



**CITY OF SAINT PAUL**  
Melvin Carter, Mayor

25 West Fourth Street  
Saint Paul, MN 55102

Telephone: 651-266-6626  
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Date: July 12, 2019  
To: Comprehensive and Neighborhood Planning Committee (CNPC)  
From: Mike Richardson, Lucy Thompson and Menaka Mohan  
Subject: Design Standards Amendment to the *Ford Site Zoning and Public Realm Master Plan*  
– Recommendations Based on Public Testimony and Staff Comment

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## BACKGROUND

In 2017, the City Council directed the creation of design standards when it adopted the *Ford Site Zoning and Public Realm Master Plan (Master Plan)* (Ord 17-40). Design standards support the development of a walkable, pedestrian and bike-friendly built environment, and encourage a sense of place. They are intended to address things like how the faces of buildings meet the street, what exterior building materials should be used, and landscaping. The standards will be added to the *Master Plan*, with Zoning Code amendments necessary for consistency.

As you know, Ryan Companies (Ryan), the master developer awarded development rights to the Ford Site, requested amendments to the *Master Plan*. After recommendations from the Planning Commission, a version of those amendments was adopted by the City Council in April of 2019. While most of those changes were to existing *Master Plan* content, the design standards being considered now would be new material.

## PROCESS

A consultant team led by LHB, Inc. and supported by PlaceMakers and Forecast Public Art began working on the design standards in late fall of 2018. An inter-departmental City staff working group was created and met regularly to advise the consultant throughout the process. A focus group comprised of varied professionals and neighborhood representatives familiar with the area around the Ford Site was also assembled. The focus group met twice – once early in the process to provide guidance on overall approach and an outline of the standards, and once towards the end of the process to react to draft materials. Ryan was invited to, and participated in, both the working and focus groups.

City staff and the consultant presented at the Highland District Council's January 15, 2019 Community Development Committee meeting to provide a briefing on scope and schedule, and to answer questions. City staff hosted a public open house on April 23, 2019 at Gloria Dei Lutheran Church to update interested parties on the work, provide draft materials, and listen to feedback.

As an amendment to the *Master Plan* and per Sec 66.951 of the Zoning Code, the draft *Master Plan* and zoning text amendments are reviewed by the Planning Commission and City Council. A public hearing was held at the Planning Commission on June 28, 2019. One person spoke at the public hearing and submitted written comments. In addition to that, written comments were received from two individuals and a resolution was submitted by the Community Development Committee of the Highland District Council.

## **SUMMARY OF PUBLIC COMMENT**

The majority of the comments were neither in support nor opposition to the draft, but consisted of suggestions or concerns that people felt the Commission should consider. There were several specific comments that were beyond the scope of the design standards; these are not addressed in the recommendations. All public comments are attached. The main points made by the public were as follows:

- The human scale and relationship between public and private space is important.
  - Fence/wall height, materials, and location
  - Careful consideration of building opening requirements is warranted, noting there is a distinction between commercial and other uses
  - Avoid “parking podium” design
  - Range of heights allowed for finished floor elevations (FFE) was too restrictive
  - Flexibility should be added to allow the transition of ground floor grade to the adjacent sidewalk grade to happen exterior to the building if needed
  - Required location of gathering areas in Gateway District is too restrictive
  - Context of Gateway East lends itself to less specific setback guidance
- Proper function of the ROW is important
  - Snow storage
  - Include availability of electric vehicle infrastructure
  - Light pollution concerns
  - Consider needs for automated vehicles to avoid future retrofit
  - Preservation of trees on Mississippi River Boulevard is important
  - Use Complete Streets design guidelines, and consider barriers between vehicular traffic and pedestrians/bicyclists to improve safety
  - Ensure easy-to-use wayfinding, especially to the Mississippi River
- Access to private development is important.
  - Should be some flexibility due to site constraints
  - Pedestrian safety at points of ingress and egress is very important
- Consider expanding material choices for both buildings and pavement.
  - Allow architectural expression
  - Additional materials may be appropriate for both buildings and pavement
- Beware of inconsistencies between draft standards and other regulations.
  - Setback requirements
  - Access to parcels

## **COMMENTS FROM OTHER CITY DEPARTMENTS**

As noted at the May 29 meeting of the CNPC, the nature of the design standards has required frequent coordination with the Departments of Public Works, Parks and Recreation, Safety and Inspections, and the City Attorney’s Office. That coordination continued through the public review period and informed the recommendations below.

## **RECOMMENDED CHANGES**

Due to the large volume of feedback from the Committee, the public and other City departments, significant changes to the draft are recommended. While they are summarized here, staff will walk through them in more detail with the Committee on July 17. All proposed changes will be available to the full Planning Commission following the Committee’s discussion. To bring the Zoning Code and proposed *Master Plan* amendments into alignment, Zoning Code text amendments are also necessary.

### *Master Plan:*

- Organization
  - Clarify headers and reorder content – general to specific
  - Eliminate content already in *Master Plan* or Zoning Code
    - Open Space diagram and summary of standards
  - Street Planting Standards
    - Eliminate content already in *Master Plan* or Zoning Code (i.e. height of boulevard plantings and number of species required)
- Clarify process for future revisions
- Address issues of human scale and relationship between public and private
  - Simplify the building opening standards and make them more specific to the pedestrian experience
  - Streamline frontage standards, especially Urban Center
- Minor corrections and updates:
  - Revise Table of Contents
  - Make Open Space System maps and descriptions consistent
  - Remove references to forthcoming design standards
  - Clarify terminology of street hierarchy to match categories in zoning code and used by Public Works
  - Correct formatting errors
  - Solar energy update to use table
  - Remove reference to T3 standards for structured parking that was adopted in April 2019; replaced with design standards language as anticipated

### *Zoning Code Text Amendments:*

- Add F districts to Sec 60.301 Zoning districts established
- Add F districts to Sec 64.503 re: signs
- Transposition error re: one-family dwelling height
- Clarify that site plan review is required for one- and two-family dwellings
- Add process clarity to modifications not covered by variance process

July 12, 2019

CNPC – Ford Design Standards, Post-Hearing Recommendations

**RECOMMENDED ACTION**

Staff recommends that the CNPC recommend that the Planning Commission:

1. Forward the revised draft Ford Design Standards and related Zoning Code text amendments to the Mayor and City Council with a recommendation for approval and amendment to the *Ford Site Zoning and Public Realm Master Plan*.

**Attachments:**

1. Public Comment for Ford Design Standards Draft and Related Text Amendments
2. Recommended Changes to the Ford Design Standards Draft and Related Text Amendments (red-line version)

**Cc:**

Ward 3 Office  
City Attorney's Office  
Design Standards Working Group  
Tony Barranco, Ryan Companies

**ATTACHMENT 1:**

**Public Comment for Ford Design Standards Draft and Related Text Amendments**

## Richardson, Mike (CI-StPaul)

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**From:** Nathaniel M Hood <nmhood@gmail.com>  
**Sent:** Monday, June 17, 2019 2:41 PM  
**To:** Richardson, Mike (CI-StPaul)  
**Cc:** #CI-StPaul\_Ward3; McMahon, Melanie (CI-StPaul); Tolbert, Chris (CI-StPaul)  
**Subject:** Ford Site Design Standards | Planning Commission | Submitted Comments

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Think Before You Click: This email originated outside our organization.

Good afternoon Mike,

I am submitting comments for the City of St. Paul's Ford Site Design Standards – If possible, could you submit these comments to the Planning Commission for consideration for the June 28th public hearing?

I am generally supportive of the Ford Site Design Standards as written. I think city staff did a good job highlighting the major issues. There are only a few additional items I feel could be improved on. I have detailed those below. Thank you for your consideration -- and thank you in advance to passing along to the city's Planning Commission.

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### Page 2: Open Space Diagram –

- The City should aim to connect Village Way to the site to allow for pedestrian and bike traffic. This can be accomplished in a cost-effective way with a 10ft shared-use bituminous trail.
- The City should also aim to create a connection on the north of the Highland Ball fields (Open Space "H") to allow pedestrian traffic to connect through to Saunders Ave. This can be accomplished in a cost-effective way with a 10ft shared-use bituminous trail.
- The extension of Saunders Ave on the western section of the Ford Site is labeled as "Galaxie Ave". This may be confusing and I recommend being consistent throughout the corridor and staying with "Saunders Ave" (unless there is a historic reason / rational precedent for changing the name).

### Page 3: Open Space Standards –

For "Open Space F" titled "Hidden Falls Headwaters Park" - While the the stormwater function is important, we should aim to make this space a great amenity for the neighborhood and include language to design it in a manner that doesn't make it simply a stormwater-run off retention wetland. The pond concept was one of the few non-controversial elements of the plan (it was widely supported) and we should aim to identify this space as something more than a "stormwater feature".

### Page 4: Street Types and Descriptions –

Under "Vehicle Access Street", the City should aim to limit the size of curb cuts for parking garages/underground parking to 22 to 24ft. Smaller curb cuts lead to lower turning speeds and allow for more on-street parking opportunities. Slower speeds for vehicles leaving garages will lead to a safer pedestrian environment.

### Page 7: Gateway East Definition

The paragraph states that "greenspace is *encouraged* to face the street". I believe we should change the language to "*should*". This area of the site will be the most dense residential district of the site and I believe that it's important we incorporate good, greenspace at the street level in this node. A well-design linear public greenspace can help make a dense residential district feel quiet, quaint and comfortable.

**Page 8:**

“G12” - “Where breaks occur, the street edge shall be continued through the use of fencing, low walls and/or landscaping”. We should add that the fencing should aim to be decorative and the low walls be made of higher quality building material.

**Page 9:**

“G18” - This section should provide guidance on structured and underground parking access design, such as curb cut width (aim for 22ft to 24ft for residential, slightly larger for commercial) and to provide a design that allows for safe exiting with proper site views. Having abrupt exits from structured parking can create a safety issue for pedestrians (e.g.: *The Finn onto Highland Parkway as an example of what not to do*). Smaller curb cuts lead to lower turning speeds and allow for more on-street parking opportunities. Slower speeds for vehicles leaving garages will lead to a safer pedestrian environment.

**Page 12:**

“S7” – The maximum height for a decorative fence should be reduced to 36”. This is an appropriate height to delineate private space, but will do so by not being as imposing as taller fencing/ walls. I believe making this modification will help make the pedestrian space along MRB better.

**Page 14: F3 Residential Mixed Mid**

The City should aim to include language regarding residential parking facilities. If too difficult / cost prohibitive to allow underground parking, the building should avoid the “parking podium” design which can create a blank space at the human-scaled pedestrian realm.

**Page 23: F6 Gateway**

“S43” – This outlines the building materials recommended. I agree with the building material standards on all other districts that favors a neo-traditional urban design. However, the Gateway is an opportunity to allow for a creative / landmark structure. While we should still aim for a high standard of material and design, I believe we should deviate from the norm of the site in this district to allow more architectural flexibility; such as glass buildings, create metal façade buildings, etc.). I do not have recommendations on what new language would look like, but this is the one district where we should explore something ambitious/creative.

Thanks again for the consideration,

- Nate Hood  
Highland Park, St. Paul

1879 Montreal Ave.  
St. Paul, MN 55116



# HIGHLAND

## DISTRICT COUNCIL

1978 Ford Parkway • Saint Paul MN 55116 • 651.695.4005 • [HighlandDistrictCouncil.org](http://HighlandDistrictCouncil.org)

### Resolution on Ford Site Design Standards, Public Grounds Maintenance, and Placement of Utilities

Whereas the Highland District Council's Community Development Committee met with the City of Saint Paul, and Mike Lamb from LHB Urban Design and Planning on June 18<sup>th</sup> to discuss the proposed Design Standards for the Ford Site; and

Whereas there was a question about how building codes were factored into the Design Standards and Master Plan and what happens if they are updated during this process; and

Whereas the committee was concerned that the maintenance of public grounds, and placement of utilities are not specified in the Design Standards; therefore

Be it Resolved, that the Community Development Committee of the Highland District Council requests that the City make sure there is some method of accountability, for updating building codes, public ground maintenance contracts, and placement of utilities.

Approved June 25, 2019

By the Community Development Committee of the Highland District Council



## Butler, Sonja (CI-StPaul)

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**From:** Richardson, Mike (CI-StPaul)  
**Sent:** Friday, June 28, 2019 7:31 AM  
**To:** David Sullivan-nightengale  
**Cc:** Butler, Sonja (CI-StPaul)  
**Subject:** Re: Ford Design Standards Public Comment

Thank you very much, Mr. Sullivan-Nightengale.

Your comments will be forwarded to the Planning Commission for their consideration.

Regards,  
Mike Richardson

On Jun 27, 2019, at 10:31 PM, David Sullivan-nightengale <[dsullivannightengale@yahoo.com](mailto:dsullivannightengale@yahoo.com)> wrote:

**Think Before You Click: This email originated **outside** our organization.**

Mr. Richardson:

Regarding the Ford Design Standard I make the following recommendations

1. Include the design criteria of the MNDOT Complete Streets Policy
2. Consider using barriers of any variety to prevent motor vehicles from colliding with pedestrians and businesses as this hazard continues to be unmitigated in both state and federal design standards
3. Consider making all new construction require fire sprinklers. Water has been proven to put out fires. Yes, the fire chief says it every year and we continue to ignore it.
4. Ensure adequate capability for inclusion of charging stations of electric vehicles especially bonding and grounding systems into the public right of way
5. Ensure all above ground power lines are buried to improve system reliability
6. Improve signage to assure people can find their way through the community without needing to own a smart phone
7. Include areas where snow can be piled without obstructing views between vehicle operators and pedestrians
8. Consider embedding a local operating network for public lighting to lower light pollution for the nearby Mississippi National River and Recreational Area.
9. Ensure people remain off of nearby dangerous sloped areas with improved guards and barriers
10. Provide safe access to the nearby river so people can connect with the paddlecraft community
11. Nothing is specifically zoned for schools or health clinics. We've seen how this can be problematic in the long run. It's a long way from the Ford Site to the get medical care as the former Ford workers know so very well.
12. The area is in the airport operations area for one of the runways at Minneapolis-St. Paul International Airport. Construction and habitation in this area falls inside the airport certification plan and risk reduction measures to lower bird strikes must be taken. Migratory pattern changes due to people living in this area as opposed to simply working in this area will occur resulting in a higher risk. Onsite use of composting or open garbage container restrictions are recommended for communities in close proximity to airports like MSP.
13. The advent of urban air mobility means that smaller and more frequent air travel across the site is possible. Consider noise mitigations for new construction.
14. Consider implementing signage and sensing elements to allow the safe use of autonomous vehicles now so we don't have to go through costly retrofits ten years from now.

Respectfully,

David J. Sullivan-Nightengale  
Certified Safety Professional  
1132 Norton Street  
St. Paul, MN 55117  
(651) 247-6410



Ford Site Design Standards - Ryan Companies Comments List 06.27.2019		
Change	Ryan Comments/Concerns	Page # or Section #
1	The Ryan Companies renderings from 2018 should be an additional reference point for the design standards	1
2	Specific requirements for programming/content in each of the open spaces will differ depending on the community engagement process and the funding resources available at the time of design/construction	3
3	Access restrictions to certain blocks must have flexibility depending on the final development conditions of the block (i.e. multiple buildings on one block may not be able to access from only one street). Ranger Way specifically is a concern for lack of vehicular access allowed if access is restricted from Cretin Ave	4
4	Preservation of trees must be considered along Mississippi River Boulevard	5, 10
5	Restrictions on wall heights pose issues with certain areas of the mass site grading and future building plans given the challenging topography of the site	8
6	Permitted materail list for private walks should be expanded	8
7	Requirements on Commerical, Civic and Mixed-use areas of the plan regarding building form, doors and windows	8, 14
8	Building material pallet should be expanded	9, 14, 23
9	Increased setback on specific F1 district lots creates inconsistencies between other lots in this district	11
10	Requiring walls to deliniate public and private space can be successfully solved by other means	12
11	Redundancy with the Public Realm Plan in permitted building types	14
12	Due to the challenging topography of the site, the finished floor elevations in relationship to exterior grade will vary across all of the buildings. Restricting this relationship to such as tight delta (18-42") will not be possible	15
13	The specific dimension of the proposed step-back on upper floors does not work with standard floor plans of multi family projects	16
14	Restrictions to shopfront facades should only apply for frontage of the specific commercial use, not the entire building	17, 18, 20
15	Alternative square and plaza surface materials, such as stamped concrete, should be allowed at the discretion of city staff for specific design features	19, 21
16	Due to the challenging topography of the site, flexibility should be allowed to transition the ground floor grade to the adjacent sidewalk grade exterior to the building (i.e. ramping) in certain instances	20
17	Consideration should be given to the building setback and location of the gathering areas in order to allow for the informal nature of the park	24
18	Based on the location and surrounding land uses, a larger setback or building placement may be preferable	25
19	Review for inconsistencies with the Public Realm Plan	66.931
20	Consideration should be given to the minor and major modification change descriptions	66.951

Mr. Tony Barranco  
 4439 Fremont Avenue So.  
 Mpls. MN 55419

ATTACHMENT 2:

Recommended Changes to the Ford Design Standards Draft and Related Text Amendments  
(red-lined version)

## Introduction

The design standards are to be used in concert with the building type details and form requirements found in ~~Chapter 5: Zoning – Building Types, with Chapter 6: Infrastructure, and in coordination with the~~ other chapters of the *Ford Site Zoning and Public Realm Master Plan*. The ~~2017~~ <sup>2019</sup> ~~Paul Zoning Code~~ <sup>City of Detroit Zoning Code</sup> acts as the backdrop of zoning and other building and site regulations for all elements not specifically referenced within this chapter. It will be used in tandem throughout the design and review process. The design standards that follow support and complete the walkable, pedestrian-and bike-friendly built environment of the Ford Site.

The design standards are organized ~~around the open space system, street network and by zoning district. Each of following diagrams describe a framework for the standards:~~

- Open Space Diagram
- Street Types Diagram

The Open Space diagram locates all the public parks and open space, including the stormwater functions. The Street Types diagram graphically maps where the walkable pedestrian environment is given priority ~~for other travel modes~~, and where sidewalks and paths should not be interrupted by driveways, garage or service curb cuts.

Design standards that apply by zoning district ~~are~~ <sup>are</sup> focused on private spaces, lots, yards, ~~frontages~~ <sup>frontages</sup> and buildings. In particular, since ~~a~~ <sup>a</sup> district includes unique areas and features, frontage types address how the public/private development interface complements the public realm. A total of nine (9) unique frontages are applicable in various districts. ~~Frontage conditions and requirements regulate the composition of open space and buildings that the zoning districts do not already address.~~

by the three scales to which they apply: site-wide, by zoning district, and by frontage type.

Add to the Zoning Chapter of the MP:














Modifications to Ford-related items defined in the Zoning Code will be subject to the City's variance process, Sec. 69.703.

Minor amendments and interpretation of other master plan requirements will be reviewed administratively as defined by the Zoning Code.

[The proposed text amendment that accompanies this document includes additional rules for minor/major amendments, and defines the process by which other aspects of the Master Plan are reviewed during the site plan review process.]

# Summary of Comments on CNPC DS Red Line 7\_10\_19.pdf

Page: 1

- 
-  Number: 1 Author: richarmi Subject: Cross-Out Date: 7/11/2019 8:52:41 AM  
The standards also relate to Chapter 4, this change simplifies the language.
- 
-  Number: 2 Author: richarmi Subject: Inserted Text Date: 7/11/2019 11:30:17 AM  
and the
- 
-  Number: 3 Author: richarmi Subject: Inserted Text Date: 7/11/2019 11:30:26 AM  
, which
- 
-  Number: 4 Author: richarmi Subject: Cross-Out Date: 7/11/2019 8:57:11 AM  
The open space system map and descriptions are recommended to be incorporated into other sections of the MP or design standards. The street types diagram will be simplified and not describe all street types. In engagement during the public comment period, staff described the organization at three scales, which seemed to be more clear.
- 
-  Number: 5 Author: richarmi Subject: Text Box Date: 7/11/2019 8:59:26 AM  
by the three scales to which they apply: site-wide, by zoning district, and by frontage type.
- 
-  Number: 6 Author: richarmi Subject: Text Box Date: 7/15/2019 7:57:24 AM  
Add to the Zoning Chapter of the MP:
- Modifications to Ford-related items defined in the Zoning Code will be subject to the City's variance process, Sec. 69.703.
- Minor amendments and interpretation of other master plan requirements will be reviewed administratively as defined by the Zoning Code.
- [The proposed text amendment that accompanies this document includes additional rules for minor/major amendments, and defines the process by which other aspects of the Master Plan are reviewed during the site plan review process.]
- 
-  Number: 7 Author: richarmi Subject: Inserted Text Date: 7/11/2019 9:07:17 AM  
Vehicle Access
- 
-  Number: 8 Author: richarmi Subject: Cross-Out Date: 7/11/2019 9:07:53 AM
- 
-  Number: 9 Author: richarmi Subject: Inserted Text Date: 7/11/2019 9:00:50 AM  
and frontage type
- 
-  Number: 10 Author: richarmi Subject: Cross-Out Date: 7/11/2019 9:01:18 AM
- 
-  Number: 11 Author: richarmi Subject: Cross-Out Date: 7/11/2019 9:01:04 AM
- 
-  Number: 12 Author: richarmi Subject: Inserted Text Date: 7/11/2019 9:01:53 AM  
Because
- 
-  Number: 13 Author: richarmi Subject: Cross-Out Date: 7/11/2019 9:06:12 AM  
This sentence introduces confusion in terms of which piece of regulation applies (specific vs. general, more restrictive).

## Open Space Diagram

The Open Space diagram addresses the key publicly-accessible places within the site. They range from a private<sup>1</sup> owned plaza and square, to City-owned spaces to a multi-functional stormwater space. The following standards apply to the open spaces shown here. *Chapter 9 Public Art* includes additional information about open space.

<sup>3</sup> This page and the next will be deleted, with relevant information incorporated in other parts of the MP or design standards. The Open Space System and Types Maps in the Open Space Chapter will be combined into one map, with designation of public (where Parks standards will apply) and private graphically shown. The split of the larger Civic Square into Urban Plaza and Civic Square will be reflected in that map and narrative.

### Legend

 Open Space

\*Map not to scale



## Page: 2

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Number: 1 Author: richarmi Subject: Line Date: 7/11/2019 9:15:05 AM

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Number: 2 Author: richarmi Subject: Line Date: 7/11/2019 9:14:57 AM

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Number: 3 Author: richarmi Subject: Text Box Date: 7/11/2019 9:14:27 AM

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This page and the next will be deleted, with relevant information incorporated in other parts of the MP or design standards. The Open Space System and Types Maps in the Open Space Chapter will be combined into one map, with designation of public (where Parks standards will apply) and private graphically shown. The split of the larger Civic Square into Urban Plaza and Civic Square will be reflected in that map and narrative.



The content of this page will be reorganized in one of three ways: 1) moved to Open Space chapter of the MP; 2) deleted due to duplication in existing MP language; 3) moved to frontage section of design standards.

## 2 Open Space Standards

### 4 - Urban Plaza

The Urban Plaza is the “front door” of the development and one of the most visible sites in the neighborhood. As a mostly paved, hardscape environment, the Plaza will include signature entry features, public art, shopfronts that define the pedestrian space, and amenities such as tree plantings and a comfortable pedestrian environment.

### 10 - Civic Square

The Civic Square is the central gathering and activity space in the neighborhood. It will host a variety of functions and uses throughout the seasons. It will be a mostly paved, hardscape surface with a dedicated “tree/landscape planting space” (20-30’ wide) that provides a green edge to the Square.

### 14 - Central Open Space

The Central Open Space includes a major stormwater facility, but will also act as the largest continuous open space in the development. Each side of the open space edge will contain a wide, multi-use public right-of-way designed for pedestrians, bikers and other non-auto modes, but will allow emergency vehicle access. The landscape character will complement the building types allowed in the F3 and F4 districts.

### 22 - Gateway Park

This park, located in the northwest corner of the site, acts as a major entry point from Ford Parkway, and will contain public art and arrival features appropriate to its large scale. Gateway Park will include stormwater treatments designed to complement the informal landscape character of Mississippi River Boulevard. Department of Parks and Recreation standards will apply.

### 3 - Neighborhood Park

The Neighborhood Park provides an active green space on the west side of the development for residents and visitors of all ages and abilities. Department of Parks and Recreation standards will apply.

### 9 - Hidden Falls Headwaters Park

The Great River Passage Master Plan identifies Hidden Falls Creek as an historic asset to be restored as an ecological and pedestrian link between the Mississippi River corridor and the neighborhood. A majority of the park will be dedicated to stormwater functions and will be designed in coordination with the Ford Site Zoning and Public Realm Master Plan, the Hidden Falls Master Plan and Great River Passage Master Plan. Department of Parks and Recreation standards will apply.

### 15 - Community Green Space

This area is characterized by steep slopes, but will provide the common areas to support community gardens and other active and passive uses. The green space will include well-defined landscaped edges and retaining walls as needed for stability and access. It will help establish the overall urban forest and tree canopy on-site. Department of Parks and Recreation standards will apply.

### 23 - Little League Fields

Two of the existing baseball fields will remain in private ownership. Street edge, boulevard landscape and street trees will be planted per City of Saint Paul Public Works street standards, and will complement the landscape character associated with Gateway East district.

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☰	Number: 1	Author: richarmi	Subject: Text Box	Date: 7/15/2019 8:36:55 AM
	<b>The content of this page will be reorganized in one of three ways: 1) moved to Open Space chapter of the MP; 2) deleted due to duplication in existing MP language; 3) moved to frontage section of design standards.</b>			
✚	Number: 2	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:18:03 AM
✚	Number: 3	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:49:33 AM
	Duplicates material in P&OS chapter.			
📄	Number: 4	Author: richarmi	Subject: Comment on Text	Date: 7/15/2019 8:41:01 AM
	Move to Parks and Open Space chapter of the MP. Add urban plaza as sub-part of civic square.			
✚	Number: 5	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:49:50 AM
	Indicate in legend on open space map.			
✚	Number: 6	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:39:06 AM
✚	Number: 7	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:39:37 AM
📄	Number: 8	Author: richarmi	Subject: Inserted Text	Date: 7/15/2019 8:39:33 AM
	such as a fountain			
✚	Number: 9	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:51:16 AM
	Duplicates material in P&OS chapter and Stormwater Management System section.			
✚	Number: 10	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:44:51 AM
	Duplicates existing material in P&OS chapter.			
📄	Number: 11	Author: richarmi	Subject: Comment on Text	Date: 7/15/2019 8:51:50 AM
	Add references to Hidden Falls section of the P&OS chapter.			
✚	Number: 12	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:43:48 AM
	Now in Urban Center frontage, S22 (modified)			
✚	Number: 13	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:52:00 AM
	Indicate in legend on open space map.			
✚	Number: 14	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:46:52 AM
	Described in Stormwater Management System section of the MP and Falls Passage street description.			
📄	Number: 15	Author: richarmi	Subject: Comment on Text	Date: 7/15/2019 9:01:31 AM
	Move to Parks and Open Space chapter of the MP as description of additional park.			
✚	Number: 16	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:53:32 AM
📄	Number: 17	Author: richarmi	Subject: Inserted Text	Date: 7/15/2019 8:53:29 AM
	The community green space			
📄	Number: 18	Author: richarmi	Subject: Inserted Text	Date: 7/15/2019 8:54:26 AM
	future			
📄	Number: 19	Author: richarmi	Subject: Inserted Text	Date: 7/15/2019 8:53:54 AM
	While steep slopes are present on the south side of this park,			
✚	Number: 20	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:57:57 AM
	Due to sloped condition and potential as community garden space, P&R does not agree this is the best location to establish tree canopy.			
✚	Number: 21	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:52:09 AM
	Indicate in legend on open space map.			
✚	Number: 22	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:47:42 AM
	Duplicates material in P&OS chapter.			
✚	Number: 23	Author: richarmi	Subject: Cross-Out	Date: 7/15/2019 8:59:02 AM
	Not needed, covered in P&OS chapter, recreational fields.			

The content of this page will be reorganized in one of three ways: 1) moved to Open Space chapter of the MP; 2) deleted due to duplication in existing MP language; 3) moved to frontage section of design standards.

## Open Space Standards

### A - Urban Plaza

The Urban Plaza is the “front door” of the development and one of the most visible sites in the neighborhood. As a mostly paved, hardscape environment, the Plaza will include signature entry features and public art, shopfronts that define the pedestrian space, and amenities such as tree plantings and a comfortable pedestrian environment.

### B - Civic Square

The Civic Square is the central gathering and activity space in the neighborhood. It will host a variety of functions and uses throughout the seasons. It will be a mostly paved, hardscape surface with a dedicated “tree/landscape planting space” (20-30’ wide) that provides a green edge to the Square.

### C - Central Open Space

The Central Open Space includes a major stormwater facility, but will also act as the largest continuous open space in the development. Each side of the open space edge will contain a wide, multi-use public right-of-way designed for pedestrians, bikers and other non-auto modes, but will allow emergency vehicle access. The landscape character will complement the building types allowed in the F3 and F4 districts.

### D - Gateway Park

This park, located in the northwest corner of the site, acts as a major entry point from Ford Parkway, and will contain public art and arrival features appropriate to its large scale. <sup>24</sup> Gateway Park will include stormwater treatments designed to complement the informal landscape character of Mississippi River Boulevard. <sup>28</sup> Department of Parks and Recreation standards will apply.

### E - Neighborhood Park

The Neighborhood Park provides an active green space on the west side of the development for residents and visitors of all ages and abilities. Department of Parks and Recreation standards will apply.

### F - Hidden Falls Headwaters Park


The Great River Passage Master Plan identifies Hidden Falls Creek as an historic asset to be restored as an ecological and pedestrian link between the Mississippi River corridor and the neighborhood. A majority of the park will be dedicated to stormwater functions and will be designed in coordination with the Ford Site Zoning and Public Realm Master Plan, the Hidden Falls Master Plan and Great River Passage Master Plan. Department of Parks and Recreation standards will apply.

### G - Community Green Space


This area is characterized by steep slopes, but will provide some common areas to support community gardens and other active and passive uses. The green space will include well-defined landscaped edges and retaining walls as needed for stability and access, and will help establish the overall urban forest and tree canopy on-site. Department of Parks and Recreation standards will apply.

### H - Little League Fields


Two of the existing baseball fields will remain in private ownership. Street edge <sup>25</sup> boulevard landscape and street trees will be planted per City of Saint Paul <sup>27</sup> Public Works street standards, <sup>26</sup> will complement the landscape character associated with Gateway East district.

 Number: 24 Author: richarmi Subject: Cross-Out Date: 7/15/2019 8:48:20 AM  
Represented in frontage standard S46.

---

 Number: 25 Author: richarmi Subject: Comment on Text Date: 7/15/2019 8:59:36 AM  
Move to Recreational Fields section of P&OS chapter.


---

 Number: 26 Author: richarmi Subject: Cross-Out Date: 7/15/2019 8:59:41 AM

---

 Number: 27 Author: richarmi Subject: Cross-Out Date: 7/15/2019 8:59:10 AM

---

 Number: 28 Author: richarmi Subject: Cross-Out Date: 7/15/2019 8:49:07 AM  
Indicate in legend on open space map.

---

## Street Types and Descriptions <sup>1</sup>

<sup>3</sup>The Street Types <sup>4</sup>Diagram identifies <sup>5</sup>street types to create a mixed-use, walkable neighborhood. It graphically summarizes how pedestrian movement and vehicle access are prioritized. (Also refer to Exhibit \_\_\_ Street Network System for functional street classifications.)

### <sup>7</sup>Front Street

<sup>9</sup>Multi-modal street with pedestrian priority; garage, service and loading access is limited. (also referred to as “primary pedestrian way” or “main pedestrian way” in the Master Plan).


### <sup>10</sup>Vehicle Access Street

Multi-modal street with pedestrian orientation; garage, service and loading access is permitted. (also referred to as “alley or service street”, and “side and rear street” in the Master Plan).

### <sup>11</sup>Pedestrian/Bike Street

Multi-modal, non-auto access street with emergency vehicle access allowed as needed (also referred to as “shared lane” and “pedestrian and bicycle way” in the Master Plan).

## Legend

-  <sup>12</sup>Front Street
-  <sup>13</sup>Access Street
-  <sup>14</sup>Pedestrian/Bike Street

\*Map not to scale



Number: 1	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:22:44 AM
Vehicle Access			
Number: 2	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:27:15 AM
Simplifying this figure makes the reference to street classifications less important.			
Number: 3	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:30:54 AM
The Master Plan is intended to create a walkable, mixed-use neighborhood with pedestrian access on all streets. However, vehicular access to parcels is a necessary.			
Number: 4	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:22:58 AM
Vehicle Access			
Number: 5	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:32:23 AM
locations where vehicular access to private access should be located to minimize conflict with people on more pedestrian-focused streets. Due to site constraints, limited garage, service and loading access may be necessary on other streets.			
Number: 6	Author: richarmi	Subject: Line	Date: 7/11/2019 9:33:30 AM
Number: 7	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:27:34 AM
Number: 8	Author: richarmi	Subject: Text Box	Date: 7/11/2019 9:34:06 AM
Revised map to show only vehicle access locations.			
Number: 9	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:27:46 AM
Number: 10	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:32:53 AM
Number: 11	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:32:34 AM
Number: 12	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:33:01 AM
Number: 13	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:33:25 AM
Vehicle			
Number: 14	Author: richarmi	Subject: Cross-Out	Date: 7/11/2019 9:33:06 AM



## Street Type Standards

~~2~~rect tree planting in public rights of way (ROW) and boulevards are addressed by the vegetative and soil requirements of the Ford Site Zoning and Public Realm Master Plan, the Department of Public Works and the Urban Forestry Division of the Department of Parks & Recreation. Specific elements include how boulevards are planted along block faces and at intersections, materials and other related elements. See the end of this chapter for additional resources.

### 3 Mississippi River Boulevard

Trees ~~4~~ong the boulevard and within 30' of the ROW in the private setback shall be mid-successional native species or adapted to urban and riparian habitats of this region and planted in an informal pattern.

### 5 Metin Avenue South


Trees shall be planted from Ford Parkway to Montreal Avenue at regular spacing in the boulevards and medians; no more than 25% of the trees in any one block shall be of a single species.

## Boulevard Standards


~~6~~n addition to existing City standards that regulate the use and function of boulevards, alternative surfacing, including hardy perennial ground covers and shrubs, is permitted with mature a height of less than 30'. ~~7~~atural colored wood or rock mulch.




---

 Number: 1 Author: richarmi Subject: Line Date: 7/11/2019 10:22:23 AM


---

 Number: 2 Author: richarmi Subject: Cross-Out Date: 7/11/2019 10:24:14 AM  
Unnecessary if already present in vegetative and soil requirements of the MP.


---

 Number: 3 Author: richarmi Subject: Highlight Date: 7/12/2019 8:54:34 AM  
Incorporate with S1 in F1 river res (p. 10 of the PC draft).


---

 Number: 4 Author: richarmi Subject: Cross-Out Date: 7/11/2019 10:25:20 AM


---

 Number: 5 Author: richarmi Subject: Highlight Date: 7/11/2019 5:10:27 PM  
Delete here, but add a row to Table 4.4 (p.49) that says trees are required in medians wider than 4'. It would go after Street tree requirements row and would read: Street trees in medians. Unit: N/A. All districts: Required in medians wider than 4'.

---

 Number: 6 Author: richarmi Subject: Cross-Out Date: 7/11/2019 10:49:25 AM  
This is addressed in Sec 105.04 of the Code (Boulevard Planting). Hardy, perennial ground covers and shrubs are already permitted through (c)(5), and height is defined by (c)(3): "Plantings may not exceed thirty-six (36) inches in height. Plantings within thirty (30) feet of any intersection as measured from the property line; or within five (5) feet of any alley, or driveway approached as measured from the end of the radius or within five (5) feet of a public utility fixture may not exceed eighteen (18) inches in height. Plantings shall be limited to eighteen (18) inches in height within ten (10) feet of the curb on street sections that do not have parking lanes, or on street sections or portions of street sections where "rush hour or 24-hour no parking" restrictions apply."

---

 Number: 7 Author: richarmi Subject: Cross-Out Date: 7/11/2019 10:41:50 AM  
Public Works and Parks do not want this in public ROW.

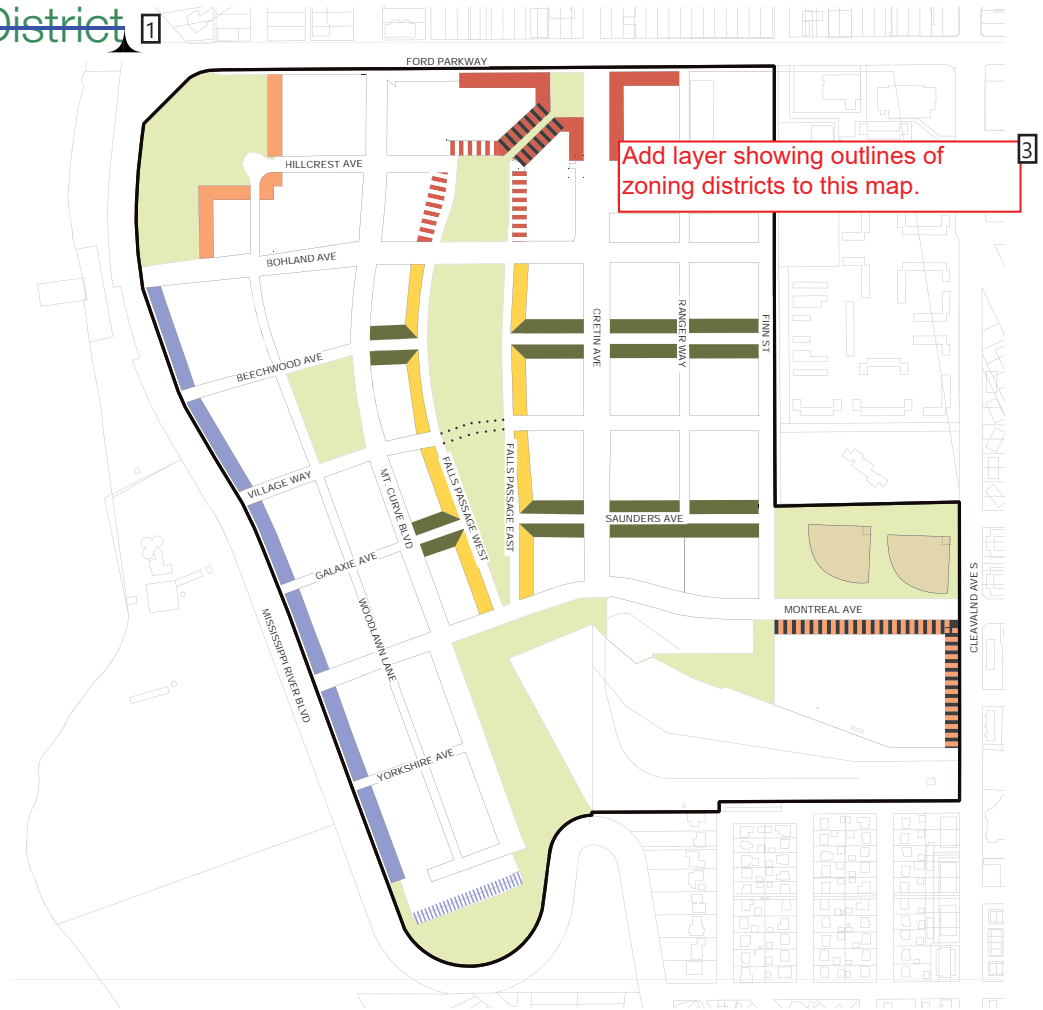
---



## Design Standards by District <sup>1</sup>

Design standards also apply in each F District and address the private lots, buildings, yards and frontages. <sup>2</sup> Each district contains unique areas and features to which frontage types are directly applied to enhance the relationship between private development and public realm. A total of nine (9) frontages are applicable in various districts and are shown on the Frontage Map. "Frontage" is the combination of the building type/façade, yard/setback, public walk, and the relationship to the boulevard and street.






<sup>5</sup> ~~All design standards are in addition to and supplement Chapter 4: Zoning — Districts & General Standards for uses, vegetation & landscape, lighting, solar, roofing, green roofs, and parking.~~






\*Map not to scale



## Page: 6

- 
-  Number: 1 Author: richarmi Subject: Inserted Text Date: 7/11/2019 2:01:36 PM  
"Design Standards by Zoning District and Frontage Type" and move to after Site-wide Design Standards (currently pp.8-9)
- 
-  Number: 2 Author: richarmi Subject: Inserted Text Date: 7/11/2019 11:32:26 AM  
by zoning district and frontage type.
- 
-  Number: 3 Author: richarmi Subject: Text Box Date: 7/11/2019 11:34:09 AM  
**Add layer showing outlines of zoning districts to this map.**
- 
-  Number: 4 Author: richarmi Subject: Inserted Text Date: 7/11/2019 7:39:28 PM  
standards are
- 
-  Number: 5 Author: richarmi Subject: Cross-Out Date: 7/11/2019 7:41:37 PM  
Don't need to duplicate this if it's said very clearly in the introduction.

## Frontage Types

-  *Urban Center*
-  *Urban Center/Diagonal*
-  *Urban Center/Residential*

The intent of the Urban Center frontage type is to ensure that the Urban Plaza, Diagonal Way and Civic Square spaces are vibrant and active, that building facades provide an edge to and define the public realm, and that ~~1st floor uses relate appropriately with~~ public activity in the plaza and square. ~~1~~ Frontage types vary depending on whether the first-floor use is residential or non-residential. ~~2~~

### *Gateway West*

The intent of the Gateway West frontage type is to activate Gateway Park based on the scale of the open space and the likely building types that will face it. Gateway West is a large open space that will feature an ~~arrival feature~~ ~~3~~ to welcome people to the new neighborhood.

### *Gateway East*

The intent of the Gateway East frontage type is to guide how active uses on the site relate to Montreal and Cleveland avenues. ~~4~~ ~~green space is on the site, any buildings related to those uses are encouraged to face the street.~~

### *Central Open Space*

The intent of the Central Open Space frontage type is to frame and activate this central defining feature of the new neighborhood. Given the anticipated amount of activity in this area, it will be especially important to provide a well-defined edge between the public and private realms along Falls Passage.

### *Pedestrian/Bike Street*

The intent of the Pedestrian/Bike Street frontage type is to design and scale buildings in proportion to a narrower, limited-mode right-of-way. Given the planned scale of the buildings along these rights-of-way, designing the frontages to avoid a “canyon effect,” blank walls, garage and service access, and exposed building utilities will be critical to maintaining vibrancy.


### *Mississippi River Boulevard*

The intent of the River Boulevard frontage type is to continue the physical character and relationship between street and building that already exists along Mississippi River Boulevard (MRB). Maintaining the unique arrangement of street, sidewalk, public landscaping, private landscaping and building façade will provide an edge to the new neighborhood consistent with the historic pattern along MRB.


### *Mississippi River Boulevard South*

The intent of the River Boulevard South frontage type is to design and site residential structures so that there is a clear delineation between private property and the public space to the south. This frontage type must ensure that the open space is understood to be accessible to the public.

---

 Number: 1 Author: richarmi Subject: Cross-Out Date: 7/11/2019 8:18:24 PM


---

 Number: 2 Author: richarmi Subject: Inserted Text Date: 7/11/2019 8:20:30 PM  
does not negatively impact activity in the private development and vice-versa

---

 Number: 3 Author: richarmi Subject: Inserted Text Date: 7/11/2019 7:56:26 PM  
element

---

 Number: 4 Author: richarmi Subject: Cross-Out Date: 7/11/2019 7:55:36 PM  
Not necessary; there are max and min setbacks for all building types per the MP. Also, buildings for any use are required to locate a primary entrance within the front third of the building and have a direct pedestrian connection to the street per 63.110(a). Also, G15 (modified) will address this.

## Standards Applicable to All Districts <sup>1</sup>

### Private Landscape Standards

(Refer also to requirements for vegetative, landscape and building lot coverage in Chapter 4).

#### Lawns and Gardens

<sup>4</sup> Plant materials shall provide visual, multi-seasonal color and a layered aesthetic with plant materials at various heights and textures (refer to pages 47-49 of the Master Plan).

<sup>5</sup> Site and retaining walls shall be of long-lasting quality materials, with preference given to natural stone and clay brick that coordinates with related building materials on nearby structures. Segmental block is permitted, but shall be selected for resistance to salt and weather and are appropriate in ~~fit~~ <sup>7</sup>ish and color to building materials.

<sup>8</sup> Walls <sup>6</sup>ceeding 4' in height shall be terraced to soften the appearance of large walls. <sup>10</sup>mbing and cascading plants should be used.

<sup>11</sup> All retaining walls designed to retain or protect roadway ROW shall be designed as cast-in-place cantilever walls per the MNDOT Roadway Design Manual.

#### Pavements and Surfaces

G5 Surfaces for walks shall be <sup>12</sup>crete, integral color concrete, stone, pavers, <sup>13</sup> other long-lasting materials.

G6 Concrete shall be broom finished; a deliberate scoring pattern shall be applied to prevent cracking.

G7 <sup>17</sup>aterials shall coordinate with the overall design of the lot and building.

<sup>20</sup> ~~Stamped concrete mimicking brick or stone shall not be permitted.~~

### Furnishings and Fences <sup>2</sup>

G9 Fencing visible from public rights-of-way shall be masonry, ornamental metal or wood, or some combination of the three, and shall be resistant to impacts of salt and weather.

G10 ~~High quality furnishings shall be in keeping with~~ <sup>3</sup> style of the building design.

G11 The use of chain link, plastic or wire fencing (or similar) shall not be permitted.

### Building Standards

~~<sup>6</sup> <sup>12</sup> New buildings along commercial and mixed-use streets shall provide a continuous facade along the street. Where breaks occur, the street edge shall be continued through the use of fencing, low walls and/or landscaping.~~

G13 The lower twenty-five (25) feet of buildings shall include elements that relate to the human scale. These elements include doors and windows, texture, projections, awnings and canopies, ornament, etc.

G14 Porches, steps, roof overhangs, hooded front doors or similar architectural elements shall be used to define all primary residential entrances.

G15 ~~There shall be a primary pedestrian building entrance on all front streets. <sup>14</sup> corner location where both streets are front or access streets; this standard may be satisfied with a single building entrance at the corner.~~ <sup>15</sup>

G16 For new ~~commercial and civic buildings~~ <sup>16</sup> windows, doors and/or openings shall comprise at least fifty (50) percent of the length and at least thirty (30) percent of the area of the ground floor along ~~front and access street facades or as addressed by frontage type~~ <sup>19</sup> windows shall be designed with punched and recessed openings or other window installations that



✚	Number: 1	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 11:28:26 AM
	"Design Standards - Site-wide " and move pp. 8-9 to be before p. 6.			
✚	Number: 2	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 8:40:50 PM
	Walls, Fences, and Furnishings			
✚	Number: 3	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:16:43 PM
	Furnishings shall be of high quality and match			
📌	Number: 4	Author: richarmi	Subject: Comment on Text	Date: 7/11/2019 8:22:14 PM
	Add a period after all standard numbers.			
📌	Number: 5	Author: richarmi	Subject: Comment on Text	Date: 7/11/2019 8:42:18 PM
	Move to Fences, Walls, and Furnishings			
✚	Number: 6	Author: richarmi	Subject: Cross-Out	Date: 7/12/2019 10:11:11 AM
	This was taken largely from a T-district standard that was written for infill development and isn't applicable to new construction on complete blocks. Also, we don't define streets as commercial and mixed-use in the design standards or master plan.			
✚	Number: 7	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 8:41:22 PM
	scale			
📌	Number: 8	Author: richarmi	Subject: Comment on Text	Date: 7/11/2019 8:40:34 PM
	Move to Walls, Fences, and Furnishings			
✚	Number: 9	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 8:37:57 PM
	With the exception of walls required for infrastructure, walls in landscaped areas			
✚	Number: 10	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 8:38:36 PM
	their appearance.			
📌	Number: 11	Author: richarmi	Subject: Comment on Text	Date: 7/11/2019 8:42:36 PM
	Move to Fences, Walls, and Furnishings			
✚	Number: 12	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 8:55:01 PM
	poured			
✚	Number: 13	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 8:55:35 PM
	clay brick,			
✚	Number: 14	Author: richarmi	Subject: Inserted Text	Date: 7/12/2019 2:01:22 PM
	A primary building entrance shall be located on the addressed side(s) of the building.			
✚	Number: 15	Author: richarmi	Subject: Inserted Text	Date: 7/12/2019 11:51:09 AM
	(Begin new standard) New buildings on corner lots shall be oriented to the corner and both public streets. [Uses same language as T-district design standard #6.]			
✚	Number: 16	Author: richarmi	Subject: Inserted Text	Date: 7/12/2019 10:34:20 AM
	Live/Work, Mixed Residential and Commercial, Civic and Institutional, and Commercial & Employment buildings,			
✚	Number: 17	Author: richarmi	Subject: Inserted Text	Date: 7/11/2019 9:17:45 PM
	Paving			
📌	Number: 18	Author: richarmi	Subject: Highlight	Date: 7/12/2019 11:48:42 AM
	Begin new standard.			
✚	Number: 19	Author: richarmi	Subject: Inserted Text	Date: 7/12/2019 2:33:59 PM
	addressed sides of the building and sides that face open space.			
✚	Number: 20	Author: richarmi	Subject: Cross-Out	Date: 7/12/2019 10:02:13 AM
	While there is value to not faking a "real" material, many examples look good and there would likely be a lot of exceptions.			

create a strong rhythm of light and shadow. <sup>2</sup> Glass on windows and doors shall be clear or slightly tinted, and allow views into and out of the interior.

G17 If an outdoor storage, service or loading area is visible from adjacent residential uses or a public street or walkway, it shall be screened by a decorative fence, wall or screen of plant material at least six (6) feet in height.

G18 Surface parking shall not be located facing a front street or within thirty (30) feet of a corner. <sup>4</sup> Entrance drives and garage doors for underground or structured parking <sup>5</sup> may face an access street but shall be designed for pedestrian convenience and safety. Vehicular entrances to structured parking shall be minimized so that they do not dominate the access street frontage of the building. Design techniques shall include recessed entries; extending portions of the structure over the entry; using screening and landscaping to soften the appearance of the entry; using the smallest curb cut and driveway possible.

G19 <sup>8</sup> Building facades shall be designed to respond to and reinforce the relationship between the private and public realms. <sup>9</sup> Buildings shall be located to emphasize and "anchor" the corner whenever possible.

G20 Building materials shall include stucco, brick, stone and related masonry finishes complemented with wood, fiber cement board and/or metal details. <sup>10</sup>

### Standards specific to Townhouse Building Type

<sup>11</sup> ~~Principal façade and façades facing a public rights-of-way shall include a minimum of 85% brick material.~~

G22 Stoops may ~~encroach within the setback and may be covered or uncovered.~~ <sup>13</sup>

G23 Exterior stairs shall be parallel or perpendicular to façade.

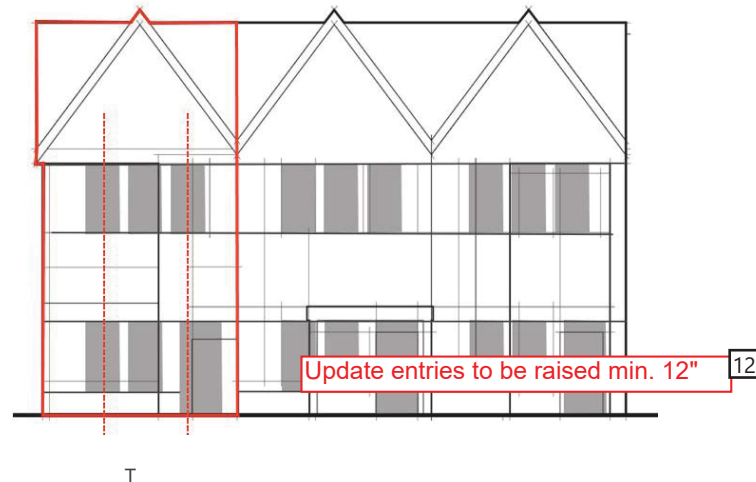
<sup>1</sup> ~~24 Accessibility ramps shall be parallel to building façade or located along the side of the building and shall be integrated into the design of the building~~














<sup>3</sup> ~~25 Townhouse buildings shall create a consistent and articulated street wall condition that is pedestrian friendly and relate to the human scale; use of different architectural styles or materials on the same building shall not be permitted.~~

G26 Townhouse/rowhouse buildings shall exhibit vertical proportions; building elements including windows, balconies, doors, etc. shall reinforce the overall vertical proportions.

Add S14 (modified) here. <sup>6</sup>

Move standards specific to structured parking here. <sup>7</sup>



- 
-  Number: 1 Author: richarmi Subject: Cross-Out Date: 7/12/2019 1:17:27 PM  
[DSI questioned the regulation of location of an ADA ramp and the subjectivity of "integration into the design of the building" makes consistent implementation challenging.]
- 
-  Number: 2 Author: richarmi Subject: Comment on Text Date: 7/12/2019 2:41:32 PM  
[This prevents opaque windows allowed through 63.110(b).]
- 
-  Number: 3 Author: richarmi Subject: Cross-Out Date: 7/12/2019 1:49:44 PM
- 
-  Number: 4 Author: richarmi Subject: Highlight Date: 7/14/2019 5:34:12 PM  
Start new standard and move to Structured Parking section (which will be moved to follow Townhouse-specific section below).
- 
-  Number: 5 Author: richarmi Subject: Cross-Out Date: 7/12/2019 11:52:34 AM  
[Don't need this with access street diagram.]
- 
-  Number: 6 Author: richarmi Subject: Text Box Date: 7/12/2019 4:00:30 PM  
**Add S14 (modified) here.**
- 
-  Number: 7 Author: richarmi Subject: Text Box Date: 7/14/2019 5:36:13 PM  
**Move standards specific to structured parking here.**
- 
-  Number: 8 Author: richarmi Subject: Cross-Out Date: 7/12/2019 11:58:56 AM  
[This is accomplished through a combination of G13 re: including elements that relate to the human scale, as well as the specific frontage requirements in unique areas of the site.]
- 
-  Number: 9 Author: richarmi Subject: Cross-Out Date: 7/12/2019 12:00:55 PM  
[Modification of G15 addresses this condition. "New buildings on corner lots shall be oriented to the corner and both public streets."]
- 
-  Number: 10 Author: richarmi Subject: Inserted Text Date: 7/12/2019 1:47:34 PM  
Exterior building materials shall consist of high-quality materials such as brick, stone, tinted masonry or cast stone, stucco, glass, metal, and fiber cement cladding/siding. The following materials are not acceptable: unadorned plain or painted concrete block; tilt-up concrete panels; synthetic stucco products (EIFS); reflective glass; and vinyl, fiberglass, asphalt or fiberboard siding. [There was wide support to expand the range of materials to allow a wider range of architectural expression and more flexibility for affordable projects. The language is based on the T-district standard addressing materials and detailing, but modified based on the dialogue over the last months.]
- 
-  Number: 11 Author: richarmi Subject: Cross-Out Date: 7/12/2019 1:47:41 PM
- 
-  Number: 12 Author: richarmi Subject: Text Box Date: 7/12/2019 4:01:20 PM  
**Update entries to be raised min. 12"**
- 
-  Number: 13 Author: richarmi Subject: Inserted Text Date: 7/12/2019 1:15:19 PM  
...project into a required yard.



## F1 River Residential

This district includes deep building setbacks from Mississippi River Boulevard and informal landscape consistent with the predominantly detached, single-family residential character of the corridor.

Building types allowed: <sup>1</sup> single family, multi-unit home and carriage house.

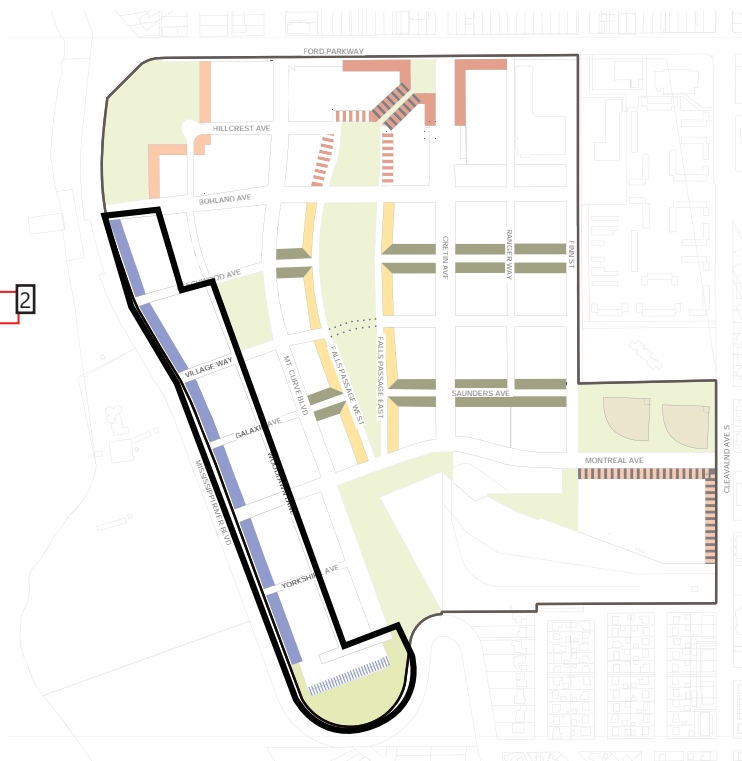
### Private Landscape Standards

Trees Combine language with MRB tree standard from p. 5 here. <sup>2</sup>

S1 Landscape and tree plantings within thirty feet (30') of the boulevard public rights-of-way shall reflect the natural and informal character of the Mississippi River Boulevard.

### <sup>3</sup> Building Standards

~~S2 Building materials may include fiber cement cladding in addition to the materials defined in the General Standards.~~




#### Legend

- Mississippi River Boulevard Frontage
- Mississippi River Boulevard South Frontage
- F1 District Boundary


\*Map not to scale




---

 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:21:34 PM  
by zoning

---

 Number: 2 Author: richarmi Subject: Text Box Date: 7/12/2019 8:53:46 AM  
**Combine language with MRB tree standard from p. 5 here.**

---

 Number: 3 Author: richarmi Subject: Cross-Out Date: 7/12/2019 1:26:58 PM  
[Modified general building materials standard (G20) defines where fiber cement is allowed by building types, all of which are allowed in F1.]

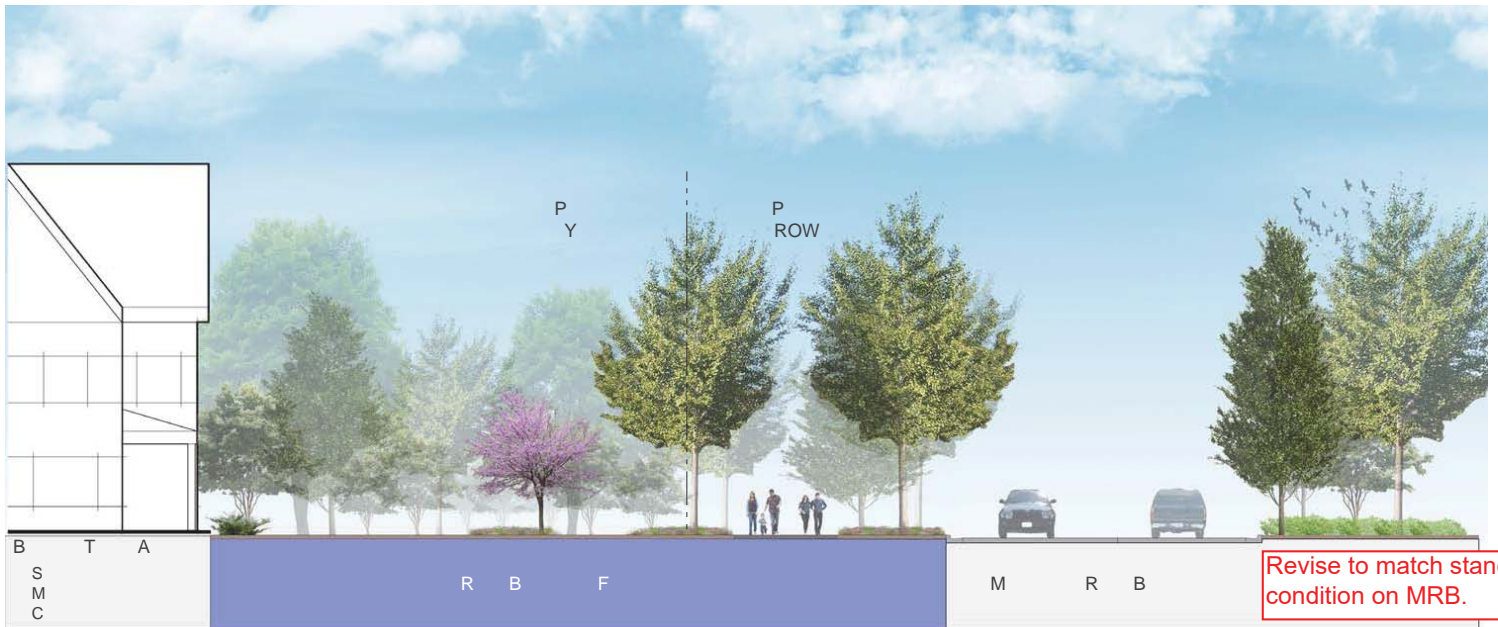
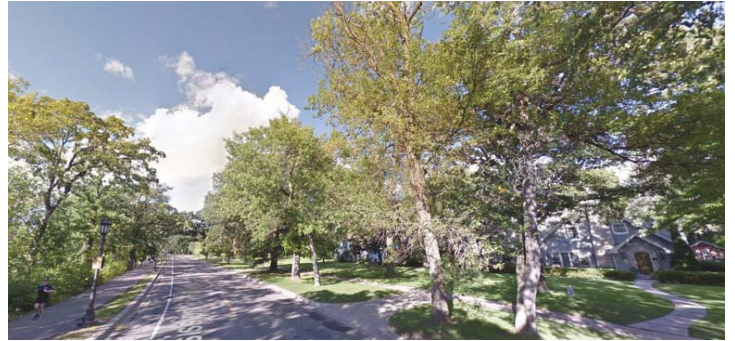
### Mississippi River Boulevard Frontage

#### Frontage Standards

S3 Private landscape shall reflect the existing the informal character of Mississippi River Boulevard.

~~1. The primary building entry (doorway, stoop, porch, etc.) shall front/face onto the boulevard.~~


S5 The lot at the southeast corner of Mississippi River Boulevard and Bohland Avenue shall be set back at least ~~twenty-five feet (25)~~ <sup>2</sup> m Bohland Avenue.




Revise to match standard condition on MRB.

Illustrative section to indicate areas of public access. Does not represent correct scale or final design. <sup>4</sup>


---

 Number: 1 Author: richarmi Subject: Cross-Out Date: 7/12/2019 2:02:09 PM  
[G15 (modified) addresses this: "A primary building entrance shall be located on the addressed side(s) of the building."]


---

 Number: 2 Author: richarmi Subject: Inserted Text Date: 7/12/2019 1:34:43 PM  
fifteen feet (15') [intent was to create buffer for potential SF homes, but 25' was excessive due to the fact that the majority of the land across Bohland will be parkland.]

---

 Number: 3 Author: richarmi Subject: Text Box Date: 7/12/2019 1:28:24 PM  
**Revise to match standard condition on MRB.**

---

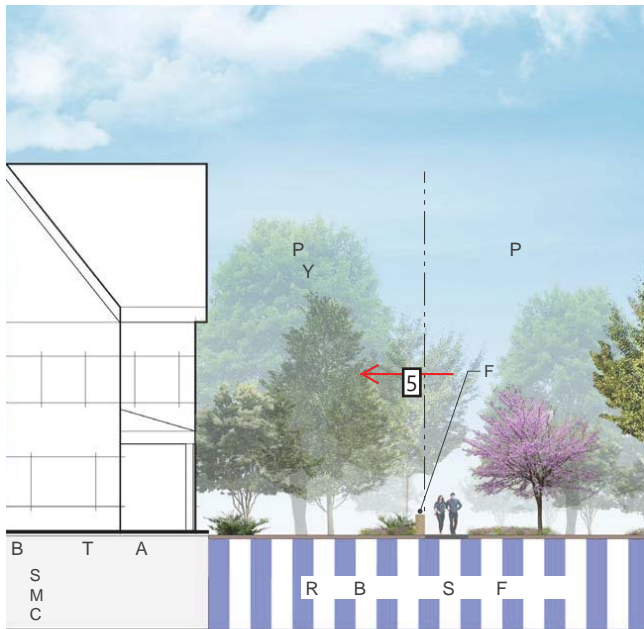
 Number: 4 Author: richarmi Subject: Text Box Date: 7/14/2019 9:38:46 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**

### Mississippi River Boulevard South Frontage

#### Frontage Standards

S6 South-facing lots shall orient the primary building face/façade to the boulevard and public open space. <sup>1</sup>


S7 To differentiate the private lot from the public space, the front <sup>2</sup> property line shall include <sup>3</sup> decorative fence or wall with a maximum height of forty-two inches (42"). <sup>4</sup>



Illustrative section to indicate areas of public access. Does not represent correct scale or final design. <sup>6</sup>




---

 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:05:01 PM  
The primary building face/facade must be oriented to the public open space.

---

 Number: 2 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:09:45 PM  
southern


---

 Number: 3 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:10:17 PM  
be defined by


---

 Number: 4 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:10:39 PM  
, with breaks for pedestrian entry to units.

---


 Number: 5 Author: richarmi Subject: Line Date: 7/12/2019 2:11:05 PM

---


 Number: 6 Author: richarmi Subject: Text Box Date: 7/14/2019 9:38:35 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**




---

 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:16:19 PM  
an


---

 Number: 2 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:21:48 PM  
by zoning

---

 Number: 3 Author: richarmi Subject: Cross-Out Date: 7/12/2019 2:18:20 PM

---

 Number: 4 Author: richarmi Subject: Cross-Out Date: 7/12/2019 2:17:13 PM  
[Fiber cement cladding is allowed per modified G20 language.]



## F3 Residential Mixed Mid

This district allows a broad range of building types and straddles the Central Open Space. The character and identity of this highly-visible location will be dependent on the careful relationship between building facades/yards and the public open spaces. Specific frontage requirements apply to the Central Open Space and the east-west oriented ped/bike streets.

Building types allowed: <sup>1</sup>townhouse, multi-family low/mid, live/work, mixed residential/commercial, and commercial/employment.

### Building Standards

~~2.0 Building materials shall include fiber cement cladding, stucco, brick, stone and related masonry finishes complemented by wood and metal details.~~

~~3.1 Shopfront facades for commercial and office building types shall include a minimum of 70% transparent glazing.~~




### Legend

- Central Open Space Frontage
- Pedestrian/Bike Street Frontage
- F3 District Boundary


\*Map not to scale




---

 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:21:53 PM  
by zoning

---

 Number: 2 Author: richarmi Subject: Cross-Out Date: 7/12/2019 2:20:42 PM  
[See allowed materials list per modified G20 language.]

---

 Number: 3 Author: richarmi Subject: Cross-Out Date: 7/14/2019 9:46:07 AM  
[Per G16 (modified), new non-residential buildings have a minimum ground floor opening requirement of 30% of area and 50% of length.]

---

## Central Open Space Frontage

### Frontage Standards

**1** ~~2~~ Building setback shall be limited to a maximum of ten feet (10') for all building types.

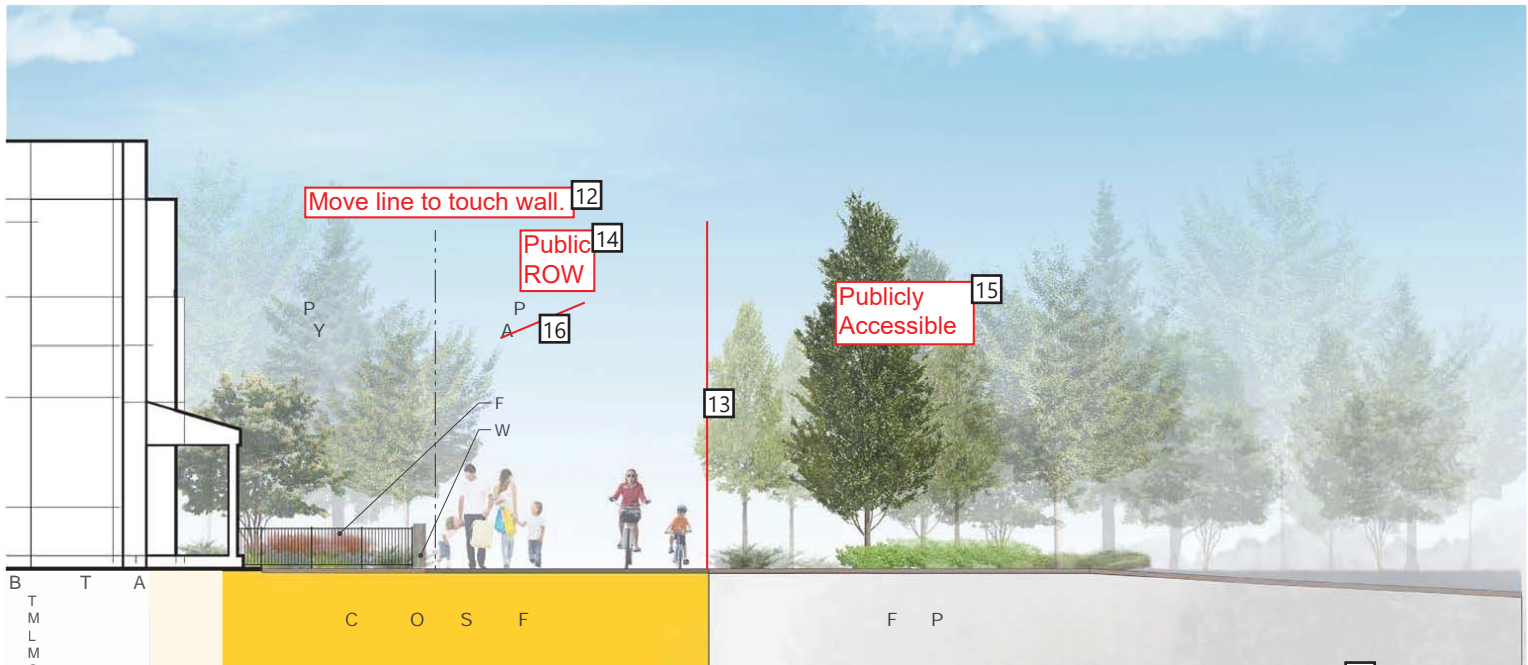
S13 ~~6~~ The **5** primary building entrance (doorway, stoop, porch, etc.) shall face ~~to~~ the Central Open Space.

S14 All **9** residential entrances within ten feet (10') of the **8** public way parallel ~~to the~~ front property line shall be raised above the average finished grade

**2** the sidewalk a minimum of eighteen inches (18") **3** and a maximum of forty-two inches (42") **4** subject to ADA requirements.

S15 A hedge, decorative stone, wood or metal fence (maximum 42' high) shall define the front property line **7**

S16 Grass turf shall not be permitted in the **10** front yard **11**



Illustrative section to indicate areas of public access. Does not represent correct scale or final design. **17**

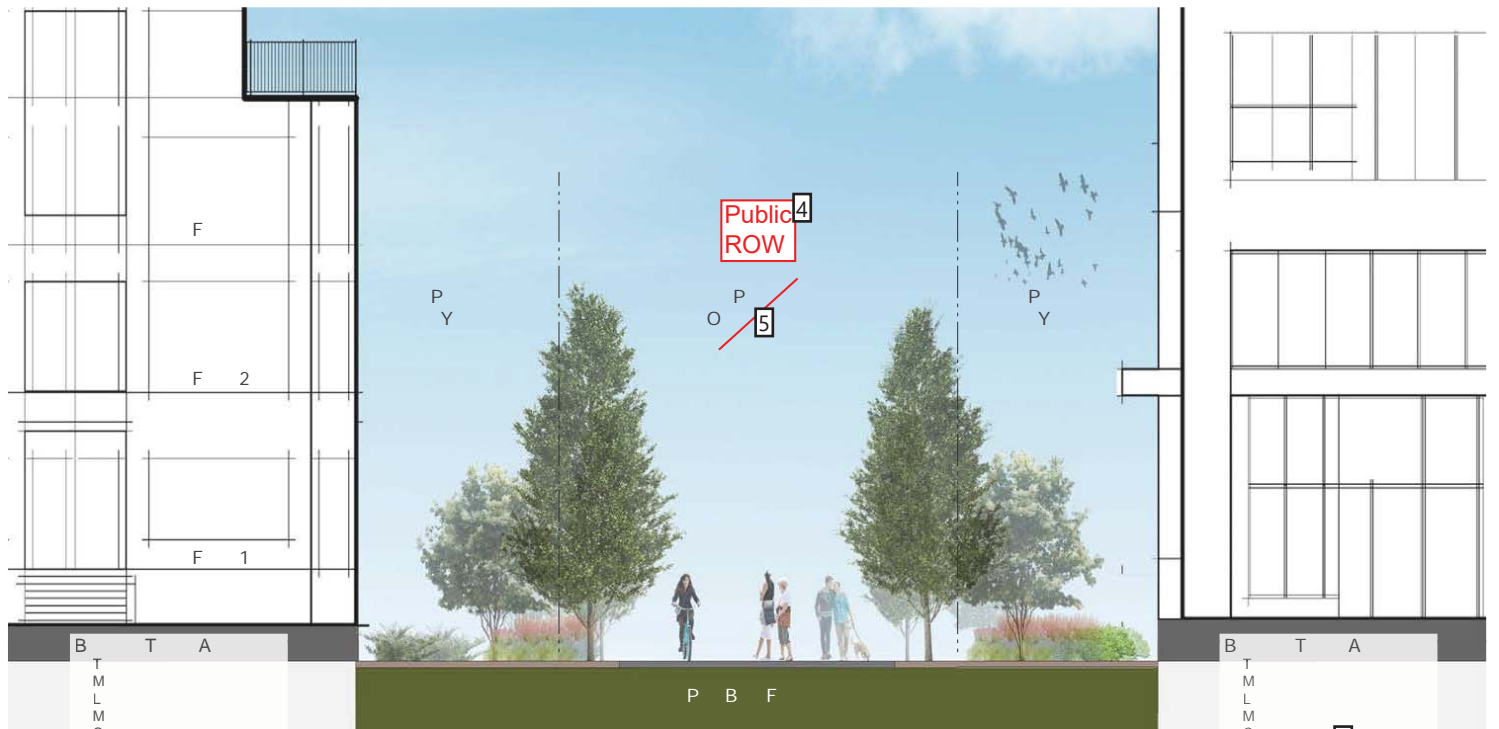
- 
- Number: 1 Author: richarmi Subject: Cross-Out Date: 7/12/2019 4:18:35 PM  
[Setback distance per the MP is a range of 10'-20' for Townhouse, Multi-Family Low, and Multi-Family Medium building types; 5'-20' for Live/Work building type; 5'-15' for Mixed Residential & Commercial, Civic & Institutional, and Commercial & Employment building types. Limiting the maximum to 10' sets a definite build-to line for the first set. Market pressure will likely push it to the minimum setback anyway, but if not, the differing depths of buildings would help to create more visual interest and varied space on what will be an open space edge.]
- 
- Number: 2 Author: richarmi Subject: Comment on Text Date: 7/12/2019 3:59:42 PM  
[Intended for townhouse building type. Move to townhouse-specific standards on p. 9.]
- 
- Number: 3 Author: richarmi Subject: Inserted Text Date: 7/12/2019 4:26:18 PM  
twelve inches (12") [Appropriate to increase range somewhat to account for topography and bedrock constraints.]
- 
- Number: 4 Author: richarmi Subject: Inserted Text Date: 7/12/2019 3:46:21 PM  
forty-eight inches (48")
- 
- Number: 5 Author: richarmi Subject: Inserted Text Date: 7/12/2019 3:55:57 PM  
A
- 
- Number: 6 Author: richarmi Subject: Cross-Out Date: 7/12/2019 3:56:01 PM
- 
- Number: 7 Author: richarmi Subject: Inserted Text Date: 7/12/2019 4:04:25 PM  
, with breaks for pedestrian entry into units.
- 
- Number: 8 Author: richarmi Subject: Cross-Out Date: 7/12/2019 3:58:55 PM
- 
- Number: 9 Author: richarmi Subject: Cross-Out Date: 7/12/2019 3:58:39 PM
- 
- Number: 10 Author: richarmi Subject: Cross-Out Date: 7/12/2019 4:20:20 PM
- 
- Number: 11 Author: richarmi Subject: Inserted Text Date: 7/12/2019 4:24:28 PM  
closest to the central open space. [the definition of front yard per 60.266 is related to the "front lot line," which in turn is based on a relationship to a street. 60.220 defines street as being the primary means of access to a property. Due to the nature of Falls Passage as being non-vehicular, it will likely not be the primary means of access to the property. Therefore, the yard is defined in relation to the open space.]
- 
- Number: 12 Author: richarmi Subject: Text Box Date: 7/12/2019 4:03:19 PM  
**Move line to touch wall.**
- 
- Number: 13 Author: richarmi Subject: Line Date: 7/12/2019 4:31:52 PM
- 
- Number: 14 Author: richarmi Subject: Text Box Date: 7/12/2019 4:31:03 PM  
**Public ROW**
- 
- Number: 15 Author: richarmi Subject: Text Box Date: 7/12/2019 4:31:57 PM  
**Publicly Accessible**
- 
- Number: 16 Author: richarmi Subject: Line Date: 7/14/2019 9:35:39 AM
- 
- Number: 17 Author: richarmi Subject: Text Box Date: 7/14/2019 9:38:22 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**

## Pedestrian/Bike Street Frontage

### Frontage Standards

S17 Buildings shall step-back eight feet (8') the fourth floor is built to less than the ten-foot (10') setback.







S18 Grass turf shall not be permitted in the private yard.



Illustrative section to indicate areas of public access. Does not represent correct scale or final design. 6



---

 Number: 1	Author: richarmi	Subject: Inserted Text	Date: 7/14/2019 9:33:43 AM
<hr/>			
 Number: 2	Author: richarmi	Subject: Inserted Text	Date: 7/14/2019 9:40:57 AM
<hr/>			
 Number: 3	Author: richarmi	Subject: Inserted Text	Date: 7/14/2019 9:34:13 AM
<hr/>			
 Number: 4	Author: richarmi	Subject: Text Box	Date: 7/14/2019 9:36:05 AM
<hr/>			
<b>Public ROW</b>			
 Number: 5	Author: richarmi	Subject: Line	Date: 7/14/2019 9:35:47 AM
<hr/>			
 Number: 6	Author: richarmi	Subject: Text Box	Date: 7/14/2019 9:38:11 AM
<hr/>			
<b>Illustrative section to indicate areas of public access. Does not represent correct scale or final design.</b>			

## F4 Residential Mixed High District

This district will have an urban feel and character, and contain a range of taller multi-family and mixed-use buildings. Streets and dedicated pedestrian/bike ways contribute to ~~more a~~ <sup>1</sup> dense environment that will benefit from additional landscape and building setback requirements defined with frontage types.

Building types allowed: <sup>2</sup> townhouse, rowhouse, multi-family medium, multi-family high, live/work, mixed residential/commercial, commercial & employment, civic/institutional and parking structures.

### Building Standards

~~3~~ <sup>3</sup> Shopfront facades for commercial and office building types shall include a minimum of 70% transparent glazing.

### Pedestrian/Bike Street Frontage

#### Frontage Standards

~~4~~ <sup>4</sup> Refer to the Pedestrian/Bike frontage type <sup>5</sup> in the F3 District <sup>6</sup>









### Legend

- Pedestrian/Bike Street Frontage
- F4 District Boundary

\*Map not to scale

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 Number: 1 a more	Author: richarmi	Subject: Inserted Text	Date: 7/14/2019 9:51:45 AM
 Number: 2 by zoning	Author: richarmi	Subject: Inserted Text	Date: 7/12/2019 2:22:08 PM
 Number: 3 [Per G16 (modified), new non-residential buildings have a minimum ground floor opening requirement of 30% of area and 50% of length.]	Author: richarmi	Subject: Cross-Out	Date: 7/14/2019 9:46:42 AM
 Number: 4	Author: richarmi	Subject: Cross-Out	Date: 7/14/2019 9:50:11 AM
 Number: 5 is described	Author: richarmi	Subject: Inserted Text	Date: 7/14/2019 9:50:29 AM
 Number: 6 section of the design standards	Author: richarmi	Subject: Inserted Text	Date: 7/14/2019 9:50:43 AM



## F5 Business Mixed District

This district will function as the commercial center of the site. The entrance and identity of the site hinges on the Urban Plaza. The Civic Square will act as the physical 'heart' of the neighborhood and will host a variety of seasonal activities. The diagonal way that connects the two will support a signature pedestrian-oriented destination.

Building types allowed: <sup>1</sup> mixed residential & commercial, commercial/employment, civic/institutional and parking structures.

### Building Standards

~~20 Shopfront facades for commercial and office building types shall include a minimum of 70% transparent glazing.~~




### Legend

- Urban Center Frontage
- Urban Center Diagonal Frontage
- Urban Center Residential Frontage
- F5 District Boundary


\*Map not to scale



---

 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:22:12 PM  
by zoning

---

 Number: 2 Author: richarmi Subject: Cross-Out Date: 7/12/2019 3:20:37 PM  
[Per G16 (modified), new non-residential buildings have a minimum ground floor opening requirement of 30% of area and 50% of length.]

## Urban Center Frontage

### Frontage Standards

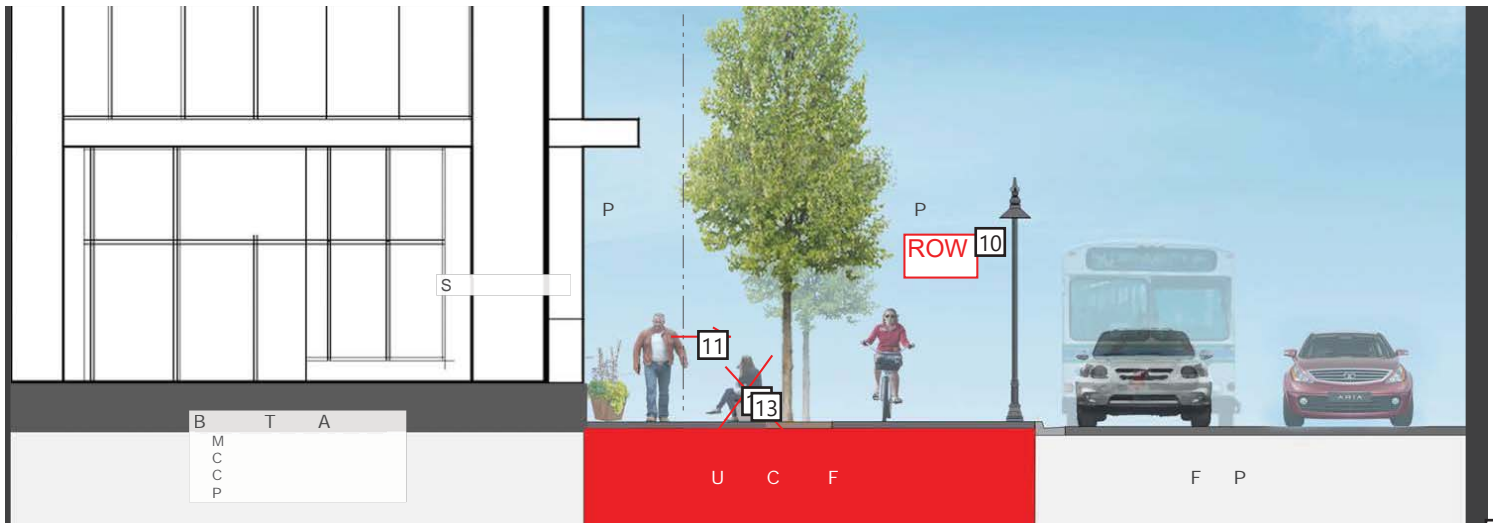
S21 Frontage <sup>1</sup> shall include a shopfront façade <sup>2</sup>, less residential in use <sup>3</sup>, see Urban Center/Residential for additional requirements <sup>4</sup>.

S22 “Green” planting area shall include trees and landscape plantings as a perimeter treatment within thirty feet (30’) of the property line <sup>5</sup>.

S23 Square and plaza surfaces shall be textured or integral colored <sup>6</sup> concrete; ~~slamp concrete mimicking brick or stone shall not be permitted.~~

S24 Building canopies/awnings to maintain a minimum nine-foot (9’) clearance from ground plane.

~~<sup>9</sup> Refer also to Building Standards for Parking Structures.~~



Illustrative section to indicate areas of public access. Does not represent correct scale or final design.

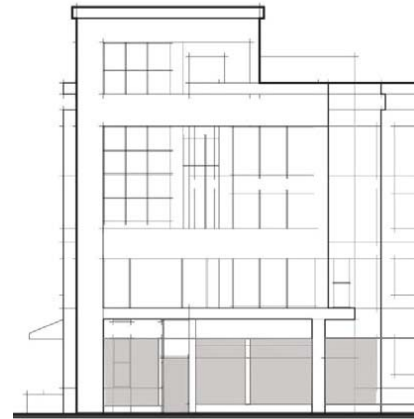
- 
-  Number: 1 Author: richarmi Subject: Inserted Text Date: 7/14/2019 10:43:24 AM  
The building face
- 
-  Number: 2 Author: richarmi Subject: Inserted Text Date: 7/14/2019 10:43:53 AM  
minimum of 65% transparent glazing in the bottom 12 feet of the building
- 
-  Number: 3 Author: richarmi Subject: Inserted Text Date: 7/14/2019 10:51:42 AM  
for portions of the ground floor not dedicated to residential units.
- 
-  Number: 4 Author: richarmi Subject: Inserted Text Date: 7/14/2019 10:50:05 AM  
for portions of the ground floor dedicated to residential units. [The shopfront concept was simplified to be a glazing requirement that applies to all ground floor facades that are not residential units.
- 
-  Number: 5 Author: richarmi Subject: Inserted Text Date: 7/14/2019 10:25:08 AM  
Trees shall define the perimeter of the civic square and must be planted within 30' of the adjacent property line.
- 
-  Number: 6 Author: richarmi Subject: Inserted Text Date: 7/14/2019 9:58:48 AM  
poured
- 
-  Number: 7 Author: richarmi Subject: Cross-Out Date: 7/14/2019 9:57:26 AM
- 
-  Number: 8 Author: richarmi Subject: Inserted Text Date: 7/14/2019 10:02:56 AM  
, stone, pavers, clay brick, or other long-lasting material. [edited to match site-wide standard of surfaces and pavements for walks.]
- 
-  Number: 9 Author: richarmi Subject: Cross-Out Date: 7/14/2019 10:44:36 AM
- 
-  Number: 10 Author: richarmi Subject: Text Box Date: 7/14/2019 10:46:53 AM  
**ROW**
- 
-  Number: 11 Author: richarmi Subject: Line Date: 7/14/2019 10:46:28 AM
- 
-  Number: 12 Author: richarmi Subject: Line Date: 7/14/2019 10:45:45 AM
- 
-  Number: 13 Author: richarmi Subject: Line Date: 7/14/2019 10:45:56 AM
- 
-  Number: 14 Author: richarmi Subject: Text Box Date: 7/14/2019 9:39:02 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**

### Building Standards for Shopfront Facades

- 1. ~~25 A shopfront facade shall be required along the primary face of the building.~~
- 2. ~~26 The Shopfront shall have a minimum of 70% ground floor transparent glazing. 3 display windows may project into the frontage setbacks no more than five feet (5') and not beyond the property line.~~
- 4. **27 Building entries may be recessed from the façade up to six feet (6') in depth.**
- 5. ~~28 If the ground floor grade is above the sidewalk grade, the differential shall be accommodated with the building.~~
- 6. ~~29 Awnings may project into the setback 100% of their depth.~~

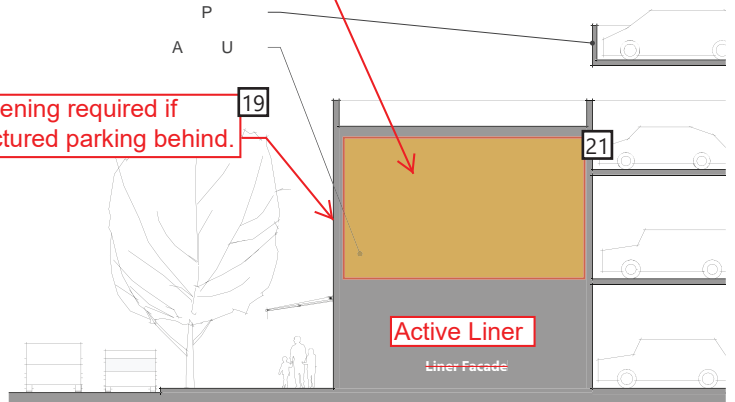
### 8. **Building Standards for Parking Structures** 9

- S30 Parking structures **11** shall be placed behind active uses (e.g. retail, commercial, office, etc.) **13**
- 14. ~~The portion of the building fronting structured parking shall be attached or detached from the parking structure.~~
- S32 Any portion of a parking garage **15** is not concealed behind active uses shall be screened to conceal all **16** internal building and mechanical elements. **17** posed spandrels **18** not be permitted.
- S33 Ramping shall be internal to the structure. **20**
- S34 All unlined facades of the parking structure not fronting a public rights-of-way shall be shielded by louvers, glazing, landscaped trellises, and/or ornamental metal screens.
- S35 Parking garage entrances shall be designed and composed as an integral part of the building façade, and designed to respect and respond to the pedestrian public realm.
- S36 Parking structures shall be finished with flat floor plates to allow for plantings and solar infrastructure.



12. Modify diagram to say structured parking or active use.

19. Screening required if structured parking behind.



- 
- Number: 1 Author: richarmi Subject: Cross-Out Date: 7/14/2019 11:09:32 AM  
Simplified with modified S21 re: glazing minimums for lower 12' of buildings that isn't backed by residential unit.
- 
- Number: 2 Author: richarmi Subject: Cross-Out Date: 7/14/2019 11:10:16 AM  
Addressed by modified S21.
- 
- Number: 3 Author: richarmi Subject: Cross-Out Date: 7/14/2019 11:22:25 AM  
63.110(d) allows for projection of bay windows 16" plus 2" for every foot of setback. For the building types likely in this zoning district, the minimum setback is 5', giving a total of 26" projection allowed at a minimum. "Display windows" in retail situations frequently extend the length of the building facade and to the ground. With this language, the setback could effectively be eliminated.
- 
- Number: 4 Author: richarmi Subject: Comment on Text Date: 7/14/2019 11:25:36 AM  
Move to Urban Center Frontage Standards
- 
- Number: 5 Author: richarmi Subject: Cross-Out Date: 7/14/2019 10:55:24 AM  
Unnecessary as other factors will contribute to this happening, such as ADA requirements for both public and private facilities, market pressure and logical design will result in retail entries at grade.
- 
- Number: 6 Author: richarmi Subject: Cross-Out Date: 7/14/2019 11:08:12 AM  
This is currently allowed in the code. Section 33.03 prohibits awnings from projecting beyond the property line.
- 
- Number: 7 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:37:10 PM
- 
- Number: 8 Author: richarmi Subject: Comment on Text Date: 7/14/2019 5:35:07 PM  
Move to follow townhouse-specific standards, currently on p. 7.
- 
- Number: 9 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:36:54 PM  
Structured Parking
- 
- Number: 10 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:09:24 PM  
65 (and revise diagram to indicate lower 12' of building)
- 
- Number: 11 Author: richarmi Subject: Inserted Text Date: 7/14/2019 4:48:16 PM  
New above-grade structured parking fronting on arterial and collector streets [There is a distinction between structured parking as defined in our code and allowed on the Ford Site and a parking structure as defined in the Master Plan as a building type. A parking structure is structured parking, but structured parking isn't necessarily a parking structure - it could be a residential building with parking internal to the structure. The April 2019 amendments to the FSZPRMP dictated that the T3 design standards (66.343(b)) apply to structured parking. More in next note.]
- 
- Number: 12 Author: richarmi Subject: Callout Date: 7/14/2019 5:42:33 PM  
**Modify diagram to say structured parking or active use.**
- 
- Number: 13 Author: richarmi Subject: Inserted Text Date: 7/14/2019 4:45:53 PM  
lined with active commercial/retail uses at street level with direct access to the sidewalk. [written to match 66.343(b)(18) Parking location and design, which is currently in place following April 2019 FSZPRMP amendments.]
- 
- Number: 14 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:01:47 PM  
[Unnecessary]
- 
- Number: 15 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:06:00 PM  
structured parking
- 
- Number: 16 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:21:53 PM  
designed with exterior wall treatments, ornamental metal, louvers, fenestration and materials that screen the view of vehicles and [edited to more closely match T3 design standards currently in effect.
- 
- Number: 17 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:20:16 PM
- 
- Number: 18 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:18:47 PM  
opaque glass used to cover structural beams
- 
- Number: 19 Author: richarmi Subject: Callout Date: 7/14/2019 5:44:15 PM  
**Screening required if structured parking behind.**
- 
- Number: 20 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:15:41 PM  
Exposed ramping shall not face open space. [Completely internal ramping will be difficult due to the topography of the site.]
- 
- Number: 21 Author: richarmi Subject: Rectangle Date: 7/14/2019 5:40:52 PM



- 
-  Number: 22 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:22:20 PM  
[Addressed with modified S32.]
- 
-  Number: 23 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:29:00 PM  
to be
- 
-  Number: 24 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:29:22 PM
- 
-  Number: 25 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:29:27 PM
- 
-  Number: 26 Author: richarmi Subject: Text Box Date: 7/14/2019 5:40:29 PM  
**Active Liner**
- 
-  Number: 27 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:37:49 PM  
experience and safety needs.
- 
-  Number: 28 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:40:07 PM
- 
-  Number: 29 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:45:10 PM  
roof



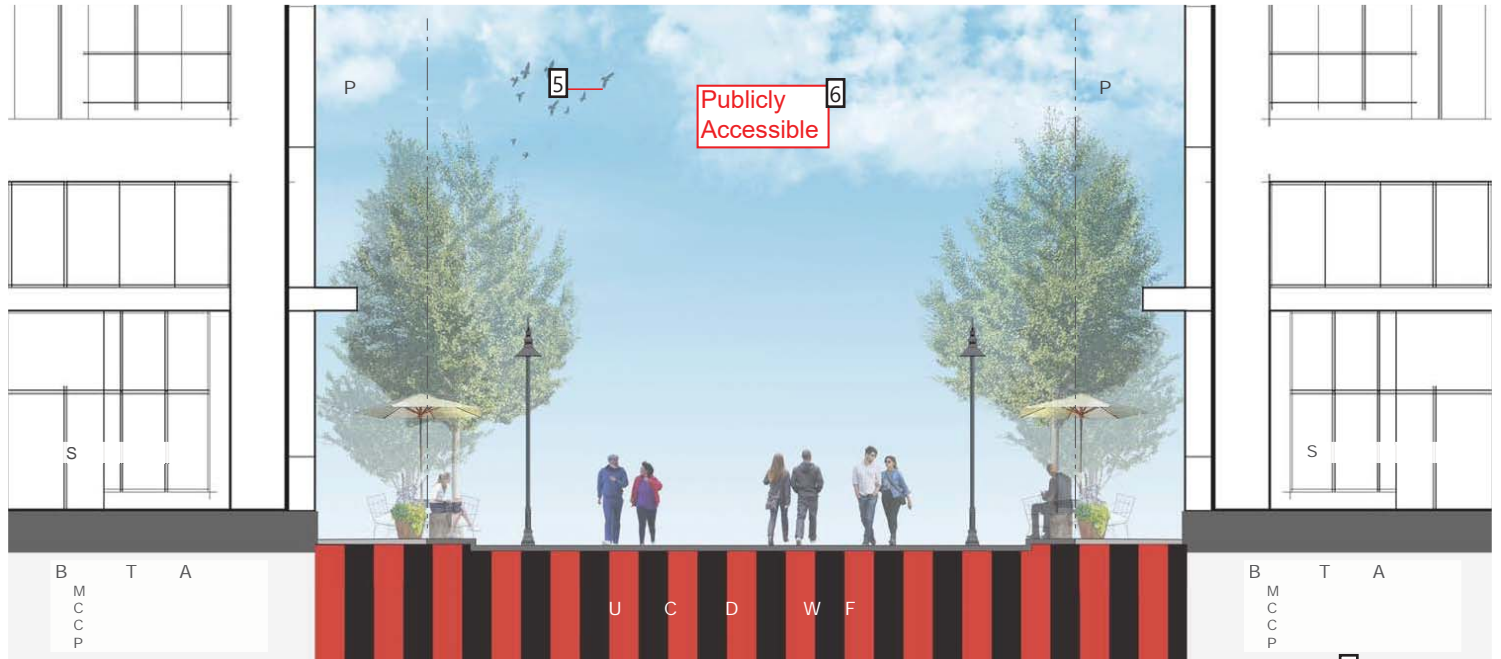
Add line that says (All Urban Center Frontage standards.) 1

### Urban Center/Diagonal Way Frontage Frontage Standards

2 ~~S7 Walking surfaces shall be textured (aggregate) or integral colored concrete; stamp concrete mimicking brick or stone shall not be permitted.~~

S38 The ~~minimum building separation shall be thirty feet (30') and/or no less than a 1:1 building to width ratio.~~ 3

S39 The center of the Diagonal Way shall remain clear 4 minimum of twelve feet (12').



Illustrative section to indicate areas of public access. Does not represent correct scale or final design. 7

- 
- ☰ Number: 1 Author: richarmi Subject: Callout Date: 7/14/2019 5:49:19 PM  
**Add line that says (All Urban Center Frontage standards.)**

---

  - ⊕ Number: 2 Author: richarmi Subject: Cross-Out Date: 7/14/2019 5:47:10 PM  
Modified S23 covers this.

---

  - ⊕ Number: 3 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:55:07 PM  
building separation distance shall range from twenty (20') minimum to forty (40') maximum. [Simplify the language to allow for emergency vehicles and set maximum width to match the minimum height in the Business Mixed district.]

---

  - ⊕ Number: 4 Author: richarmi Subject: Inserted Text Date: 7/14/2019 5:55:58 PM  
of obstructions to

---

  - ⊕ Number: 5 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:06:21 PM

---

  - ☰ Number: 6 Author: richarmi Subject: Text Box Date: 7/14/2019 8:06:49 PM  
**Publicly Accessible**

---

  - ☰ Number: 7 Author: richarmi Subject: Text Box Date: 7/14/2019 9:39:15 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**

Add line that says (All Urban Center Frontage standards.) 1

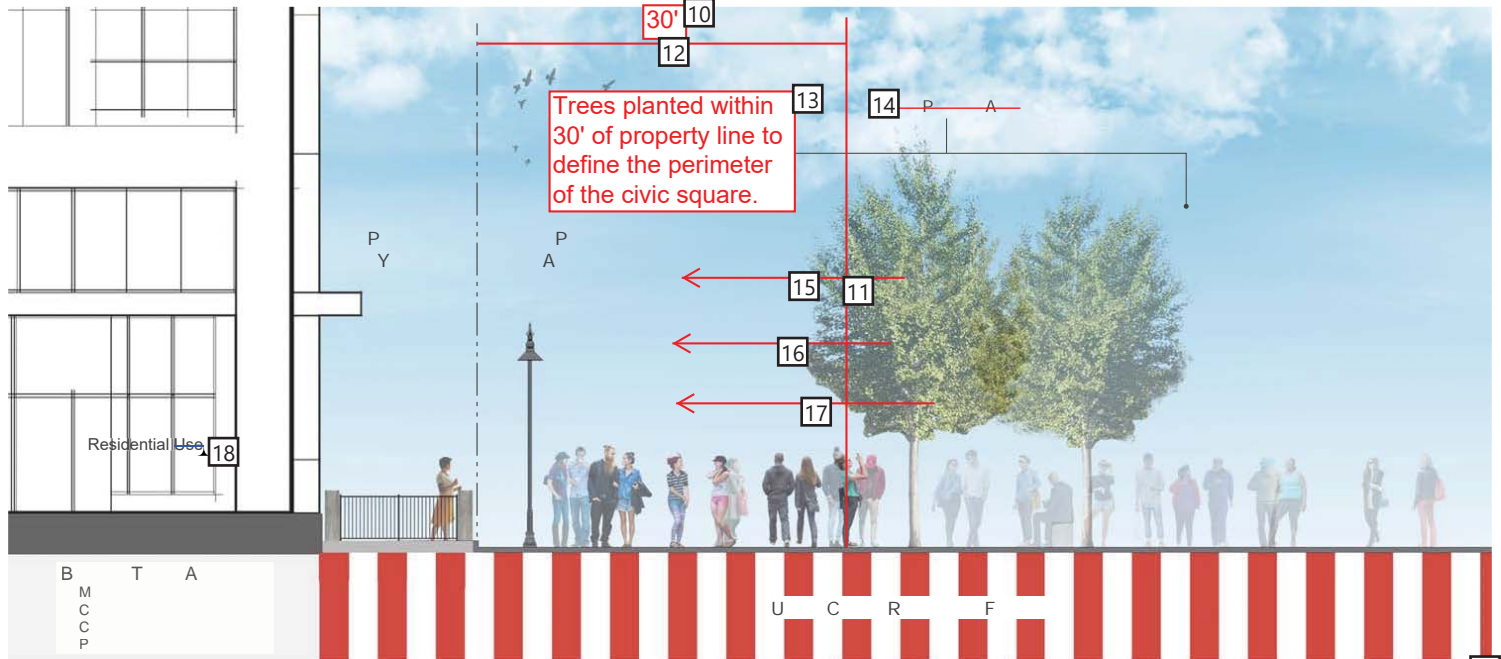
### Urban Center/Residential Frontage

#### Frontage Standards

S40 Any private patio/yards 2 will be a minimum of twelve inches (12") above the ground plane 3 the plaza/square surface.

S41 4 the perimeter of property 6 will be defined by a masonry or decorative metal railing 7 maximum forty-two inches (42") high 8

9 12 Green planting areas shall be located within thirty feet (30') of the property line.



Illustrative section to indicate areas of public access. Does not represent correct scale or final design. 19



- 
- ☰ Number: 1 Author: richarmi Subject: Callout Date: 7/14/2019 8:10:09 PM  
**Add line that says (All Urban Center Frontage standards.)**
- 
- 🔍 Number: 2 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:10:48 PM  
off of a residential unit
- 
- 🔍 Number: 3 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:10:54 PM  
e
- 
- ✖ Number: 4 Author: richarmi Subject: Cross-Out Date: 7/12/2019 9:18:08 AM
- 
- ✖ Number: 5 Author: richarmi Subject: Cross-Out Date: 7/12/2019 9:16:49 AM
- 
- 🔍 Number: 6 Author: richarmi Subject: Inserted Text Date: 7/12/2019 9:18:19 AM  
Residential units adjacent to the civic square...
- 
- 🔍 Number: 7 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:17:14 PM  
(
- 
- 🔍 Number: 8 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:17:20 PM  
)
- 
- ✖ Number: 9 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:13:01 PM  
Modified S32 addresses this: "Trees shall define the perimeter of the civic square and must be planted within 30' of the adjacent property line."  
Revise/clarify diagram below.
- 
- ☰ Number: 10 Author: richarmi Subject: Text Box Date: 7/14/2019 8:16:04 PM  
**30'**
- 
- ↗ Number: 11 Author: richarmi Subject: Line Date: 7/14/2019 8:14:29 PM
- 
- ↗ Number: 12 Author: richarmi Subject: Line Date: 7/14/2019 8:15:47 PM
- 
- ☰ Number: 13 Author: richarmi Subject: Text Box Date: 7/14/2019 8:15:38 PM  
**Trees planted within 30' of property line to define the perimeter of the civic square.**
- 
- ✖ Number: 14 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:13:27 PM
- 
- ↗ Number: 15 Author: richarmi Subject: Line Date: 7/14/2019 8:13:59 PM
- 
- ↗ Number: 16 Author: richarmi Subject: Line Date: 7/14/2019 8:13:44 PM
- 
- ↗ Number: 17 Author: richarmi Subject: Line Date: 7/14/2019 8:14:06 PM
- 
- 🔍 Number: 18 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:13:20 PM  
Unit
- 
- ☰ Number: 19 Author: richarmi Subject: Text Box Date: 7/14/2019 9:39:26 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**

## F6 Gateway

The Gateway districts are highly visible corners of the site that will act as entry and identity, and will provide opportunities for business and employment uses. Applicable frontage types address the informal landscape character of Mississippi River Boulevard and the more urban street relationship on the east side. Both locations represent unique opportunities for public art.

Building types allowed: **1** Commercial & employment, civic/institutional and parking structures.

## Building Standards

~~**2** Building materials shall include stucco, brick, stone and related masonry finishes, complemented by wood and metal details.~~




### Legend


- Gateway West Frontage
- Gateway East Frontage
- F6 District Boundary

\*Map not to scale

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 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/12/2019 2:22:29 PM  
by zoning

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 Number: 2 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:18:38 PM  
[See allowed materials list per modified G20 language.]



## Gateway West Frontage

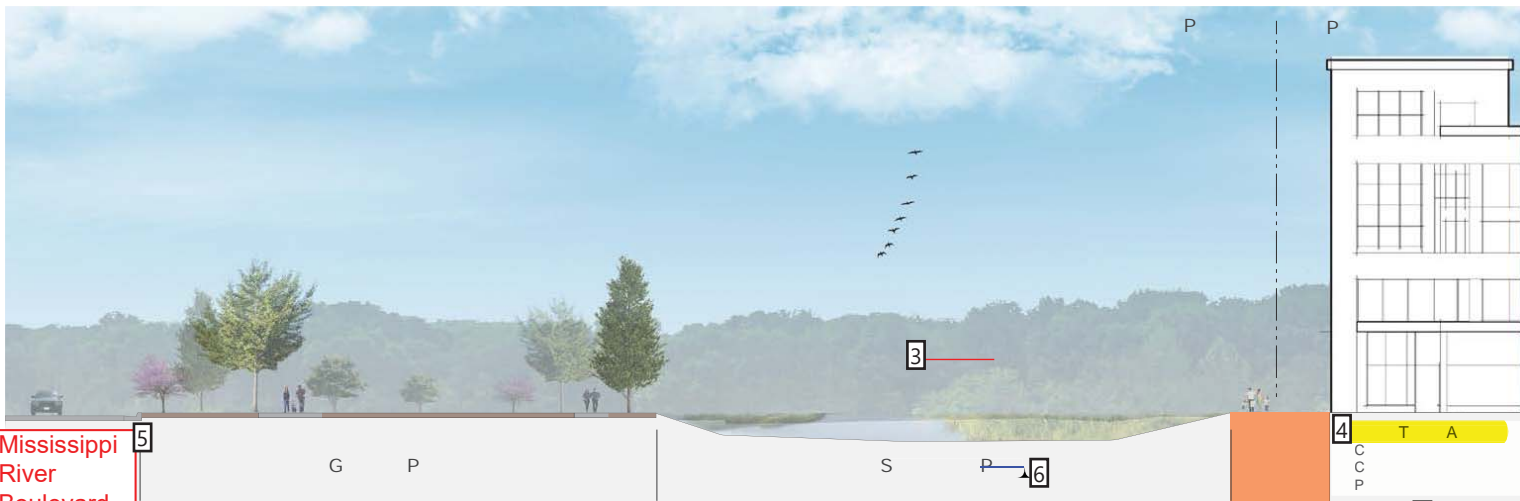
### Frontage Standards

S44 The building setback fronting the Gateway Park shall be limited to <sup>1</sup> ten feet (10').

~~S45 Outdoor plazas, patios, and commons, as well as indoor gathering areas, meeting spaces and common building spaces/corridors, shall face the park.~~

S46 The landscape design of the site and related stormwater facilities shall reflect the natural and informal character of Mississippi River Boulevard.


S47 Retaining walls and other visual barriers facing the park shall be limited to twenty-four inches (24") high.




Illustrative section to indicate areas of public access. Does not represent correct scale or final design. <sup>7</sup>




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 Number: 1 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:58:51 PM  
a maximum of [the building types allowed here have a setback range of 5'-15' (Mixed, Civ & Inst, Comm & Emp, Parking Structure) or 10'-20' for residential. This standard keeps a relatively constant building face around the park, while allowing some variation of up to 5']


---

 Number: 2 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:48:17 PM  
[Prescriptive due to the fact that we don't know the uses of the buildings, nor the tenants, nor where common areas and meeting spaces and corridors should be located to best serve the site. Block 6 has very limited area that faces the park.]


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 Number: 3 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:35:29 PM


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 Number: 4 Author: richarmi Subject: Comment on Text Date: 7/14/2019 8:39:52 PM  
Modify per April amendments.


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 Number: 5 Author: richarmi Subject: Text Box Date: 7/14/2019 8:34:43 PM  
**Mississippi River Boulevard**

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 Number: 6 Author: richarmi Subject: Inserted Text Date: 7/14/2019 8:35:24 PM  
Facility

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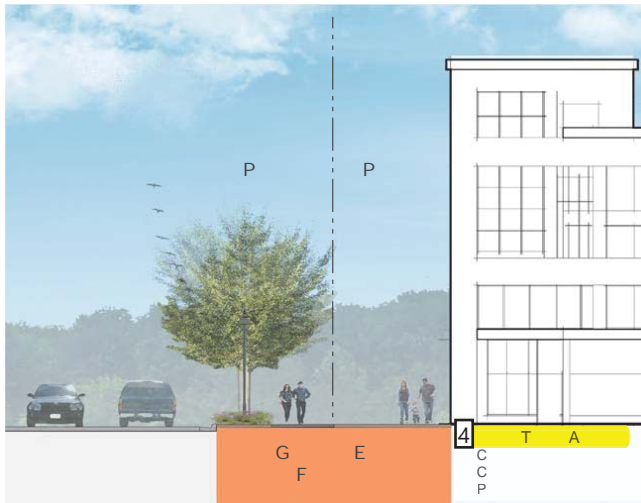
 Number: 7 Author: richarmi Subject: Text Box Date: 7/14/2019 9:39:34 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**



## Gateway East Frontage


### Frontage Standards

- ~~148 Any principal building shall hold the corner, preferably with a corner entry and related architectural massing at the corner.~~
- ~~249 Building setbacks shall be a minimum of ten feet (10').~~
- ~~350 Outdoor plazas, patios, and commons, as well as indoor gathering areas, meeting spaces and common building spaces/corridors, shall face the street rights-of-way.~~




~~Illustrative section to indicate areas of public access. Does not represent correct scale or final design.~~


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 Number: 1 Author: richarmi Subject: Cross-Out Date: 7/14/2019 9:01:25 PM  
[Modified version of G15 addresses this, in combination with the setback ranges addressed in the note for S49. New buildings on corner lots shall be oriented to the corner and both public streets.]


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 Number: 2 Author: richarmi Subject: Cross-Out Date: 7/14/2019 8:59:24 PM  
Context to the east and north is that of larger setbacks or open space. For building types here, there is a setback range of 5'-15' (Mixed, Civ & Inst, Comm & Emp, Parking Structure) or 10'-20' for residential, ensuring there is a relationship to the street.


---

 Number: 3 Author: richarmi Subject: Cross-Out Date: 7/14/2019 9:02:13 PM  
[Same as S45. Prescriptive due to the fact that we don't know the uses of the buildings, nor the tenants, nor where common areas and meeting spaces and corridors should be located to best serve the site. Block 6 has very limited area that faces the park.]

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 Number: 4 Author: richarmi Subject: Comment on Text Date: 7/14/2019 8:40:09 PM  
Modify per April amendments.

---

 Number: 5 Author: richarmi Subject: Text Box Date: 7/14/2019 9:39:41 AM  
**Illustrative section to indicate areas of public access. Does not represent correct scale or final design.**

## Design Standards

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## Appendix

### Street Trees

- Refer to Legislative Code Title 8 Zoning Code, Chapters 66, 67 and Title 17, Chapters 175, 176, 177, 178, and Title 29, Chapter 362.
- For other boulevard treatments including rain gardens refer to applicable ordinances in Chapters 73, 105, 116, 121, 135 and 176 of the Saint Paul Legislative Code.

### Building Standards

- Refer to Legislative Code Title 8 Zoning Code Article I. 63.100 General Provisions and Performance Standards

**1** ~~Sec. 63.110 Building Design Standards, (c) does not apply.~~

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Number: 1 Author: richarmi Subject: Cross-Out Date: 7/14/2019 9:08:45 PM

[This can be struck because 63.110(c) reads: "In pedestrian-oriented commercial districts characterized by storefront commercial buildings built up to the public sidewalk, new principal structures..." Because there are no buildings on the Ford Site that allow buildings to be built to the sidewalk due to 5' setback minimum, this does not apply.]

ATTACHMENT 2:

Draft Zoning Text Amendments for Ford Design Standards

DRAFT ZONING TEXT AMENDMENTS FOR FORD DESIGN STANDARDS

The Zoning Code text amendments that follow are recommended to be addressed through a zoning study initiated by the Planning Commission to reflect the addition of proposed design standards. The existing text reflects adopted changes from April of 2019 (Ord 19-19, Ryan amendments).

Note: Only relevant sections that provide reference or are being amended are included.

ARTICLE IV. - 61.400. SITE PLAN REVIEW

Sec. 61.402. - Site plan review by the planning commission.

(a) Plan to be submitted. A site plan shall be submitted to and approved by the planning commission before a permit is issued for grading or the erection or enlargement of any building except one- and two-family dwellings, and including the following:

...  
(4) Any development in a T<sup>1</sup>~~F~~ district.

... (5) Any development in an F district, including one- and two-family dwellings. (Update numbers following)

[There is currently no requirement for site plan review of single-family homes. Since there are specific standards proposed <sup>2</sup> at the frontage along Mississippi River Boulevard, this amendment ensures review of the design standards in the event a one-family dwelling is proposed in that location.]

Sec 60.301. - Zoning districts established.  
For the purposes of this code, the city is hereby divided into the following zoning districts:  
(a) Residential districts.  
...  
(f) Special districts.  
VP vehicular parking district  
PD planned development district  
F1 river residential district  
F2 residential mixed low district  
F3 residential mixed mid district  
F4 residential mixed high district  
F5 business mixed district  
F6 gateway district  
(g) Overlay districts...

Sec. 64.503. - T1-T4 traditional neighborhood, F1-F6 Ford and OS-BC business districts.  
(a) Business and identification signs...  
[Unless F districts are added here, 64.501 language prohibits signage on the site.]

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Number: 1 Author: richarmi Subject: Cross-Out Date: 7/15/2019 7:33:40 AM

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Number: 2 Author: richarmi Subject: Text Box Date: 7/15/2019 7:35:29 AM

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(5) Any development in an F district, including one- and two-family dwellings. (Update numbers following)

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Number: 3 Author: richarmi Subject: Text Box Date: 7/15/2019 8:22:08 AM

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Sec. 64.503. - T1-T4 traditional neighborhood, F1-F6 Ford and OS-BC business districts.

(a) *Business and identification signs...*

[Unless F districts are added here, 64.501 language prohibits signage on the site.]

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Number: 4 Author: richarmi Subject: Text Box Date: 7/15/2019 8:22:05 AM

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Sec 60.301. - Zoning districts established.

For the purposes of this code, the city is hereby divided into the following zoning districts:

(a) Residential districts.

...

(f) Special districts.

VP vehicular parking district

PD planned development district

F1 river residential district

F2 residential mixed low district

F3 residential mixed mid district

F4 residential mixed high district

F5 business mixed district

F6 gateway district

(g) Overlay districts...



ARTICLE IX. 66.900. FORD DISTRICTS

...

Division 3. 66.930. Ford District Dimensional Standards

**Sec. 66.931. Ford district dimensional standards table.**

Table 66.931, Ford district dimensional standards, sets forth density and dimensional standards that are specific to Ford districts. These standards are in addition to the provisions of chapter 63, regulations of general applicability. Where an existing building does not conform to the following requirements, the building may be expanded without fully meeting the requirements as long as the expansion does not increase the nonconformity.

Table 66.931. Ford District Dimensional Standards

Building zone district (a)	Maximum lot area in acres	Minimum lot width in feet	Minimum building setback in feet	Minimum building height in feet	Maximum lot coverage percentage of Buildings	Minimum building setback in feet (e)	Minimum front yard setback in feet
<b>F1 river residential</b>							
One-family dwelling	0.25 - 1.5	60	60	20	30% <sup>1</sup>	40%	10 - 40 (g)
Multi-unit home	0.25 - 1.5	60	60	20	40%	10 - 40 (g)	10

48 [This was proposed and discussed as 48 during the Ryan amendment process, but needs to be changed due to a transposition error.]

Carriage house	1.0 - 2.0	n/a	60	n/a	30	per main building	10 - 20	6 (h)
Live/work	1.0 - 2.0	30	150	30	55	70%	5 - 20	6 (h)
Nonresidential or mixed	1.0 - 2.0	n/a	500	30	55	70%	5 - 15	6 (h)
<b>F3 residential mixed mid</b>								
Townhouse, rowhouse	1.0 - 4.0	30	150	30	65 (b)	50%	10 - 20	6 (h)
Multifamily	2.0 - 4.0	60	n/a	40	65 (b)	70%	10 - 20	6 (h)
Live/work	2.0 - 4.0	30	150	40	65 (b)	70%	5 - 20	6 (h)
Nonresidential or mixed	2.0 - 4.0	n/a	500	40	65 (b)	70%	5 - 15	6 (h)
<b>F4 residential mixed high</b>								
Townhouse, rowhouse	3.0 - 6.0	30	150	48	75 (c)	50%	10 - 20	6 (h)
Multifamily medium	3.0 - 6.0	n/a	n/a	48	75 (c)	70%	10 - 20	6 (h)
Live/work	3.0 - 6.0	30	150	48	75 (c)	70%	5 - 20	6 (h)
Nonresidential or mixed	3.0 - 6.0	n/a	500	48	75 (c)	70%	5 - 15	6 (h)
<b>F5 business mixed</b>								
Nonresidential or mixed	2.0 - 4.0	n/a	500	40	65 (d)	70%	5 - 15	6 (h)
<b>F6 gateway</b>								
Nonresidential or mixed	1.0 - 3.0	n/a	500	30	65	70%	5 - 15	6 (h)

Min. - Minimum      Max. - Maximum      ROW - Public Right-of-Way      n/a - not applicable

Notes to table 66.331, Ford district dimensional standards:

(a) Building types are described and defined in Chapter [56](#) of the Ford Site Zoning and Public Realm Master Plan.

- (b) A maximum building height of seventy-five (75) feet may be permitted with a minimum ten (10) foot stepback from all minimum setback lines for all portions of the building above a height of twenty-five (25) feet.
- (c) All portions of a building above a height of twenty-five (25) feet shall be stepped back a minimum of ten (10) feet from all minimum setback lines. The maximum building height may exceed seventy-five (75) feet, to a maximum of one hundred ten (110) feet, subject to the following conditions:
  - (1) A minimum of one (1) acre of buildable land in the F1, F2, F3, and/or F4 districts shall have been dedicated or conveyed to the city for public use for parks, playgrounds, recreation facilities, trails, or open space, in excess of the amount of land required to be dedicated for parkland at the time of platting. Such dedication of the additional parkland must be consistent with the criteria for parkland dedication in section 69.511, and is subject to city council approval.
  - (2) Maximum developable gross floor area of dedicated land from (c)(1), based on its underlying zoning, may be transferred and added to development allowed in an F4-zoned area, in compliance with other applicable requirements for the district or building, such as FAR, setbacks and open space coverage.
- (d) Building height may exceed sixty-five (65) feet, to a maximum of seventy-five (75) feet, with a minimum ten (10) foot stepback from all minimum setback lines for all portions of the building above a height of thirty (30) feet, except for corner elements and portions of the building facing the civic square identified in the Ford Site Zoning and Public Realm Master Plan, Chapter ~~78~~.
- (e) Building setback is the horizontal distance between a lot line and the nearest above-grade point of a building. An interior setback is measured from an interior lot line, which is a lot line separating a lot from another lot or lots. A public right-of-way (ROW) setback is measured from a lot line that is not an interior lot line: a lot line separating a lot from a street, alley, or public way.
- (f) Maximum building setback shall apply to at least sixty (60) percent of the building facade along the right-of-way.
- (g) Buildings shall be setback a minimum of thirty (30) feet, with no maximum setback, from a lot line separating a lot

(h) No setback is required for building walls containing no windows or other openings when the wall meets the fire resistance standards of the Minnesota State Building Code and there is a Common Interest Community (CIC) or recorded maintenance easement that covers the affected properties.

Division 4. 66.940. Ford District Development Standards

**Sec. 66.941. Ford district accessory building standards.**

In addition to the standards for accessory buildings in Section 63.501, accessory buildings in Ford districts shall be subject to the following regulations:

- (a) Accessory buildings shall meet required public right-of-way setback requirements for a carriage house in F1-F2 districts, and for the principal building on the lot in F3-F6 districts.
- (b) The Ford Site Zoning and Public Realm Master Plan, Chapter 56, regulates the number of accessory buildings permitted on a lot by building type.

**Sec. 66.942. Ford district vehicle parking standards.**

Off-street parking shall be provided as follows. These requirements supersede the parking requirements in section 63.207.

Table 66.942. Vehicle Parking Requirements by Use

Use	Minimum number of parking spaces	Additional parking spaces (a)
Residential, dwellings	0.75 space per dwelling unit	2 spaces per dwelling unit
Residential, congregate living	0.25 space per bedroom	1 space per bedroom
Nonresidential	1 space per 600 square feet GFA	1 space per 200 square feet GFA

GFA – Gross Floor Area

The Ford Site Zoning and Public Realm Master Plan, Chapters 4, 7, 4 and 5, sets vehicle parking facility standards that are in addition to the parking facility standards in chapter 63...

**Sec. 66.945. Ford district general development standards.**

- (a) ~~The design standards in section 66.343 for the T3 traditional neighborhood district apply in all Ford districts. The Ford Site Zoning and Public Realm Master Plan, Chapter 5, sets standards for building and public realm design.~~
- (b) The Ford Site Zoning and Public Realm Master Plan, Chapter 4.7, sets standards for vegetation and landscaping, lighting, solar energy, and roofing that are in addition to chapter 63 standards.

Division 5. 66.950. Ford District Planning Requirements

**Sec. 66.951. Ford Site Zoning and Public Realm Master Plan.**

(a) A Ford Site Zoning and Public Realm Master Plan, for use with this article to guide redevelopment of the Ford site, shall be adopted ~~and can be amended~~ by city council resolution after a public hearing and planning commission review and recommendation.

~~(b) Changes to the master plan. Once approved, the Ford Site Zoning and Public Realm Master Plan may be modified as follows:~~

(1) ~~Minor modification. Minor modifications to an approved master plan may be requested by the property owner or developer. The planning administrator and director(s) of affected city departments may approve minor modifications, including changes of less than ten (10) percent in land area designated for public rights-of-way or parks, provided such changes are consistent with the intent of the master plan.~~

(2) ~~Major modification. Major modifications to an approved master plan may be initiated by the city council, the planning commission, or any person having an ownership or leasehold interest (contingent included) in property that is the subject of the proposed modification. Major modifications include changes of ten (10) percent or more in land area designated for public rights-of-way or parks; creation of a new public street or removal of a public street segment; removal of a park or open space area; or addition or removal of an entire block. Major modifications may be approved as an amendment to the master plan by city council resolution following planning commission review, public hearing and recommendation.~~

[This language is based on the Traditional Neighborhood district planning requirements section 66.344 to allow for adjustments during the master site plan, platting, and project site plan processes.]

~~(3) ~~Changes to the master plan. Site plans and other development proposals within the Ford zoning districts shall be consistent with the standards and requirements described in the Ford Site Zoning and Public Realm Master Plan unless the applicant can demonstrate that there are circumstances unique to the property that make compliance impractical or unreasonable. The submittal and review process is defined in 61.400, Site plan review. [This language defines the process for standards not subject to the standard variance process.]~~~~

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Number: 1 Author: richarmi Subject: Inserted Text Date: 7/15/2019 7:58:35 AM  
Minor and major modifications

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Number: 2 Author: richarmi Subject: Comment on Text Date: 7/15/2019 7:58:42 AM  
Italicize

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Number: 3 Author: richarmi Subject: Inserted Text Date: 7/15/2019 7:41:24 AM  
shall cause the proposed request to be reviewed by the public works and parks and recreations departments and other affected city departments and [revised language to clarify the process and better match other language (see plat procedure).]

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Number: 4 Author: richarmi Subject: Text Box Date: 7/15/2019 8:08:49 AM  
(3) *It changes to the standard. Site plans and other development proposals within the Ford zoning districts shall be consistent with the standards and requirements described in the Ford Site Zoning and Public Realm Master Plan unless the applicant can demonstrate that there are circumstances unique to the property that make compliance impractical or unreasonable. The submittal and review process is defined in 61.400, Site plan review. [This language defines the process for standards not subject to the standard variance process.]*