



CITY OF SAINT PAUL
Melvin Carter, Mayor

25 West Fourth Street, Ste. 1400
Saint Paul, MN 55102

Telephone: 651-266-6700
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MEMORANDUM

TO: Heritage Preservation Commissioners
FROM: George Gause, Heritage Preservation Supervisor
RE: October 19, 2020 HPC meeting – City of Saint Paul Repair Work to Central Library

SITE DESCRIPTION:

The Library was completed in 1917. It was designed by Electus D. Litchfield of New York City, with the guidance of national library expert Charles C. Soule. The building is an example of North Italian Renaissance architecture; it is of a symmetrical design with seven bays and two pavilions. Exterior walls of Tennessee marble serve as a neutral background for the Palladian entries, arched windows, dentiled band courses, garland and swag frieze, and the heavy dentiled cornice, which creates the Renaissance form of the building. The building is surrounded and framed by a matching Tennessee marble railing. The building fills an entire city block, with the primary facade facing onto Rice Park.

PROPOSED CHANGES:

Structural concerns and various deterioration require restoration work be performed. Work includes:

- Epoxy and pin cracked modillions, Replace missing and broken modillions
- Patch eroded, chipped or cracked stone, Replace stone fasteners
- Tuckpointing of various areas

LEGISLATIVE CODE CHAPTER 73

73.06(b) City Activity. *The heritage preservation commission shall review and make recommendations concerning all other city activity to change the nature or appearance of a heritage preservation site, and no permit shall issue or work commence until the heritage preservation commission renders its recommendation thereon subject to the limitation specified in paragraph (f) of this section.*

The Secretary of the Interior's Standards for Rehabilitation:

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

Work will repair deterioration issues. There will be no change to the look or materials of the structure.

The St. Paul Public Library/James J. Hill Reference Library Preservation Program:

Exterior should be preserved in a manner consistent with its original design intent.

Work will repair deterioration issues. There will be no change to the look or materials of the structure.

STAFF COMMENTS

The work will restore and maintain the historic structure. No visible change will be noticeable after repair work is complete.

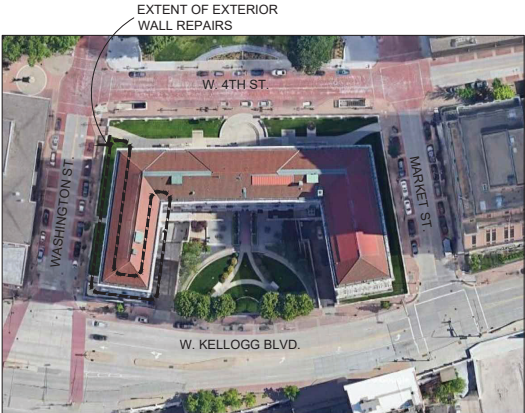
SUGGESTED MOTION

I move that the HPC recommends that the City of Saint Paul Central Library work at 90 4th Street West move forward as per presented testimony, submitted documentation and information provided in the staff report.

GEORGE LATIMER CENTRAL LIBRARY EXTERIOR WALL REPAIRS

90 WEST 4TH STREET
SAINT PAUL, MN 55102
OCTOBER X, 2020

STAGING
AREA



AERIAL PHOTOGRAPH COURTESY OF MAPS.GOOGLE.COM



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T1.0 AREA AND STAGING PLAN
SCALE: NTS

APPLICABLE GOVERNING CODES

1. 2020 MINNESOTA BUILDING CODE ADMINISTRATION
2. 2020 MINNESOTA PROVISIONS TO THE STATE BUILDING CODE
3. 2020 MINNESOTA BUILDING CODE
4. 2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS
5. 2020 MINNESOTA ENERGY CODE
6. 2020 MINNESOTA ACCESSIBILITY CODE
7. 2020 MINNESOTA MECHANICAL AND FUEL GAS CODES

PROJECT DIRECTORY

OWNER:
CITY OF SAINT PAUL
25 WEST 4TH STREET, SUITE 400
SAINT PAUL, MN 55102
SITE CONTACT: BARB MORIN
PHONE CONTACT: 651.266.6679

EXTERIOR WALL CONSULTANT:
BRAUN INTERTEC CORPORATE
11001 HAMPSHIRE AVENUE SOUTH
BLOOMINGTON, MN 55438
PROJECT MANAGER: PAMELA JERGENSEN
PHONE CONTACT: 612.968.1614

SHEET INDEX

- A0.0 - TITLE SHEET AND KEY PLAN
- A1.0 - ROOF PLAN
- A2.0 - EXTERIOR ELEVATIONS
- A3.0 - SECTIONS AND DETAILS
- A3.1 - PHOTO DETAILS

ABBREVIATIONS

AB	AIR BARRIER	OFD	OVERFLOW DRAIN
BLKG	BLOCKING	OFS	OVERFLOW SCUPPER
BP	BID PACKAGE	PERIM	PERIMETER
CJ	CONTROL JOINT	PLYWD	PLYWOOD
CMU	CONCRETE MASONRY UNIT	PREFIN	PREFINISHED
CONC	CONCRETE	PSF	POUNDS PER SQUARE
CONT	CONTINUOUS	FOOT	
DIA	DIAMETER	R	RISER
DN	DOWN	RAD	RADIUS
DSP	DOWN SPOUT	RD	ROOF DRAIN
EA	EACH	RDL	ROOF DRAIN LEADER
EJ	EXPANSION JOINT	REINF	REINFORCED/REINFORCING
EL	ELEVATION	REQD	REQUIRED
ELEC	ELECTRICAL	REV	REVERSE
EQ	EQUAL	RO	ROUGH OPENING
EQPT	EQUIPMENT	SHT	SHEET
EXIST	EXISTING	SM	SIMILAR
EXP	EXPOSED	SST	STAINLESS STEEL
FGLASS	FIBERGLASS	STL	STEEL
FV	FIELD VERIFY	STRUCT	STRUCTURE
GALV	GALVANIZED	TEMP	TEMPORARY
GC	GENERAL CONTRACTOR	TO	TOP OF
GYP BD	GYP SUM BOARD	TPO	THERMOPLASTIC
HT	HEIGHT	POLYOLEFIN	
INSUL	INSULATION	TWF	THRU WALL FLASHING
JT	JOINT	TYP	TYPICAL
LOC	LOCATION	UNO	UNLESS NOTED
MAX	MAXIMUM	OTHERWISE	
MECH	MECHANICAL	VB	VAPOR BARRIER
MFR	MANUFACTURER	VERT	VERTICAL
MIN	MINIMUM	VFY	VERIFY
MNTD	MOUNTED	VR	VAPOR RETARDER
MO	MASONRY OPENING	WD	WOOD
MP	METAL PANEL		
MTL	METAL		
NIC	NOT IN CONTRACT		
NOM	NOMINAL		
NTS	NOT TO SCALE		
OC	ON CENTER		
OD	OUTSIDE DIAMETER		

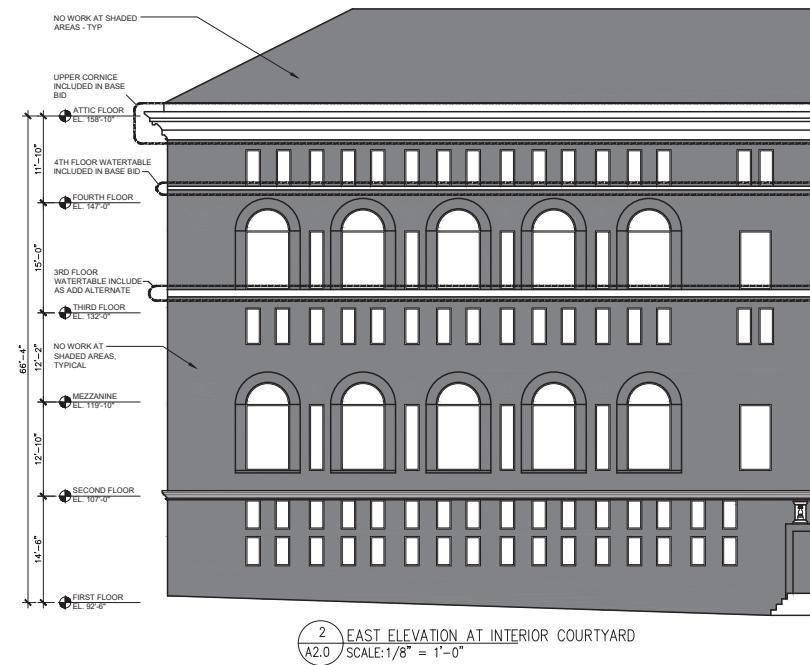
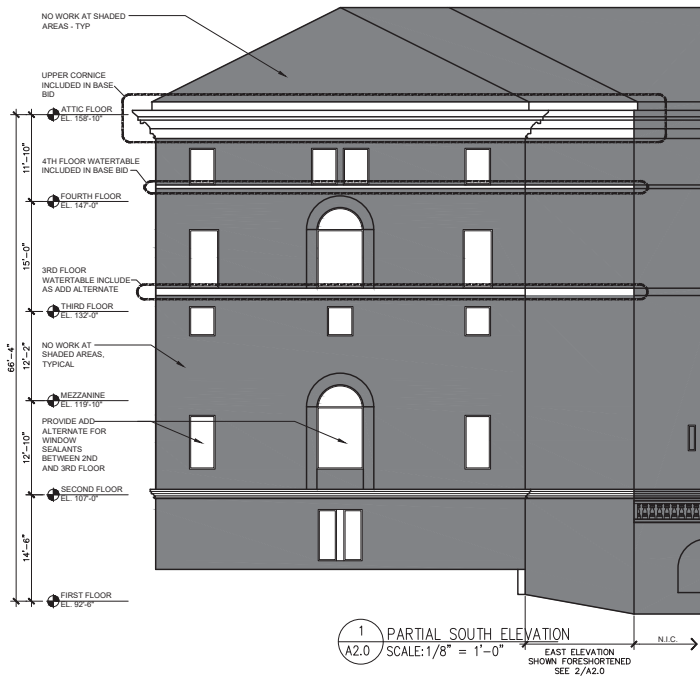
MATERIALS

EXISTING CONSTRUCTION	
EARTH	
CONCRETE	
MASONRY	
GRAVEL	
WOOD BLOCKING	
PLYWOOD	
RIGID INSULATION	
ISO INSULATION	

GENERAL NOTES

1. CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS, PLAN REVIEWS AND APPROVALS THAT AREA REQUIRED FOR THE PROJECT.
2. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES, REGULATIONS, AND COUNTY STANDARDS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, AND ALIGNMENTS WITH EXISTING CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.
4. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL ITEMS WHICH ARE NECESSARY TO INSURE A GOOD WORKMANSHIP INSTALLATION EVEN THOUGH SUCH ITEMS ARE NOT SPECIFICALLY SHOWN ON THE DRAWINGS.
5. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM WASTE MATERIAL OR RUBBISH CAUSED BY THE WORK.
6. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL CLEAN ALL SURFACES AND LEAVE THE WORK IN CLEAN CONDITION.
7. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY DAMAGE CAUSED TO THE EXISTING BUILDING, LANDSCAPING AND PROPERTY DURING CONSTRUCTION OUTSIDE OF CONSTRUCTION LIMITS.
8. WORK DONE OUTSIDE OF NORMAL WORKING HOURS, 7:00 AM TO 4:00 PM, SHALL BE AUTHORIZED BY OWNER.
9. SITE STORAGE - COOPERATE AND COORDINATE USE OF AVAILABLE AREAS EFFECTIVELY AND WITHIN THE SEQUENCE OF WORK. OWNER SHALL ESTABLISH AND GOVERN USE OF AVAILABLE SPACE.
10. PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION WORK AREAS AND PROTECT EXISTING FACILITIES AND PROPERTIES.
11. SITE STAGING AREA AND RESTORATION MUST BE COORDINATED WITH THE OWNER. STAGING AREA AND RESTORATION MUST MEET LANDSCAPE STANDARDS





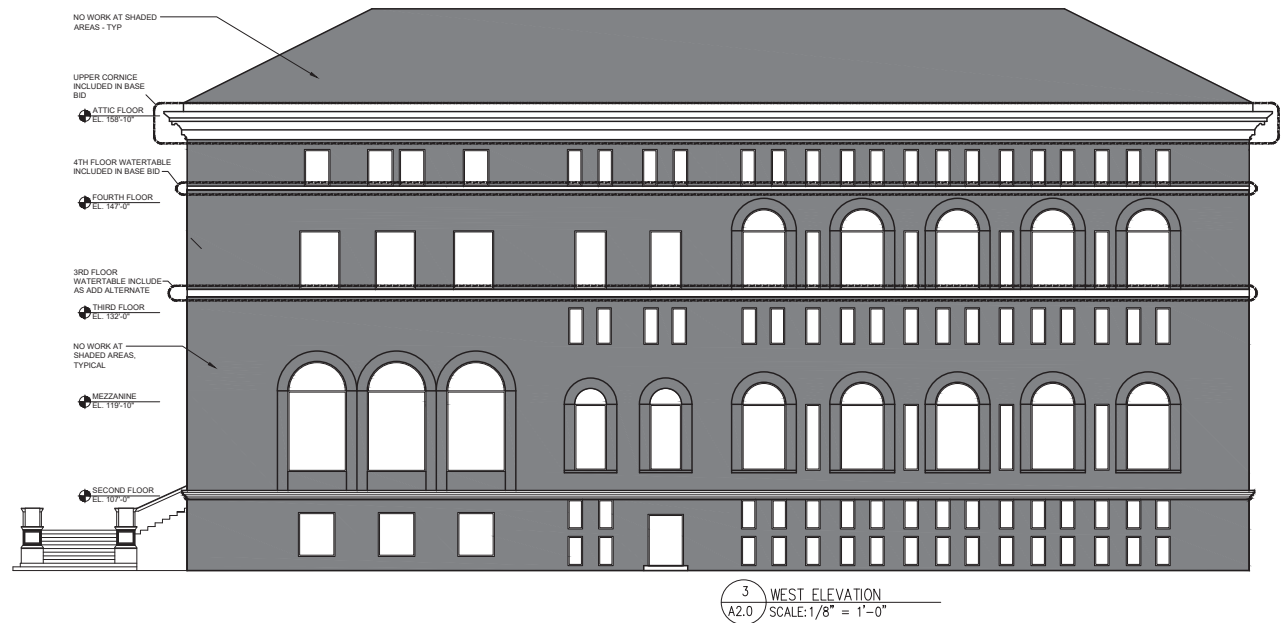
EAST ELEVATION REFERENCE PHOTO



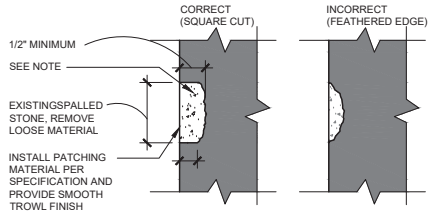
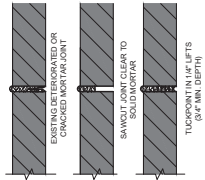
SOUTH ELEVATION REFERENCE PHOTO



WEST ELEVATION REFERENCE PHOTO



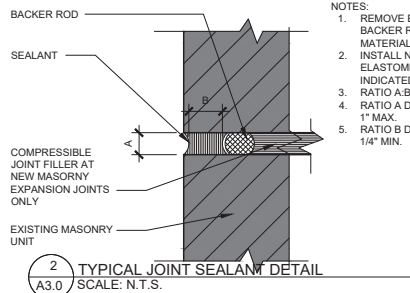
1 TUCKPOINTING DETAIL
A3.0 SCALE: N.T.S.



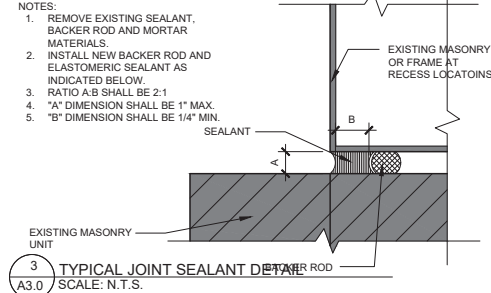
NOTE: THIS DETAIL APPLIES ONLY TO STONE SPALLED AREAS WHERE THE REQUIRED PATH THICKNESS IS LESS THAN OR EQUAL TO 3/4"

FOR PATCH DEPTHS GREAT OR EQUAL TO 3", PROVIDE 1/3" DIAMETER STAINLESS STEEL PINS WITH MINIMUM 1" EMBEDMENT AT 3'-0" O.C EACH WAY (3" GRID PATTERN)

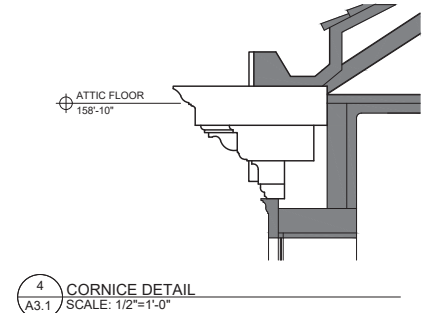
5 STONE PATCH REPAIR DETAIL
A3.0 SCALE: N.T.S.



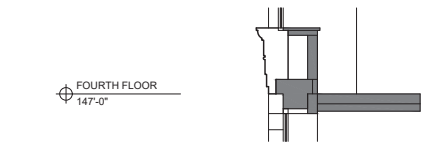
2 TYPICAL JOINT SEALANT DETAIL
A3.0 SCALE: N.T.S.



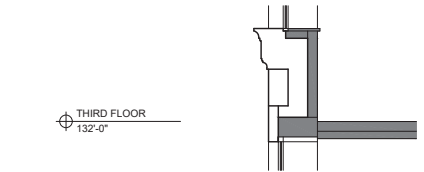
3 TYPICAL JOINT SEALANT DETAIL
A3.0 SCALE: N.T.S.



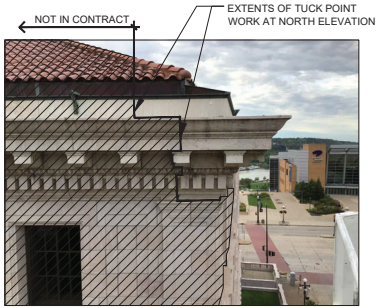
4 CORNICE DETAIL
A3.1 SCALE: 1/2"=1'-0"



8 4TH FLOOR WATERTABLE
A3.1 SCALE: 1/2"=1'-0"



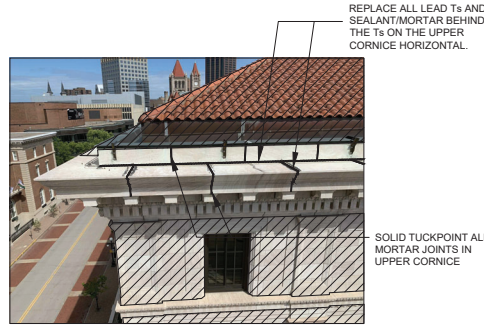
12 3RD FLOOR WATERTABLE
A3.1 SCALE: 1/2"=1'-0"



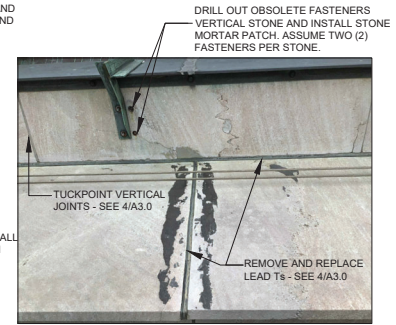
1 NORTHWEST CORNER - WORK EXTENTS
A3.1 SCALE: N.T.S.



2 UPPER STONE CORNICE - NORTHWEST CORNER
A3.1 SCALE: N.T.S.



3 UPPER STONE CORNICE - SOUTHWEST CORNER
A3.1 SCALE: N.T.S.



4 UPPER STONE CORNICE - ROOF TRANSITION
A3.1 SCALE: N.T.S.



5 UPPER STONE CORNICE - UNDERSIDE
A3.1 SCALE: N.T.S.



6 UPPER STONE CORNICE - UNDERSIDE DETAIL
A3.1 SCALE: N.T.S.



7 CLOSE-UP OF EXISTING ROSETTE (2 TYPES)
A3.1 SCALE: N.T.S.



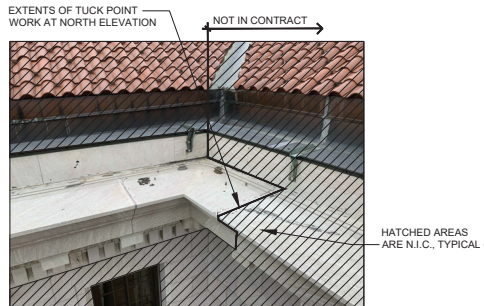
8 UPPER STONE CORNICE - LOWER DETAIL
A3.1 SCALE: N.T.S.



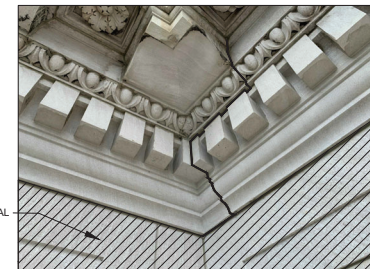
9 SOUTHEAST CORNER - SOUTH ELEVATION
A3.1 SCALE: N.T.S.



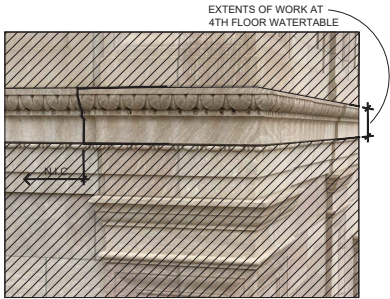
10 SOUTHEAST CORNER - EAST ELEVATION
A3.1 SCALE: N.T.S.



11 SOUTHEAST CORNER AT DOCK - WORK EXTENTS
A3.1 SCALE: N.T.S.



12 4TH FLOOR STONE WATERTABLE- EXTENTS
A3.1 SCALE: N.T.S. AT NORTH ELEVATION, NORTHWEST CORNER



1 4TH FLOOR STONE WATERTABLE - EXTENTS
A3.2 SCALE: N.T.S.



2 4TH FLOOR WATERTABLE - TOP VIEW
A3.2 SCALE: N.T.S.



3 4TH FLOOR WATERTABLE - ELEVATION
A3.2 SCALE: N.T.S.



4 SE CORNER EXTENTS @ 4TH FLOOR WATERTABLE
A3.2 SCALE: N.T.S.



5 NW CORNER EXTENTS @ 3RD FLOOR WATERTABLE
A3.2 SCALE: N.T.S.



6 3RD FLOOR WATERTABLE - TOP VIEW
A3.2 SCALE: N.T.S.



7 SE CORNER - 3RD FLOOR WATERTABLE EXTENTS
A3.2 SCALE: N.T.S.



8 STONE MODILLON PINNING
A3.2 SCALE: N.T.S.