



CITY OF SAINT PAUL
Melvin Carter, Mayor

25 West Fourth Street
Saint Paul, MN 55102

Telephone: 651-266-6626
Facsimile: 651-228-3341

Date: May 30, 2019
To: Saint Paul Planning Commission
From: Comprehensive and Neighborhood Planning Committee (CNPC)
Subject: Design Standards Amendment to the *Ford Site Zoning and Public Realm Master Plan*

BACKGROUND

In 2017, the City Council directed the creation of design standards when it adopted the *Ford Site Zoning and Public Realm Master Plan (Master Plan)* (Ord 17-40). Design standards support the development of a walkable, pedestrian and bike-friendly built environment, and encourage a sense of place. They are intended to address things like how the faces of buildings meet the street, what exterior building materials should be used, and landscaping. The standards will be added to the *Master Plan*, with Zoning Code amendments necessary for consistency.

As you know, Ryan Companies (Ryan), the master developer awarded development rights to the Ford Site, requested amendments to the *Master Plan*. After recommendations from the Planning Commission, a version of those amendments was adopted by the City Council in April of 2019. While most of those changes were to existing *Master Plan* content, the design standards being considered now would be new material. While minor changes to other parts of the *Master Plan* are proposed for internal consistency, no other changes are being recommended, nor is it expected that the Commission would entertain or recommend them.

PROCESS

A consultant team led by LHB, Inc. and supported by PlaceMakers and Forecast Public Art began working on the design standards in late fall of 2018. An inter-departmental City staff working group was created and met regularly to advise the consultant throughout the process. A focus group comprised of varied professionals and neighborhood representatives familiar with the area around the Ford Site was also assembled. The focus group met twice – once early in the process to provide guidance on overall approach and an outline of the standards, and once towards the end of the process to react to draft materials. Ryan was invited to, and participated in, both the working and focus groups.

City staff and the consultant presented at the Highland District Council's January 15, 2019 Community Development Committee meeting to provide a briefing on scope and schedule, and to answer questions. City staff hosted a public open house on April 23, 2019 at Gloria Dei Lutheran Church to update interested parties on the work, provide draft materials, and listen to feedback.

As an amendment to the *Master Plan* and per Sec 66.951 of the Zoning Code, the draft *Master Plan* and zoning text amendments will be reviewed by the Planning Commission and City Council, both of which will hold public hearings.

CONTENT

The design standards are proposed as a new chapter of the *Master Plan*, following Chapter 4 Zoning - Districts and General Standards. An outline of the content is as follows:

1. Introduction
2. General Standards
 - a. Open Space Diagram
 - b. Street Frontage Types
3. Design Standards by District
 - a. Frontage Types and Map
 - b. Standards Applicable to All Zoning Districts
 - c. Standards Applicable to Specific Zoning Districts
4. Appendix

When the *Master Plan* was originally adopted by the City Council in September of 2017, it used TN3 zoning district design standards as a placeholder until site-specific design standards were developed. Some of the content of the T3 standards has been incorporated into the draft design standards, but their general application in the Ford districts will be removed as part of this process.

The public art approach outlined in the *Master Plan* was also considered as part of the development of design standards. That work will provide the basis for a public art strategy, which will be presented to the Planning Commission and City Council at a later date.

ZONING STUDY AND OTHER CHANGES TO THE MASTER PLAN

To bring the Zoning Code and proposed *Master Plan* amendments into alignment, Zoning Code text amendments are necessary and attached herein. A zoning study is necessary to allow those text amendments to happen on a parallel track with the review of the design standards.

Other edits are necessary to the *Master Plan* and are:

1. Revise Table of Contents
2. Make Open Space System maps consistent
3. Remove references to forthcoming design standards
4. Clarify terminology of street hierarchy
5. Correct formatting errors

CONTINUED ENGAGEMENT WITH OTHER CITY DEPARTMENTS

The nature of the design standards has required frequent coordination with the Departments of Public Works, Parks and Recreation, and Safety and Inspections. That coordination will continue through the public review period. Any additional considerations will be brought back to the CNPC, along with the staff report after the public hearing.

RECOMMENDED ACTION

The CNPC recommends that the Planning Commission:

1. Initiate a zoning study for text amendments to the Zoning Code that correspond with the addition of design standards; and
2. Release the draft *Ford Site Zoning and Public Realm Master Plan* text amendments and draft design standards for public review and set a public hearing date of June 28, 2019.

Attachments:

Draft Design Standards Amendment to the *Ford Site Zoning and Public Realm Master Plan*
Draft Zoning Text Amendments for Ford Design Standards

Cc:

Dr. Bruce Corrie, PED Director
Ward 3 Office
City Attorney's Office
Highland District Council
Tony Barranco, Ryan Companies
Design Standards Working Group
Design Standards Focus Group

ATTACHMENT 1:

Draft Design Standards Amendment to the *Ford Site Zoning and Public Realm Master Plan*

(Please note that the pages are intended to be read as a pair, with the even page numbers on the left and the odd on the right.)

Introduction

The design standards are to be used in concert with the building type details and form requirements found in Chapter 5: Zoning – Building Types, with Chapter 6: Infrastructure, and in coordination with the other chapters of the *Ford Site Zoning and Public Realm Master Plan*. The Saint Paul Zoning Code acts as the backdrop of zoning and other building and site regulations for all elements not specifically referenced within this chapter. It will be used in tandem throughout the design and review process. The design standards that follow support and complete the walkable, pedestrian-and bike-friendly built environment of the Ford Site.

The design standards are organized around the open space system, street network and by zoning district. Each of following diagrams describe a framework for the standards.

- Open Space Diagram
- Street Types Diagram

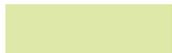
The Open Space diagram locates all the public parks and open space, including the stormwater functions. The Street Types diagram graphically maps where the walkable pedestrian environment is given priority over other travel modes, and where sidewalks and paths should not be interrupted by driveways, garage or service curb cuts.

Design standards that apply by zoning district are focused on private spaces, lots, yards, frontages and buildings. In particular, since each district includes unique areas and features, frontage types address how the public/private development interface complements the public realm. A total of nine (9) unique frontages are applicable in various districts. Frontage conditions and requirements regulate the composition of open space and buildings that the zoning districts do not already address.

Open Space Diagram

The Open Space diagram addresses the key publicly-accessible places within the site. They range from a privately-owned plaza and square, to City-owned spaces to a multi-functional stormwater space. The following standards apply to the open spaces shown here. *Chapter 9 Public Art* includes additional information about open space.

Legend

 Open Space

*Map not to scale



Open Space Standards

A - Urban Plaza

The Urban Plaza is the “front door” of the development and one of the most visible sites in the neighborhood. As a mostly paved, hardscape environment, the Plaza will include signature entry features and public art, shopfronts that define the pedestrian space, and amenities such as tree plantings and a comfortable pedestrian environment.

B - Civic Square

The Civic Square is the central gathering and activity space in the neighborhood. It will host a variety of functions and uses throughout the seasons. It will be a mostly paved, hardscape surface with a dedicated “tree/landscape planting space” (20-30’ wide) that provides a green edge to the Square.

C - Central Open Space

The Central Open Space includes a major stormwater facility, but will also act as the largest continuous open space in the development. Each side of the open space edge will contain a wide, multi-use public right-of-way designed for pedestrians, bikers and other non-auto modes, but will allow emergency vehicle access. The landscape character will complement the building types allowed in the F3 and F4 districts.

D - Gateway Park

This park, located in the northwest corner of the site, acts as a major entry point from Ford Parkway, and will contain public art and arrival features appropriate to its large scale. Gateway Park will include stormwater treatments designed to complement the informal landscape character of Mississippi River Boulevard. Department of Parks and Recreation standards will apply.

E - Neighborhood Park

The Neighborhood Park provides an active green space on the west side of the development for residents and visitors of all ages and abilities. Department of Parks and Recreation standards will apply.

F - Hidden Falls Headwaters Park

The Great River Passage Master Plan identifies Hidden Falls Creek as an historic asset to be restored as an ecological and pedestrian link between the Mississippi River corridor and the neighborhood. A majority of the park will be dedicated to stormwater functions and will be designed in coordination with the Ford Site Zoning and Public Realm Master Plan, the Hidden Falls Master Plan and Great River Passage Master Plan. Department of Parks and Recreation standards will apply.

G - Community Green Space

This area is characterized by steep slopes, but will provide some common areas to support community gardens and other active and passive uses. The green space will include well-defined landscaped edges and retaining walls as needed for stability and access, and will help establish the overall urban forest and tree canopy on-site. Department of Parks and Recreation standards will apply.

H - Little League Fields

Two of the existing baseball fields will remain in private ownership. Street edge, boulevard landscape and street trees will be planted per City of Saint Paul Public Works street standards, and will complement the landscape character associated with Gateway East district.

Street Types and Descriptions

The Street Types diagram identifies street types to create a mixed-use, walkable neighborhood. It graphically summarizes how pedestrian movement and vehicle access are prioritized. (Also refer to Exhibit ___ Street Network System for functional street classifications.)

Front Street

Multi-modal street with pedestrian priority; garage, service and loading access is limited. (also referred to as “primary pedestrian way” or “main pedestrian way” in the Master Plan).

Vehicle Access Street

Multi-modal street with pedestrian-orientation; garage, service and loading access is permitted. (also referred to as “alley or service street”, and “side and rear street” in the Master Plan).

Pedestrian/Bike Street

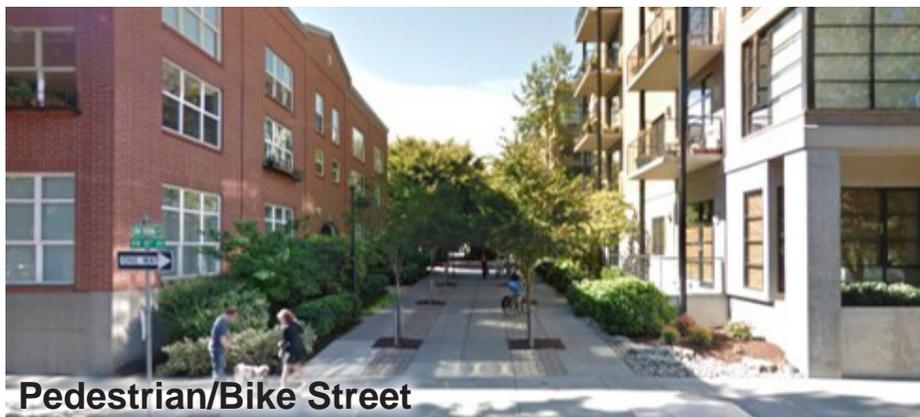
Multi-modal, non-auto access street with emergency vehicle access allowed as needed (also referred to as “shared lane” and “pedestrian and bicycle way” in the Master Plan).

Legend

-  Front Street
-  Access Street
-  Pedestrian/Bike Street

*Map not to scale





Street Type Standards

Street tree planting in public rights-of-way (ROW) and boulevards are addressed by the vegetative and soil requirements of the Ford Site Zoning and Public Realm Master Plan, the Department of Public Works and the Urban Forestry Division of the Department of Parks & Recreation. Specific elements include how boulevards are planted along block faces and at intersections, materials and other related elements. See the end of this chapter for additional resources.

Mississippi River Boulevard

Trees along the boulevard and within 30' of the ROW in the private setback shall be mid-successional native species or adapted to urban and riparian habitats of this region and planted in an informal pattern.

Cretin Avenue South

Trees shall be planted from Ford Parkway to Montreal Avenue at regular spacing in the boulevards and medians; no more than 25% of the trees in any one block shall be of a single species.

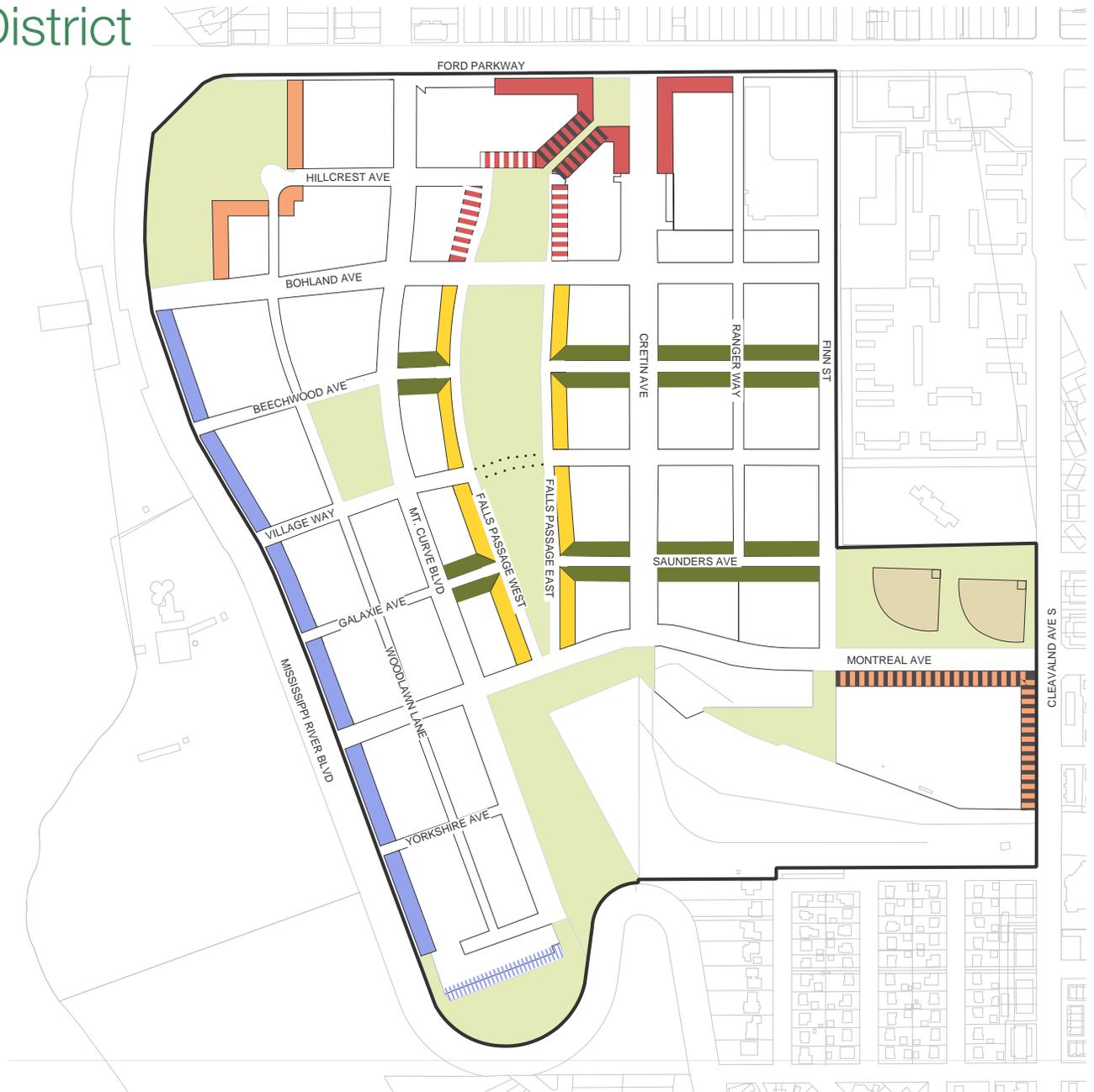
Boulevard Standards

In addition to existing City standards that regulate the use and function of boulevards, alternative surfacing, including hardy perennial ground covers and shrubs, is permitted with mature a height of less than 30", natural colored wood or rock mulch.

Design Standards by District

Design standards also apply in each F District and address the private lots, buildings, yards and frontages. Each district contains unique areas and features to which frontage types are directly applied to enhance the relationship between private development and public realm. A total of nine (9) frontages are applicable in various districts and are shown on the Frontage Map. “Frontage” is the combination of the building type/façade, yard/setback, public walk, and the relationship to the boulevard and street.

All design standards are in addition to and supplement Chapter 4: Zoning – Districts & General Standards for uses, vegetation & landscape, lighting, solar, roofing, green roofs, and parking.



*Map not to scale



Frontage Types



Urban Center



Urban Center/Diagonal



Urban Center/Residential

The intent of the Urban Center frontage type is to ensure that the Urban Plaza, Diagonal Way and Civic Square spaces are vibrant and active, that building facades provide an edge to and define the public realm, and that first-floor uses relate appropriately with public activity in the plaza and square. Frontage types vary depending on whether the first-floor use is residential or non-residential.



Gateway West

The intent of the Gateway West frontage type is to activate Gateway Park based on the scale of the open space and the likely building types that will face it. Gateway West is a large open space that will feature an arrival feature to welcome people to the new neighborhood.



Gateway East

The intent of the Gateway East frontage type is to guide how active uses on the site relate to Montreal and Cleveland avenues. If green space is on the site, any buildings related to those uses are encouraged to face the street.



Central Open Space

The intent of the Central Open Space frontage type is to frame and activate this central defining feature of the new neighborhood. Given the anticipated amount of activity in this area, it will be especially important to provide a well-defined edge between the public and private realms along Falls Passage.



Pedestrian/Bike Street

The intent of the Pedestrian/Bike Street frontage type is to design and scale buildings in proportion to a narrower, limited-mode right-of-way. Given the planned scale of the buildings along these rights-of-way, designing the frontages to avoid a “canyon effect,” blank walls, garage and service access, and exposed building utilities will be critical to maintaining vibrancy.



Mississippi River Boulevard

The intent of the River Boulevard frontage type is to continue the physical character and relationship between street and building that already exists along Mississippi River Boulevard (MRB). Maintaining the unique arrangement of street, sidewalk, public landscaping, private landscaping and building façade will provide an edge to the new neighborhood consistent with the historic pattern along MRB.



Mississippi River Boulevard South

The intent of the River Boulevard South frontage type is to design and site residential structures so that there is a clear delineation between private property and the public space to the south. This frontage type must ensure that the open space is understood to be accessible to the public.

Standards Applicable to All Districts

Private Landscape Standards

(Refer also to requirements for vegetative, landscape and building lot coverage in Chapter 4).

Lawns and Gardens

G1 Plant materials shall provide visual, multi-seasonal color and a layered aesthetic with plant materials at various heights and textures (refer to pages 47-49 of the Master Plan).

G2 Site and retaining walls shall be of long-lasting quality materials, with preference given to natural stone and clay brick that coordinates with related building materials on nearby structures. Segmental block is permitted, but shall be selected for resistance to salt and weather and are appropriate in fit, finish and color to building materials.

G3 Walls exceeding 4' in height shall be terraced to soften the appearance of large walls. Climbing and cascading plants should be used.

G4 All retaining walls designed to retain or protect roadway ROW shall be designed as cast-in-place cantilever walls per the MNDOT Roadway Design Manual.

Pavements and Surfaces

G5 Surfaces for walks shall be concrete, integral color concrete, stone, pavers, and other long-lasting materials.

G6 Concrete shall be broom finished; a deliberate scoring pattern shall be applied to prevent cracking.

G7 Materials shall coordinate with the overall design of the lot and building.

G8 Stamped concrete mimicking brick or stone shall not be permitted.

Furnishings and Fences

G9 Fencing visible from public rights-of-way shall be masonry, ornamental metal or wood, or some combination of the three, and shall be resistant to impacts of salt and weather.

G10 High-quality furnishings shall be in keeping with the style of the building design.

G11 The use of chain link, plastic or wire fencing (or similar) shall not be permitted.

Building Standards

G12 New buildings along commercial and mixed-use streets shall provide a continuous facade along the street. Where breaks occur, the street edge shall be continued through the use of fencing, low walls and/or landscaping.

G13 The lower twenty-five (25) feet of buildings shall include elements that relate to the human scale. These elements include doors and windows, texture, projections, awnings and canopies, ornament, etc.

G14 Porches, steps, roof overhangs, hooded front doors or similar architectural elements shall be used to define all primary residential entrances.

G15 There shall be a primary pedestrian building entrance on all front streets. At a corner location where both streets are front or access streets, this standard may be satisfied with a single building entrance at the corner.

G16 For new commercial and civic buildings, windows, doors and/or openings shall comprise at least fifty (50) percent of the length and at least thirty (30) percent of the area of the ground floor along front and access street facades or as addressed by frontage type. Windows shall be designed with punched and recessed openings or other window installations that



create a strong rhythm of light and shadow. Glass on windows and doors shall be clear or slightly tinted, and allow views into and out of the interior.

G17 If an outdoor storage, service or loading area is visible from adjacent residential uses or a public street or walkway, it shall be screened by a decorative fence, wall or screen of plant material at least six (6) feet in height.

G18 Surface parking shall not be located facing a front street or within thirty (30) feet of a corner. Entrance drives and garage doors for underground or structured parking may face an access street but shall be designed for pedestrian convenience and safety. Vehicular entrances to structured parking shall be minimized so that they do not dominate the access street frontage of the building. Design techniques shall include recessed entries; extending portions of the structure over the entry; using screening and landscaping to soften the appearance of the entry; using the smallest curb cut and driveway possible.

G19 Building facades shall be designed to respond to and reinforce the relationship between the private and public realms. Buildings shall be located to emphasize and "anchor" the corner whenever possible.

G20 Building materials shall include stucco, brick, stone and related masonry finishes complemented with wood, fiber cement board and/or metal details.

Standards specific to Townhouse Building Type

G21 Principal façade and façades facing a public rights-of-way shall include a minimum of 85% brick material.

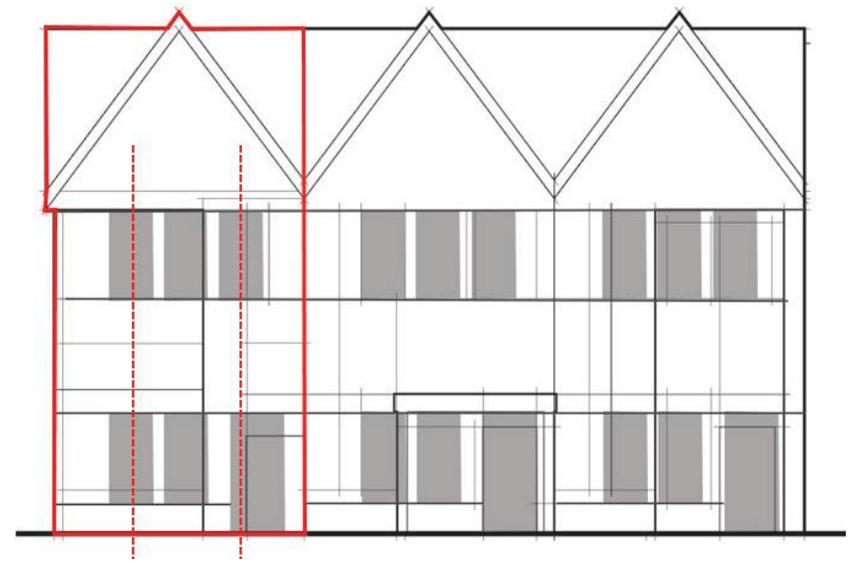
G22 Stoops may encroach within the setback and may be covered or uncovered.

G23 Exterior stairs shall be parallel or perpendicular to façade.

G24 Accessibility ramps shall be parallel to building façade or located along the side of the building and shall be integrated into the design of the building

G25 Townhouse buildings shall create a consistent and articulated street wall condition that is pedestrian-friendly and relate to the human scale; use of different architectural styles or materials on the same building shall not be permitted.

G26 Townhouse/rowhouse buildings shall exhibit vertical proportions; building elements including windows, balconies, doors, etc. shall reinforce the overall vertical proportions.



Townhouse facade that exhibits vertical proportions

F1 River Residential

This district includes deep building setbacks from Mississippi River Boulevard and informal landscape consistent with the predominantly detached, single-family residential character of the corridor.

Building types allowed: single family, multi-unit home and carriage house.

Private Landscape Standards

Trees

S1 Landscape and tree plantings within thirty feet (30') of the boulevard public rights-of-way shall reflect the natural and informal character of the Mississippi River Boulevard.

Building Standards

S2 Building materials may include fiber cement cladding in addition to the materials defined in the General Standards.



Legend

-  Mississippi River Boulevard Frontage
-  Mississippi River Boulevard South Frontage
-  F1 District Boundary

*Map not to scale

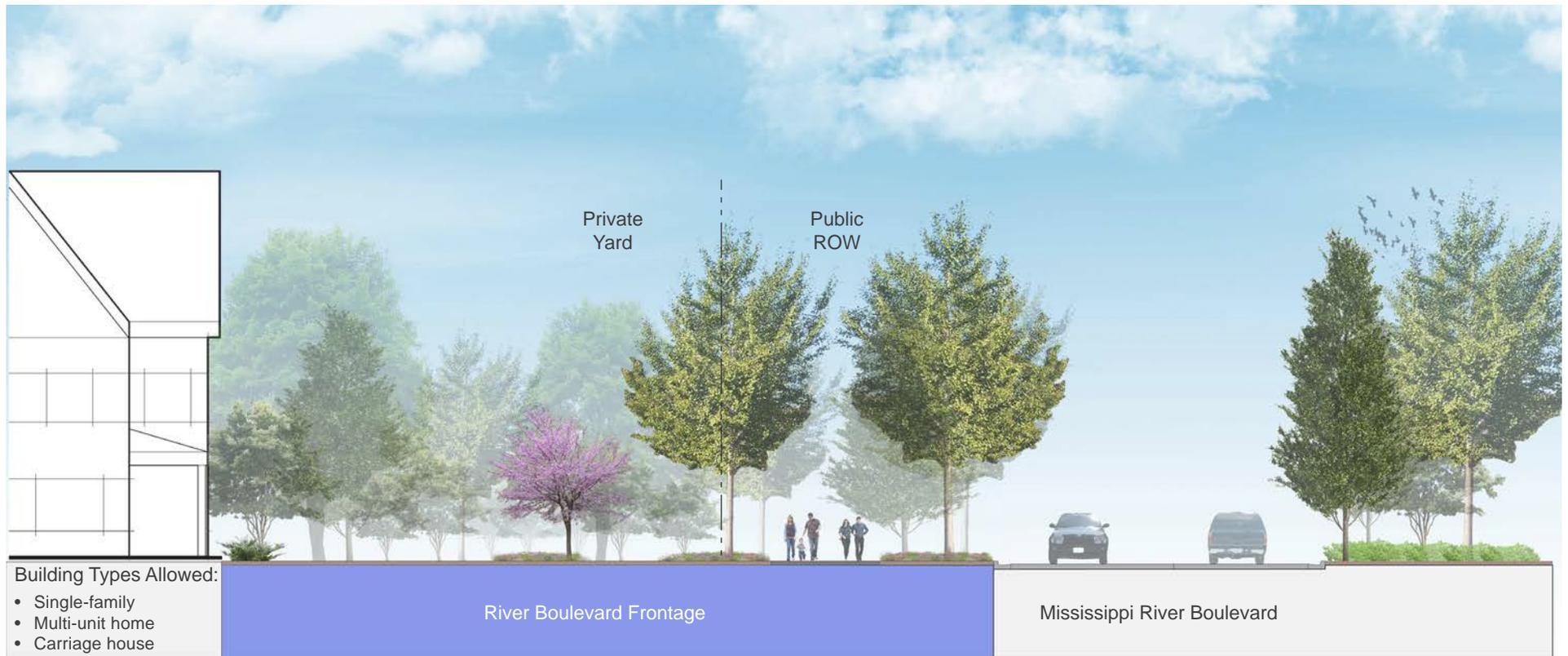
Mississippi River Boulevard Frontage

Frontage Standards

S3 Private landscape shall reflect the existing the informal character of Mississippi River Boulevard.

S4 The primary building entry (doorway, stoop, porch, etc.) shall front/face onto the boulevard.

S5 The lot at the southeast corner of Mississippi River Boulevard and Bohland Avenue shall be set back at least twenty-five feet (25') from Bohland Avenue.



Building Types Allowed:

- Single-family
- Multi-unit home
- Carriage house

River Boulevard Frontage

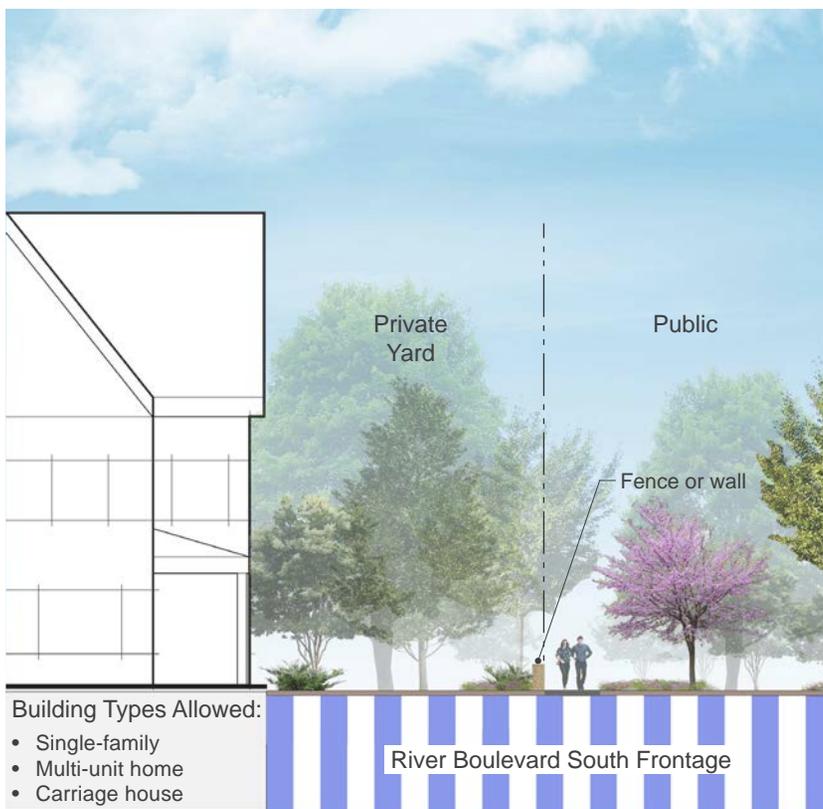
Mississippi River Boulevard

Mississippi River Boulevard South Frontage

Frontage Standards

S6 South-facing lots shall orient the primary building face/façade to the boulevard and public open space.

S7 To differentiate the private lot from the public space, the front property line shall include a decorative fence or wall with a maximum height of forty-two inches (42”).



F2 Residential Mixed Low District

The Residential Mixed Low District is intended to have a low-scale, established residential neighborhood character. The Neighborhood Park is located in this district which will further reinforce a neighborhood character and scale.

Building types allowed: carriage house, townhouse, multi-family low, live/work, mixed residential/commercial, and commercial/employment.

Building Standards

S8 All residential entrances within fifteen feet (15") of the public way parallel to the front property line shall be raised above the average finished grade of the sidewalk a minimum of eighteen inches (18") subject to ADA requirements.

S9 Building materials may include fiber cement cladding in addition to the materials defined in the General Standards.



Legend

 F2 District Boundary

*Map not to scale

F3 Residential Mixed Mid

This district allows a broad range of building types and straddles the Central Open Space. The character and identity of this highly-visible location will be dependent on the careful relationship between building facades/yards and the public open spaces. Specific frontage requirements apply to the Central Open Space and the east-west oriented ped/bike streets.

Building types allowed: townhouse, multi-family low/mid, live/work, mixed residential/commercial, and commercial/employment.

Building Standards

S10 Building materials shall include fiber cement cladding, stucco, brick, stone and related masonry finishes complemented by wood and metal details.

S11 Shopfront facades for commercial and office building types shall include a minimum of 70% transparent glazing.



Legend

- Central Open Space Frontage
- Pedestrian/Bike Street Frontage
- F3 District Boundary

*Map not to scale

Central Open Space Frontage

Frontage Standards

S12 Building setback shall be limited to a maximum of ten feet (10') for all building types.

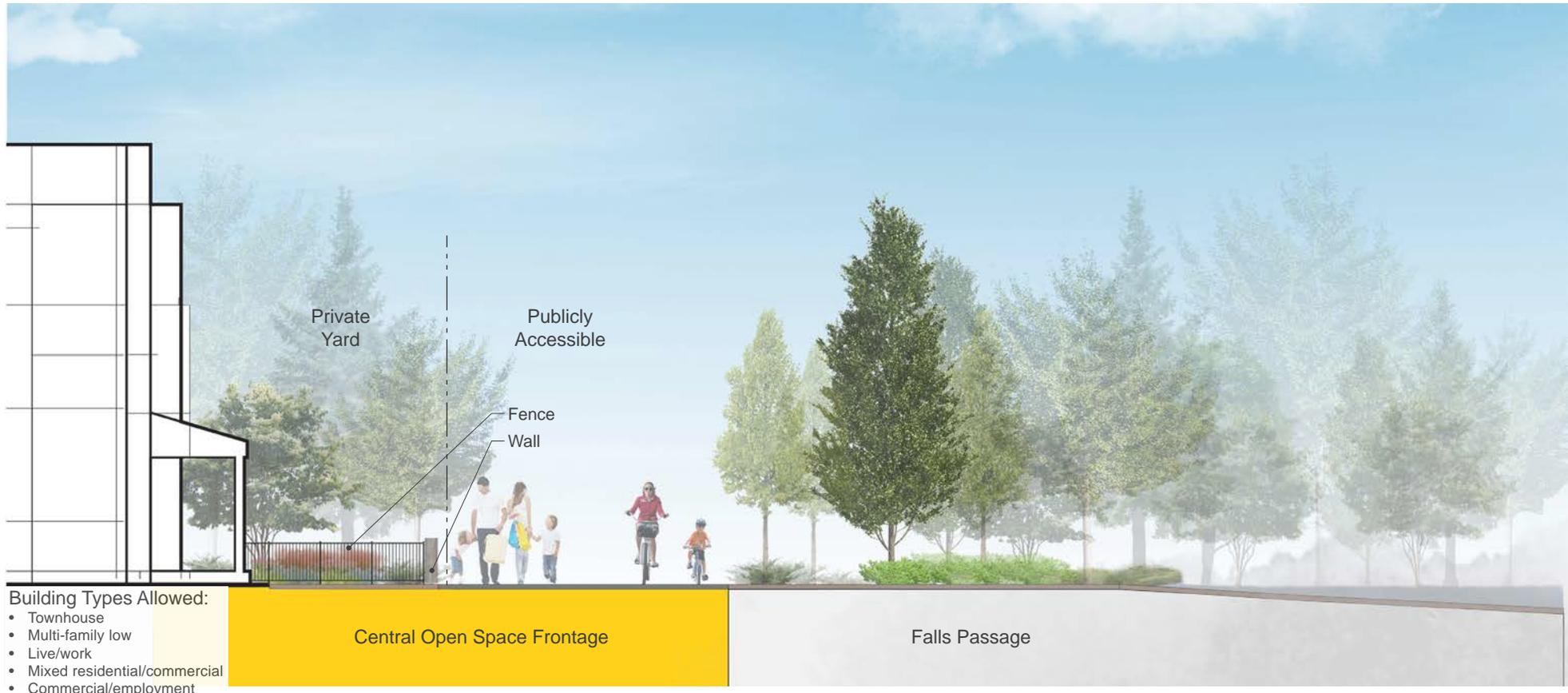
S13 The primary building entrance (doorway, stoop, porch, etc.) shall face onto the Central Open Space.

S14 All residential entrances within ten feet (10') of the public way parallel to the front property line shall be raised above the average finished grade

of the sidewalk a minimum of eighteen inches (18") and a maximum of forty-two inches (42"), subject to ADA requirements.

S15 A hedge, decorative stone, wood or metal fence (maximum 42' high) shall define the front property line.

S16 Grass turf shall not be permitted in the front yard.

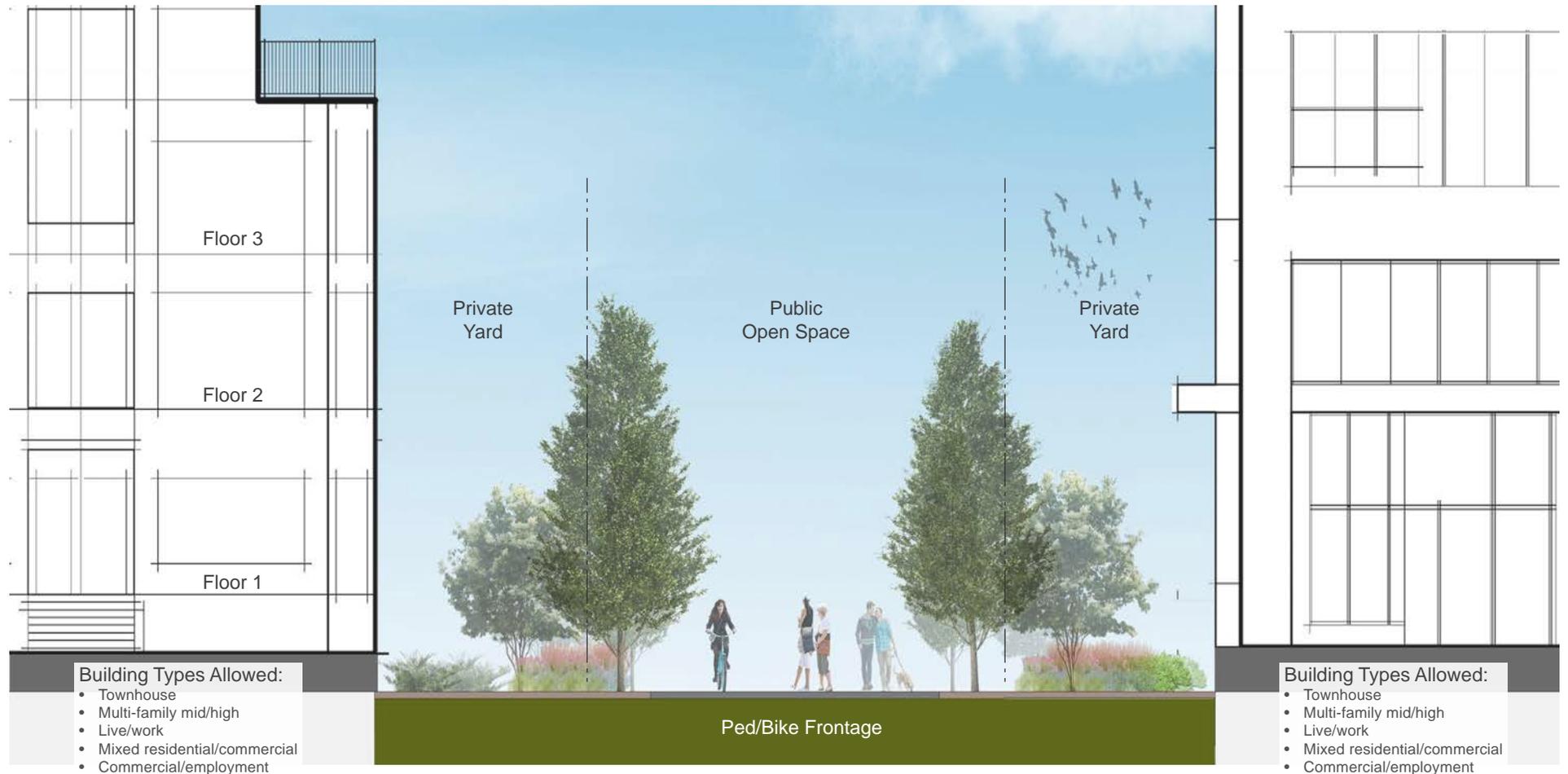


Pedestrian/Bike Street Frontage

Frontage Standards

S17 Buildings shall step-back eight feet (8') at the fourth floor if built to less than the ten-foot (10') setback.

S18 Grass turf shall not be permitted in the private yard.



F4 Residential Mixed High District

This district will have an urban feel and character, and contain a range of taller multi-family and mixed-use buildings. Streets and dedicated pedestrian/bike ways contribute to more a dense environment that will benefit from additional landscape and building setback requirements defined with frontage types.

Building types allowed: townhouse, rowhouse, multi-family medium, multi-family high, live/work, mixed residential/commercial, commercial & employment, civic/institutional and parking structures.

Building Standards

S19 Shopfront facades for commercial and office building types shall include a minimum of 70% transparent glazing.

Pedestrian/Bike Street Frontage

Frontage Standards

Refer to the Pedestrian/Bike frontage type in the F3 District.



Legend

- Pedestrian/Bike Street Frontage
- F4 District Boundary

*Map not to scale

F5 Business Mixed District

This district will function as the commercial center of the site. The entrance and identity of the site hinges on the Urban Plaza. The Civic Square will act as the physical ‘heart’ of the neighborhood and will host a variety of seasonal activities. The diagonal way that connects the two will support a signature pedestrian-oriented destination.

Building types allowed: mixed residential & commercial, commercial/employment, civic/institutional and parking structures.

Building Standards

S20 Shopfront facades for commercial and office building types shall include a minimum of 70% transparent glazing.



Legend

-  Urban Center Frontage
-  Urban Center Diagonal Frontage
-  Urban Center Residential Frontage
-  F5 District Boundary

*Map not to scale

Urban Center Frontage

Frontage Standards

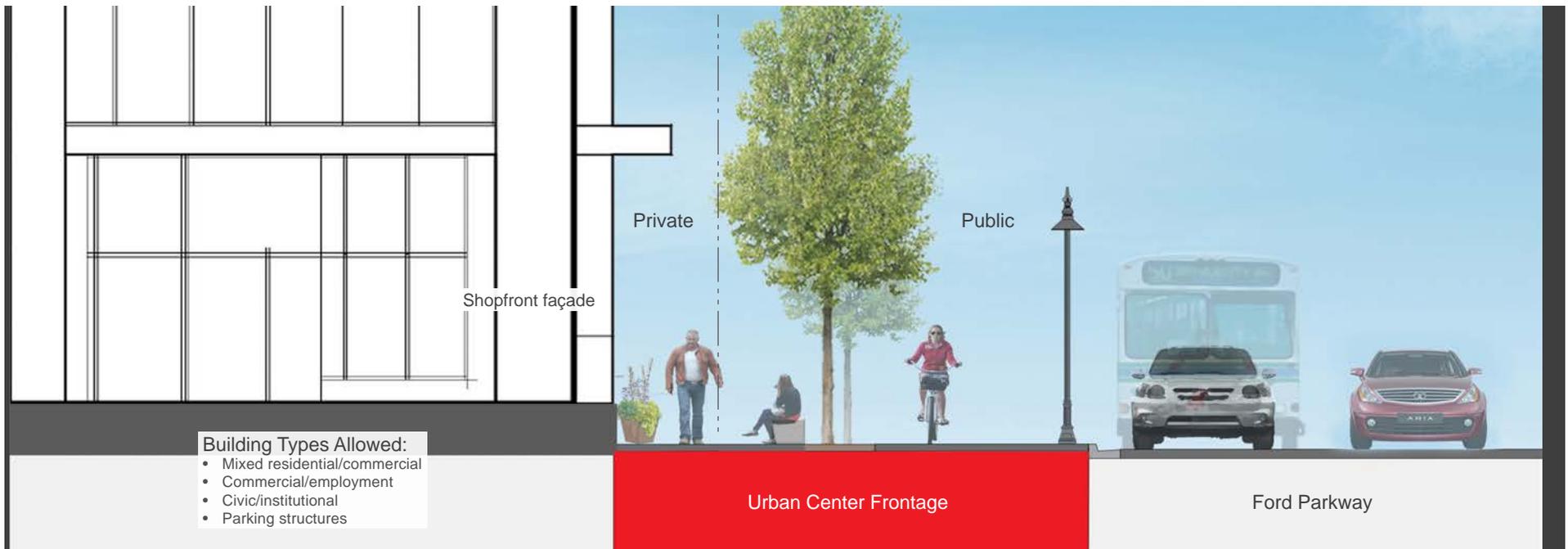
S21 Frontage shall include a shopfront façade unless residential in use; see Urban Center/Residential for additional requirements.

S22 “Green” planting area shall include trees and landscape plantings as a perimeter treatment within thirty feet (30’) of the property line.

S23 Square and plaza surfaces shall be textured or integral colored concrete; stamp concrete mimicking brick or stone shall not be permitted.

S24 Building canopies/awnings to maintain a minimum nine-foot (9’) clearance from ground plane.

Refer also to Building Standards for Parking Structures.



Building Standards for Shopfront Facades

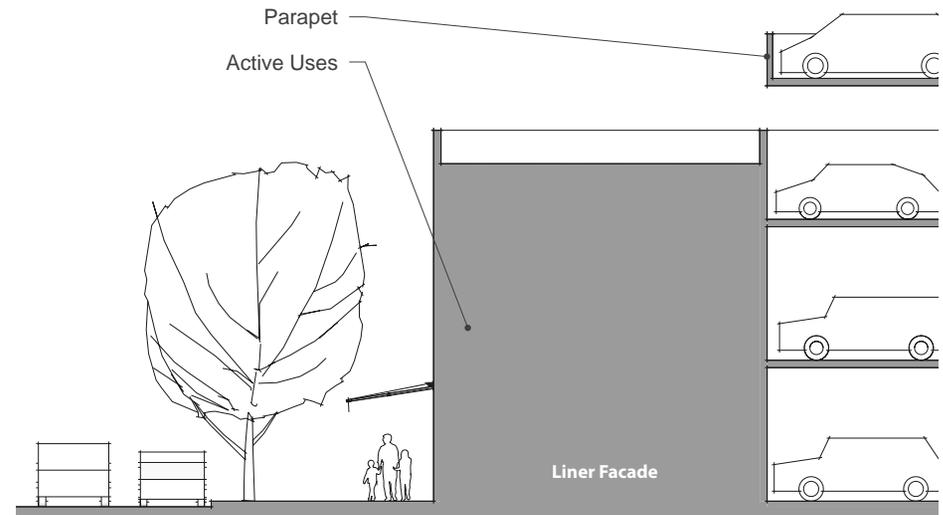
- S25 A shopfront facade shall be required along the primary face of the building.
- S26 The Shopfront shall have a minimum of 70% ground floor transparent glazing. Display windows may project into the frontage setbacks no more than five feet (5') and not beyond the property line.
- S27 Building entries may be recessed from the façade up to six feet (6') in depth.
- S28 If the ground floor grade is above the sidewalk grade, the differential shall be accommodated with the building.
- S29 Awnings may project into the setback 100% of their depth.



Shopfront facade with 70% glazing

Building Standards for Parking Structures

- S30 Parking structures shall be placed behind active uses (e.g, retail, commercial, office, etc.).
- S31 The portion of the building fronting structured parking shall be attached or detached from the parking structure.
- S32 Any portion of a parking garage that is not concealed behind active uses shall be screened to conceal all internal building and mechanical elements. Exposed spandrels shall not be permitted.
- S33 Ramping shall be internal to the structure.
- S34 All unlined facades of the parking structure not fronting a public rights-of-way shall be shielded by louvers, glazing, landscaped trellises, and/or ornamental metal screens.
- S35 Parking garage entrances shall be designed and composed as an integral part of the building façade, and designed to respect and respond to the pedestrian public realm.
- S36 Parking structures shall be finished with flat floor plates to allow for plantings and solar infrastructure.



Urban Center/Diagonal Way Frontage

Frontage Standards

S37 Walking surfaces shall be textured (aggregate) or integral colored concrete; stamp concrete mimicking brick or stone shall not be permitted.

S38 The minimum building separation shall be thirty feet (30') and/or no less than a 1:1 building to width ratio.

S39 The center of the Diagonal Way shall remain clear a minimum of twelve feet (12').



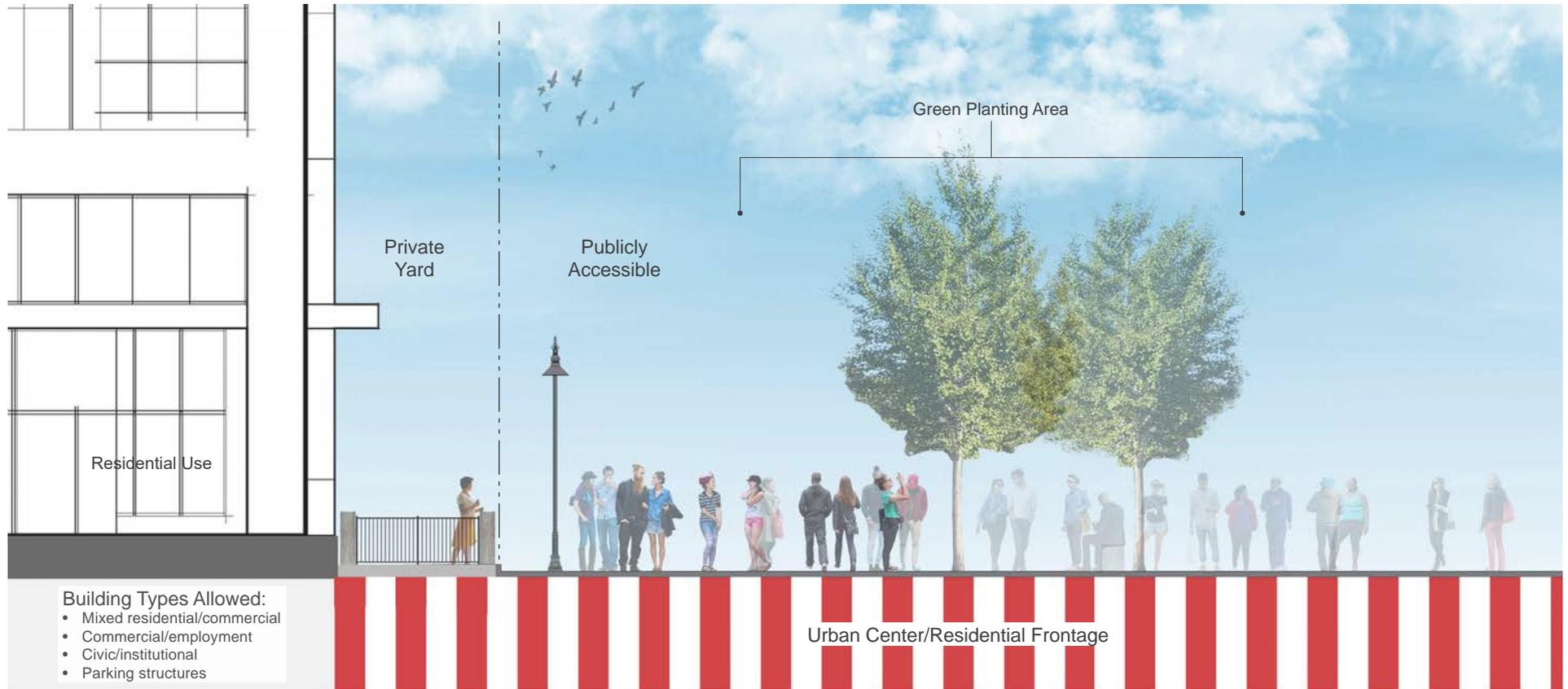
Urban Center/Residential Frontage

Frontage Standards

S40 Any private patio/yard shall be a minimum of twelve inches (12") above the ground plan of the plaza/square surface.

S41 The perimeter of property shall be defined by a masonry or decorative metal railing maximum forty-two inches (42") high.

S42 Green planting areas shall be located within thirty feet (30') of the property line.



F6 Gateway

The Gateway districts are highly visible corners of the site that will act as entry and identity, and will provide opportunities for business and employment uses. Applicable frontage types address the informal landscape character of Mississippi River Boulevard and the more urban street relationship on the east side. Both locations represent unique opportunities for public art.

Building types allowed: commercial & employment, civic/institutional and parking structures.

Building Standards

S43 Building materials shall include stucco, brick, stone and related masonry finishes, complemented by wood and metal details.



Legend

- Gateway West Frontage
- Gateway East Frontage
- F6 District Boundary

*Map not to scale

Gateway West Frontage

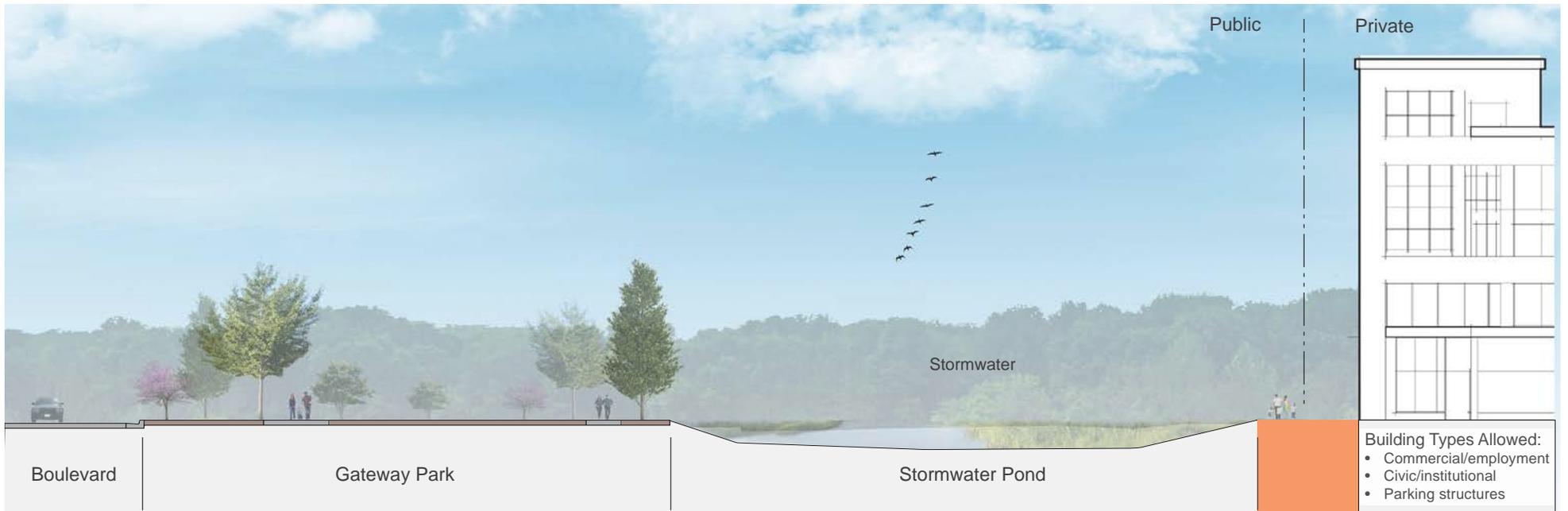
Frontage Standards

S44 The building setback fronting the Gateway Park shall be limited to ten feet (10').

S45 Outdoor plazas, patios, and commons, as well as indoor gathering areas, meeting spaces and common building spaces/corridors, shall face the park.

S46 The landscape design of the site and related stormwater facilities shall reflect the natural and informal character of Mississippi River Boulevard.

S47 Retaining walls and other visual barriers facing the park shall be limited to twenty-four inches (24") high.



Gateway East Frontage

Frontage Standards

S48 Any principal building shall hold the corner, preferably with a corner entry and related architectural massing at the corner.

S49 Building setbacks shall be a minimum of ten feet (10').

S50 Outdoor plazas, patios, and commons, as well as indoor gathering areas, meeting spaces and common building spaces/corridors, shall face the street rights-of-way.





Appendix

Street Trees

- Refer to Legislative Code Title 8 Zoning Code, Chapters 66, 67 and Title 17, Chapters 175, 176, 177, 178, and Title 29, Chapter 362.
- For other boulevard treatments including rain gardens refer to applicable ordinances in Chapters 73, 105, 116, 121, 135 and 176 of the Saint Paul Legislative Code.

Building Standards

- Refer to Legislative Code Title 8 Zoning Code Article I. 63.100 General Provisions and Performance Standards
- Sec. 63.110 Building Design Standards, (c) does not apply.

ATTACHMENT 2:

Draft Zoning Text Amendments for Ford Design Standards

DRAFT ZONING TEXT AMENDMENTS FOR FORD DESIGN STANDARDS

The Zoning Code text amendments that follow are recommended to be addressed through a zoning study initiated by the Planning Commission to reflect the addition of proposed design standards. The existing text reflects adopted changes from April of 2019 (Ord 19-19, Ryan amendments).

Note: Only relevant sections that provide reference or are being amended are included.

ARTICLE IV. - 61.400. SITE PLAN REVIEW

Sec. 61.402. - Site plan review by the planning commission.

(a) *Plan to be submitted.* A site plan shall be submitted to and approved by the planning commission before a permit is issued for grading or the erection or enlargement of any building except one- and two-family dwellings, and including the following:

...

(4) Any development in a T or F district.

...

[There is currently no requirement for site plan review of single-family homes. Since there are specific standards proposed for the frontage along Mississippi River Boulevard, this amendment ensures review of the design standards in the event a one-family dwelling is proposed in that location.]

ARTICLE IX. 66.900. FORD DISTRICTS

...

Division 3. 66.930. Ford District Dimensional Standards

Sec. 66.931. Ford district dimensional standards table.

Table 66.931, Ford district dimensional standards, sets forth density and dimensional standards that are specific to Ford districts. These standards are in addition to the provisions of chapter 63, regulations of general applicability. Where an existing building does not conform to the following requirements, the building may be expanded without fully meeting the requirements as long as the expansion does not increase the nonconformity.

Table 66.931. Ford District Dimensional Standards

Building Type by Zoning District (a)	Floor Area Ratio (Min.- Max)	Lot Width Min.(feet)	Building Width Max. (feet)	Building Height (feet)		Max. Lot Coverage by Buildings	Building Setback (feet) (e)	
				Min.	Max.		ROW (Min.- Max.)	Interior Min.
F1 river residential								
One-family dwelling	0.25 - 1.5	60	60	20	30	40%	10 - 40 (g)	10
Multi-unit home	0.25 - 1.5	80	60	20	48	40%	10 - 40 (g)	10
Carriage house	0.25 - 1.5	n/a	60	n/a	30	40%	10 - 20 (g)	6 (h)
F2 residential mixed low								
Townhouse, rowhouse	1.0 - 2.0	30	150	30	55	50%	10 - 20	6 (h)
Multifamily low	1.0 - 2.0	60	200	30	55	70%	10 - 20	6 (h)

Carriage house	1.0 - 2.0	n/a	60	n/a	30	per main building	10 - 20	6 (h)
Live/work	1.0 - 2.0	30	150	30	55	70%	5 - 20	6 (h)
Nonresidential or mixed	1.0 - 2.0	n/a	500	30	55	70%	5 - 15	6 (h)
F3 residential mixed mid								
Townhouse, rowhouse	1.0 - 4.0	30	150	30	65 (b)	50%	10 - 20	6 (h)
Multifamily	2.0 - 4.0	60	n/a	40	65 (b)	70%	10 - 20	6 (h)
Live/work	2.0 - 4.0	30	150	40	65 (b)	70%	5 - 20	6 (h)
Nonresidential or mixed	2.0 - 4.0	n/a	500	40	65 (b)	70%	5 - 15	6 (h)
F4 residential mixed high								
Townhouse, rowhouse	3.0 - 6.0	30	150	48	75 (c)	50%	10 - 20	6 (h)
Multifamily medium	3.0 - 6.0	n/a	n/a	48	75 (c)	70%	10 - 20	6 (h)
Live/work	3.0 - 6.0	30	150	48	75 (c)	70%	5 - 20	6 (h)
Nonresidential or mixed	3.0 - 6.0	n/a	500	48	75 (c)	70%	5 - 15	6 (h)
F5 business mixed								
Nonresidential or mixed	2.0 - 4.0	n/a	500	40	65 (d)	70%	5 - 15	6 (h)
F6 gateway								
Nonresidential or mixed	1.0 - 3.0	n/a	500	30	65	70%	5 - 15	6 (h)

Min. - Minimum Max. - Maximum ROW - Public Right-of-Way n/a - not applicable

Notes to table 66.331, Ford district dimensional standards:

(a) Building types are described and defined in Chapter 56 of the Ford Site Zoning and Public Realm Master Plan.

- (b) A maximum building height of seventy-five (75) feet may be permitted with a minimum ten (10) foot setback from all minimum setback lines for all portions of the building above a height of twenty-five (25) feet.
- (c) All portions of a building above a height of twenty-five (25) feet shall be stepped back a minimum of ten (10) feet from all minimum setback lines. The maximum building height may exceed seventy-five (75) feet, to a maximum of one hundred ten (110) feet, subject to the following conditions:
 - (1) A minimum of one (1) acre of buildable land in the F1, F2, F3, and/or F4 districts shall have been dedicated or conveyed to the city for public use for parks, playgrounds, recreation facilities, trails, or open space, in excess of the amount of land required to be dedicated for parkland at the time of platting. Such dedication of the additional parkland must be consistent with the criteria for parkland dedication in section 69.511, and is subject to city council approval.
 - (2) Maximum developable gross floor area of dedicated land from (c)(1), based on its underlying zoning, may be transferred and added to development allowed in an F4-zoned area, in compliance with other applicable requirements for the district or building, such as FAR, setbacks and open space coverage.
- (d) Building height may exceed sixty-five (65) feet, to a maximum of seventy-five (75) feet, with a minimum ten (10) foot setback from all minimum setback lines for all portions of the building above a height of thirty (30) feet, except for corner elements and portions of the building facing the civic square identified in the Ford Site Zoning and Public Realm Master Plan, Chapter ~~7~~8.
- (e) Building setback is the horizontal distance between a lot line and the nearest above-grade point of a building. An interior setback is measured from an interior lot line, which is a lot line separating a lot from another lot or lots. A public right-of-way (ROW) setback is measured from a lot line that is not an interior lot line: a lot line separating a lot from a street, alley, or public way.
- (f) Maximum building setback shall apply to at least sixty (60) percent of the building facade along the right-of-way.
- (g) Buildings shall be setback a minimum of thirty (30) feet, with no maximum setback, from a lot line separating a lot from Mississippi River Boulevard.

(h) No setback is required for building walls containing no windows or other openings when the wall meets the fire resistance standards of the Minnesota State Building Code and there is a Common Interest Community (CIC) or recorded maintenance easement that covers the affected properties.

Division 4. 66.940. Ford District Development Standards

Sec. 66.941. Ford district accessory building standards.

In addition to the standards for accessory buildings in Section 63.501, accessory buildings in Ford districts shall be subject to the following regulations:

- (a) Accessory buildings shall meet required public right-of-way setback requirements for a carriage house in F1-F2 districts, and for the principal building on the lot in F3-F6 districts.
- (b) The Ford Site Zoning and Public Realm Master Plan, Chapter [56](#), regulates the number of accessory buildings permitted on a lot by building type.

Sec. 66.942. Ford district vehicle parking standards.

Off-street parking shall be provided as follows. These requirements supersede the parking requirements in section 63.207.

Table 66.942. Vehicle Parking Requirements by Use

<i>Land Use</i>	<i>Minimum Number of Parking Spaces</i>	<i>Maximum Number of Parking Spaces (a)</i>
Residential, dwellings	0.75 space per dwelling unit	2 spaces per dwelling unit
Residential, congregate living	0.25 space per bedroom	1 space per bedroom
Nonresidential	1 space per 600 square feet GFA	1 space per 200 square feet GFA

GFA – Gross Floor Area

The *Ford Site Zoning and Public Realm Master Plan*, Chapters [4.7](#), [4](#) and [5](#), sets vehicle parking facility standards that are in addition to the parking facility standards in chapter 63...

Sec. 66.945. Ford district general development standards.

- (a) ~~The design standards in section 66.343 for the T3 traditional neighborhood district apply in all Ford districts. The Ford Site Zoning and Public Realm Master Plan, Chapter 5, sets standards for building and public realm design.~~
- (b) The Ford Site Zoning and Public Realm Master Plan, Chapter 4.7, sets standards for vegetation and landscaping, lighting, solar energy, and roofing that are in addition to chapter 63 standards.

Division 5. 66.950. Ford District Planning Requirements

Sec. 66.951. Ford Site Zoning and Public Realm Master Plan.

(a) A Ford Site Zoning and Public Realm Master Plan, for use with this article to guide redevelopment of the Ford site, shall be adopted ~~and can be amended~~ by city council resolution after a public hearing and planning commission review and recommendation.

(b) Changes to the master plan. Once approved, the Ford Site Zoning and Public Realm Master Plan may be modified as follows:

(1) Minor modification. Minor modifications to an approved master plan may be requested by the property owner or developer. The planning administrator and director(s) of affected city departments may approve minor modifications, including changes of less than ten (10) percent in land area designated for public rights-of-way or parks, provided such changes are consistent with the intent of the master plan.

(2) Major modification. Major modifications to an approved master plan may be initiated by the city council, the planning commission, or any person having an ownership or leasehold interest (contingent included) in property that is the subject of the proposed modification. Major modifications include changes of ten (10) percent or more in land area designated for public rights-of-way or parks; creation of a new public street or removal of a public street segment; removal of a park or open space area; or addition or removal of an entire block. Major modifications may be approved as an amendment to the master plan by city council resolution following planning commission review, public hearing and recommendation.

[This language is based on the Traditional Neighborhood district planning requirements section 66.344 to allow for adjustments during the master site plan, platting, and project site plan processes.]