined in Chapter [56](#) of the Ford Site Zoning and Public Realm Master Plan.

- (b) A maximum building height of seventy-five (75) feet may be permitted with a minimum ten (10) foot setback from all minimum setback lines for all portions of the building above a height of twenty-five (25) feet.
- (c) All portions of a building above a height of twenty-five (25) feet shall be stepped back a minimum of ten (10) feet from all minimum setback lines. The maximum building height may exceed seventy-five (75) feet, to a maximum of one hundred ten (110) feet, subject to the following conditions:
 - (1) A minimum of one (1) acre of buildable land in the F1, F2, F3, and/or F4 districts shall have been dedicated or conveyed to the city for public use for parks, playgrounds, recreation facilities, trails, or open space, in excess of the amount of land required to be dedicated for parkland at the time of platting. Such dedication of the additional parkland must be consistent with the criteria for parkland dedication in section 69.511, and is subject to city council approval.
 - (2) Maximum developable gross floor area of dedicated land from (c)(1), based on its underlying zoning, may be transferred and added to development allowed in an F4-zoned area, in compliance with other applicable requirements for the district or building, such as FAR, setbacks and open space coverage.
- (d) Building height may exceed sixty-five (65) feet, to a maximum of seventy-five (75) feet, with a minimum ten (10) foot setback from all minimum setback lines for all portions of the building above a height of thirty (30) feet, except for corner elements and portions of the building facing the civic square identified in the Ford Site Zoning and Public Realm Master Plan, Chapter ~~7~~8.
- (e) Building setback is the horizontal distance between a lot line and the nearest above-grade point of a building. An interior setback is measured from an interior lot line, which is a lot line separating a lot from another lot or lots. A public right-of-way (ROW) setback is measured from a lot line that is not an interior lot line: a lot line separating a lot from a street, alley, or public way.
- (f) Maximum building setback shall apply to at least sixty (60) percent of the building facade along the right-of-way.
- (g) Buildings shall be setback a minimum of thirty (30) feet, with no maximum setback, from a lot line separating a lot from Mississippi River Boulevard.

- (h) No setback is required for building walls containing no windows or other openings when the wall meets the fire resistance standards of the Minnesota State Building Code and there is a Common Interest Community (CIC) or recorded maintenance easement that covers the affected properties.

[Corrections to chapter numbers in the master plan and a transposition error from the April 2019 amendments.]

Division 4. 66.940. Ford District Development Standards

Sec. 66.941. Ford district accessory building standards.

In addition to the standards for accessory buildings in Section 63.501, accessory buildings in Ford districts shall be subject to the following regulations:

- (a) Accessory buildings shall meet required public right-of-way setback requirements for a carriage house in F1-F2 districts, and for the principal building on the lot in F3-F6 districts.
- (b) The Ford Site Zoning and Public Realm Master Plan, Chapter 56, regulates the number of accessory buildings permitted on a lot by building type.

Sec. 66.942. Ford district vehicle parking standards.

Off-street parking shall be provided as follows. These requirements supersede the parking requirements in section 63.207.

Table 66.942. Vehicle Parking Requirements by Use

<i>Land Use</i>	<i>Minimum Number of Parking Spaces</i>	<i>Maximum Number of Parking Spaces (a)</i>
Residential, dwellings	0.75 space per dwelling unit	2 spaces per dwelling unit
Residential, congregate living	0.25 space per bedroom	1 space per bedroom
Nonresidential	1 space per 600 square feet GFA	1 space per 200 square feet GFA

GFA – Gross Floor Area

The *Ford Site Zoning and Public Realm Master Plan*, Chapters ~~4.7~~ 4 and 5, sets vehicle parking facility standards that are in addition to the parking facility standards in chapter 63...

Sec. 66.945. Ford district general development standards.

- (a) ~~The design standards in section 66.343 for the T3 traditional neighborhood district apply in all Ford districts. The Ford Site Zoning and Public Realm Master Plan, Chapter 5, sets standards for building and public realm design.~~
- (b) The Ford Site Zoning and Public Realm Master Plan, Chapter ~~4.7~~, sets standards for vegetation and landscaping, lighting, solar energy, and roofing that are in addition to chapter 63 standards.
- (c) Site plans and other development proposals within the Ford zoning districts shall be consistent with the standards and requirements described in the Ford Site Zoning and Public Realm Master Plan unless the applicant can demonstrate that there are circumstances unique to the property that make compliance impractical or unreasonable.

Division 5. 66.950. Ford District Planning Requirements

Sec. 66.951. Ford Site Zoning and Public Realm Master Plan.

A Ford Site Zoning and Public Realm Master Plan, for use with this article to guide redevelopment of the Ford site, shall be adopted ~~and can be amended~~ by city council resolution after a public hearing and planning commission review and recommendation. Once approved, the Ford Site Zoning and Public Realm Master Plan may be amended as follows:

- (a) Minor amendment. Minor amendments to an approved master plan may be requested by the property owner or developer. The planning administrator shall cause the proposed request to be reviewed by the public works and parks and recreation departments and other affected city departments and may approve minor amendments, including changes of less than ten (10) percent in land area designated for public rights-of-way or parks, provided such changes are consistent with the intent of the master plan.
- (b) Major amendment. Major amendments to an approved master plan may be initiated by the city council, the planning commission, or any person having an ownership or leasehold interest (contingent included) in property that is the subject of the proposed modification. Major amendments include changes of ten (10) percent or more

DRAFT ZONING TEXT AMENDMENTS FOR FORD DESIGN STANDARDS (Revised 7/18/19)

in land area designated for public rights-of-way or parks; creation of a new public street or removal of a public street segment; rezoning; removal of a park or open space area; or addition or removal of an entire block. Major amendments may be approved by city council resolution following planning commission review, public hearing and recommendation.

[This language is based on the Traditional Neighborhood district planning requirements Section 66.344 to allow for adjustments during the master site plan, platting, and project site plan processes by establishing thresholds for administrative vs. council review. Proposed paragraph 66.945(c) also clarifies that all parts of the Master Plan shall be adhered to and reviewed during the site plan review process and pursuant to those rules (Sec. 61.400).]

DRAFT list of changes to the *Ford Site Zoning and Public Realm Master Plan* not in proposed design standards chapter

7/18/19

1. Revise Table of Contents
2. Correct footer: Ford Site Zoning and Public Realm Master Plan
3. Correct chapter numbers and header titles to account for insertion of new Chapter 5: Design Standards
4. Remove references to forthcoming design standards

- Character & Site Organization

The public realm is intended to serve as the connective tissue within the site and to the neighborhood beyond. It is made up of the space between buildings - the right-of-way for streets and trails, the central stormwater spine, and the park spaces. ~~The private space between the right of way and buildings will be further defined by design standards to be added to the Ford site zoning districts.~~

- Where Regulations Apply

~~*Frontage Types to be addressed in forthcoming design standards (2018)~~

- General Standards

~~Design Standards~~

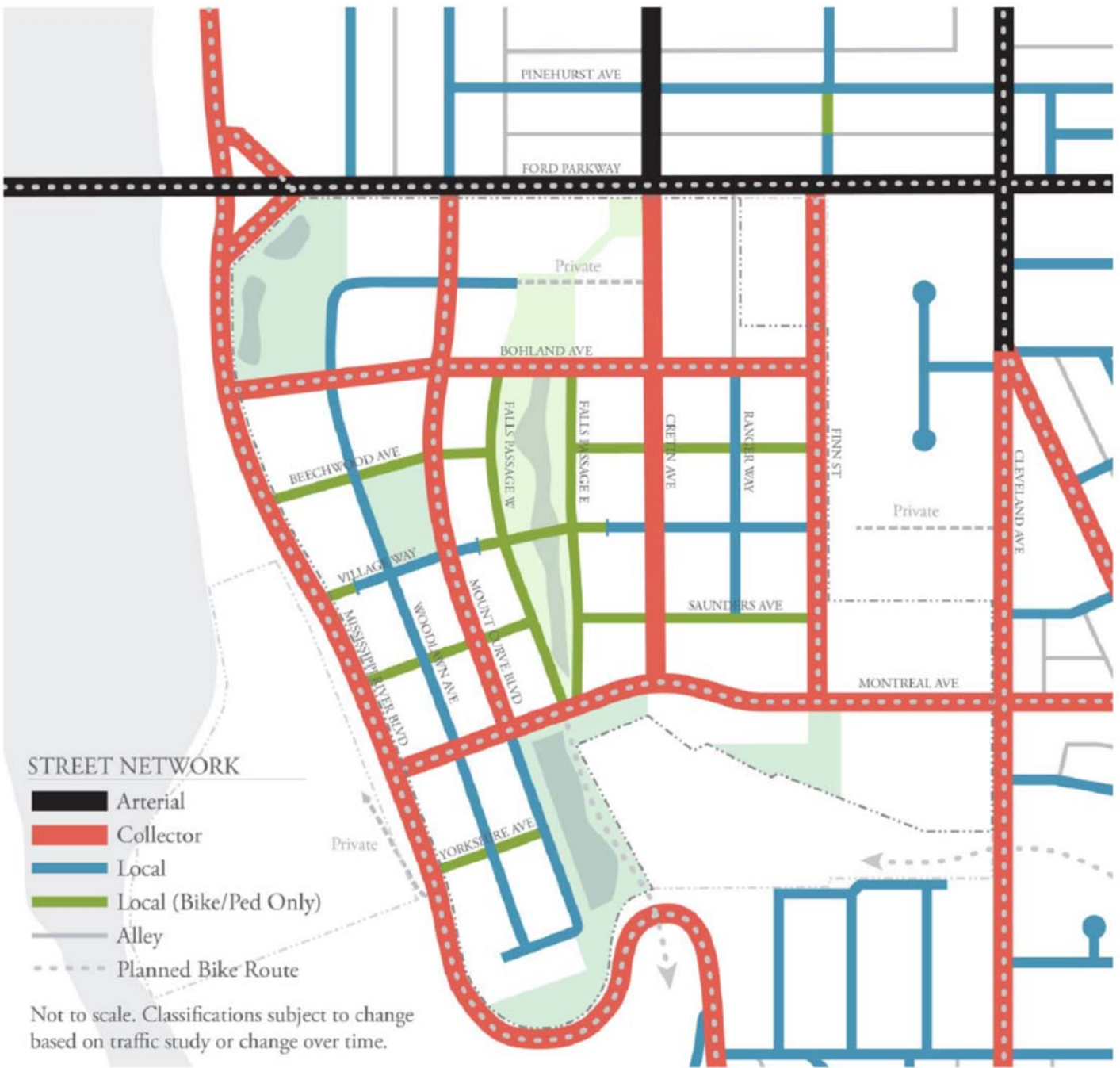
~~Design standards for buildings and public spaces on the Ford site redevelopment will be prepared for and added to this Ford Site Zoning and Master Plan in 2018. Until such time, the Traditional Neighborhood design standards for the T3 district shall apply, City Zoning Code Section 66.343.~~

5. Add row to Vegetative and Soil Requirements after “Street tree requirements” row:

	Unit	F1-F6
<u>Median Plantings</u>	<u>N/A</u>	<u>Trees are required in medians wider than eleven feet (11’), measured from the back of curb.</u>

	Unit	F1 River Residential	F2 Residential Mixed Low	F3 Residential Mixed Mid	F4 Residential Mixed High	F5 Business Mixed	F6 Gateway
Planting Size							
Trees - minimum planted size	(Caliper, Ht)	2.4 in; 6 feet					
Shrubs	Diameter	18 inches					
Vegetative Variety (minimum mix of species)							
Native overall	Minimum	85%	85%	75%	75%	75%	75%
Trees	Min Species Mix	6 per acre; 4 per block					
Shrubs	Min Species Mix	5 per acre					
Perennials	Min Species Mix	10 per acre					
Tree Canopy (measured as the % of the area)							
Tree canopy cover		50%	50%	30%	20%	20%	20%
Public Canopy Cover							
Civic space minimum	Area Covered	50% of non-built lot area			25% of non-built lot area		
Street tree requirements	Spacing	clustered		30' on center			
Private Canopy Cover							
Private lot minimum	Area Covered	1 per 7500 sf of lot or 12%			none		
Parking lot minimum	Area Covered	30%					
Healthy Tree Standards							
Minimum permeable surface per tree	Area	270 sf	270 sf	25 sf	25 sf	25 sf	25 sf
Structural soil per tree	Area	180 sf	180 sf	250 sf	250 sf	250 sf	250 sf
Soil Volume Standards for Tree Planting							
Soil volume		Minimum 2 cu ft of soil per 1 sq ft of canopy, based on average mature tree size; or 400 cu ft for small trees, 800 cu ft for medium trees, or 1,200 cu ft for large trees.					
Soil volume type and location		Soil volume goals may be achieved through connected or combined soil beds or grouped tree planting. Use of structural soil under hardscapes, planting soil in open planting beds. Volume of structural soil/engineered soil structures to be determined by percentage of soil volume available.					

- Update Street Network System map to clarify terminology of street hierarchy to match categories in zoning code and used by Public Works:



7. Reflect solar energy update from June 2019 in use table in Master Plan:

Use	F1	F2	F3	F4	F5	F6	Definition (d) Standards (s)
Public Services and Utilities							
Antenna, cellular telephone	P/C	P/C	P/C	P/C	P/C	P/C	(d), (s)
Electric transformer or gas regulator substation			P	P	P	P	(s)
Municipal building or use		P	P	P	P	P	(s)
Public utility heating or cooling plant		P	P	P	P	P	
<u>Solar energy generation facility, community</u>		<u>P/C</u>	<u>P/C</u>	<u>P/C</u>	<u>P/C</u>	<u>P/C</u>	<u>(d), (s)</u>
Utility or public service building	P	P	P	P	P	P	(d), (s)

8. Open Space diagram and descriptions

Urban Plaza and Civic Square

The urban plaza is the “front door” of the development and one of the most visible sites in the neighborhood. As a mostly paved, hardscape environment, the plaza will include features such as a fountain and public art, shopfronts that define the pedestrian space, and amenities such as tree plantings and a comfortable pedestrian environment.

Connected to the urban plaza via a narrow pedestrian connection, the a-civic square will serve as the focal point for community gathering throughout the day and year, for employees, residents, visitors and the Highland Community. The square will be located on the north end of the site near Ford Parkway, providing a link between the commerce and activity of Highland Village and the newly developed Ford site.

The ~~public~~ civic square will be lined with retail, service, residential and office uses, providing a critical mass of activity and people around the space. The square will be a pedestrian-only space, with vehicular access only for deliveries, cleaning, and emergency during restricted hours and from designated access points. Tenants choosing the office, residential and business frontages on the civic square, will be those that thrive in active, pedestrian environments, and seek a unique, place-based location that is rare to find in the region. All buildings lining the square will have vehicular access at the rear or in structured parking.

...

Community Green Space

The community green space will provide common areas to support future community gardens and other active and passive uses. Steep slopes are present on the south side of this park, and the green space will include well-defined landscaped edges and retaining walls as needed for stability and access.

[Also, update map and labels as needed to reflect the changes here and as amended in April 2019.]

9. Remove reference to T3 standards for structured parking that was adopted as part of Ryan amendments in April 2019; replaced with design standards language
10. Correct formatting errors as needed.