

**CITY OF SAINT PAUL
HERITAGE PRESERVATION COMMISSION STAFF REPORT**

FILE NAME: 882 West Seventh Street
INVENTORY NUMBER: RA-SPC-2937
APPLICANT: Craig Cohen
ARCHITECT: Jerry Hagen, Hagen Christensen & McIlwain Architects
DATE OF PUBLIC HEARING: June 14, 2018
HPC SITE/DISTRICT: Jacob Schmidt Brewing Company Historic District
PERIOD OF SIGNIFICANCE: 1858-1955
CATEGORY: Contributing **WARD:** 2 **DISTRICT COUNCIL:** 9
ZONING: T3 **CLASSIFICATION:** Addition
STAFF INVESTIGATION AND REPORT: George Gause

A. SITE DESCRIPTION:

The Office Building was constructed in 1935 in a Streamline Moderne style. The U-shaped building is a masonry structure faced in orange-tan brick and trimmed in Bedford stone. The main entry is at the center of the Seventh Street elevation, with an elaborate architrave made up of broad, fluted pilasters, a wide lintel, and a carved rendition of the circular Jacob Schmidt Brewing Company logo.

B. PROPOSED CHANGES:

Deck: The applicant proposes to construct a wood deck to the rear of the Jacob Schmidt office building. This deck will provide an outdoor patio space for the first level restaurant space (Rose Street Patisserie). The deck will be raised to the same level as the first floor of the office building which is approximately 3 ½'. The deck will bridge to the building at the northeastern door. Overall deck will be 14' x 58', wood plank flooring and feature stainless steel tensioned cable baluster railing. The entire deck will be set back from the building approximately 3 ½'. The deck will not be visible from the public right-of-way.

Door: An expansion of the rear door from a single door to a double door on the south façade is needed to accommodate the adaptive reuse of the structure. A larger entry is required for deliveries and ADA access (adjacent to ADA parking) to the proposed restaurant spaces. The door is on the rear façade and would not be visible from the public right-of-way. The opening will be configured to be compatible with other openings on the structure. The stoop with railing would be slightly expanded to accommodate the larger door opening. All materials of the stoop will match the existing.

Mechanical: A new exhaust fan will be installed on the roof over the southeast wing to accommodate the restaurant use proposed for this wing of the building.

C. BACKGROUND:

The restoration plans for the Jacob Schmidt office building and Rathskeller were conditionally approved by the HPC in 2012. Plans were re-reviewed and issued by the HPC earlier this year. An outdoor patio seating area is needed for the proposed restaurant use.

D. GUIDELINE CITATIONS:

The Secretary of the Interior's Standards for Rehabilitation

Guideline	Meets Guideline?	Comments
<i>9. New additions, exterior alterations or related new construction will not destroy historic materials, features and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.</i>	Yes	Proposed deck will be set back 3 ½' from the building, connected through a minimal bridge and would not be visible from the public right-of-way. The door alteration is required to accommodate a adaptive reuse of the structure from office to public (restaurant) space. It is also required

		for ADA access to the building.
<i>10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.</i>	Yes	Proposed deck will be sited away from the rear facade, preserving the form and integrity of the structure and could be easily removable in the future.

E. Sec. 74-08 Jacob Schmidt Brewing Company Preservation Program

Guideline	Meets Guideline?	Comments
(4) Existing structures and building a. Exterior Surfaces. <i>Decks and fire stairs: Deck and fire stair additions and new balconies may be acceptable in some cases, but should be kept to the rear of buildings where they will be the most inconspicuous and detract the least from the historical context. The detailing of decks and exterior stairs should be compatible with the period and style of the building.</i>	Yes	Proposed deck is located at the rear of the structure and will be mostly inconspicuous.
(4) Existing structures and building e. Windows and doors. <i>Openings: Infilling of window openings or installing new openings may be permissible on secondary facades if standard sizes approximate the size and proportions of the opening.</i>	Yes	The door alteration is located on the rear facade of the structure. The new opening will be proportionate to the existing doors/windows.
(4) Existing structures and building e. Windows and doors. <i>Solid to void ratio: New openings may be acceptable on secondary or minimally visible elevations so long as they do not destroy or alter any architectural features and the size and placement is in keeping with the solid-to-void (wall-to-openings) ratio of the elevation.</i>	Yes	The door alteration is located on the rear facade of the structure. This facade is not visible from the public right-of-way. No architectural features will be altered or removed.
(4) Existing structures and building e. Windows and doors. <i>Panes, sashes and hardware: Historic windows should be preserved and if replacement is warranted, windows should be replaced in-kind. Window panes should be two-way glass. No reflective or spandrel glass is permitted. Window installations may be acceptable in secondary facades.</i>	Yes	The door alteration is located on the rear facade of the structure.

F. FINDINGS:

1. On May 25, 2011, the Jacob Schmidt Brewing Company Heritage District was established under Ordinance No. 11-46, § 1. The Heritage Preservation Commission shall protect the architectural character of heritage preservation sites through review and approval or denial of applications for city permits for exterior work within designated heritage preservation sites §73.04.(4).

2. The building is categorized as contributing to the character of the Jacob Schmidt Brewing Company Heritage District.
3. The Period of Significance for the Jacob Schmidt Brewing Company Heritage Preservation District is 1858-1955.
4. *Exterior Surfaces.* The proposal to construct a rear deck, which will be sited away from the rear facade, preserving the form and integrity of the structure and easily removable in the future is compliant with the Preservation Program for Jacob Schmidt Brewing Company Heritage District.
5. *Existing structures and building-windows and doors.* The alteration of a single door to a double door is on a secondary façade.
6. The proposal to construct a rear deck, door expansion and mechanical installation at 882 West 7th Street will not adversely affect the Program for the Preservation and architectural control of the Jacob Schmidt Brewing Company Heritage Preservation District (Leg. Code §73.06 (e)) so long as the conditions are met.

E. STAFF RECOMMENDATION:

Based on the findings, staff recommends approval with the following conditions:

1. All final materials, mock-ups, colors and details shall be submitted to the HPC staff for final review and approval.
2. Any revisions to approved plans shall be re-reviewed and approved by the HPC staff. If revisions are significant, new plans may need to be drafted and submitted for final review and approval.
3. The HPC stamped approved plans shall remain available on site for the duration of the project.
4. Items not listed in project scope have not been reviewed. Any changes or additions require further review.
5. This Certificate is VOID if the approved plans are altered from the Heritage Preservation approved plans.
6. All measurements and relationships of existing conditions and new construction shall be field checked for accuracy with submitted plans at the responsibility of the applicant. Inaccuracies or differences should be reported to HPC staff prior to commencement.

F. SUGGESTED MOTION

I move to conditionally approve application #18-022 to construct a rear deck, door expansion and mechanical installation at 882 West 7th Street as per the findings of fact, presented testimony, submitted documentation and information provided in the staff report with the 6 conditions.



South façade door to be expanded



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David A. Shea III

PRINTED NAME
SIGNATURE
DATE ISSUED 04.26.16
REG. NO. 12982

PERMIT

no.	date	issued for

project no. 7776.01
drawn AE
issue date 04.06.18
checked AM, HS

sheet title
LIFE SAFETY PLAN - CAFE

G300a

LIFE SAFETY NOTES

- AAA DOCUMENTS A201 AND A101 SHALL BE PART OF THE CONTRACT DOCUMENTS.
- ALL WORK SHALL COMPLY WITH APPLICABLE FEDERAL, LOCAL AND MUNICIPAL BUILDING AND ZONING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO, ANSI, OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
- THE TERMS "CONSTRUCTION CONTRACTOR," "GENERAL CONTRACTOR, G.C., CONSTRUCTION MANAGEMENT" AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE. G.C. SHALL PROVIDE ALL THE DRAWINGS, COMPLETED PAPERWORK AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT SIGN OFF.
- THE ARCHITECT AND THE OWNER RESERVES THE RIGHT TO ALLOW OTHER CONTRACTORS TO PERFORM WORK IN CONNECTION WITH THE PROJECT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK AND ESTABLISHING SCHEDULES FOR ALL TRADES; THEY SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT AND THE EXECUTION OF THEIR WORK.
- DRAWINGS ARE NOT TO BE SCALED; DIMENSIONS GOVERN.
- ALL WORK IS TO CONFORM TO THE CONTRACT DOCUMENTS AND SHALL BE NEW AND OF THE BEST QUALITY OF THE KINDS SPECIFIED.
- ALL MATERIALS AND EQUIPMENT SPECIFIED SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED AS DIRECTED BY THE SUPPLIER/MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE AND IN COMPLIANCE WITH PRODUCT WARRANTY.
- THE CONTRACTOR SHALL IN ALL RESPECTS COMPLY WITH ALL REGULATIONS OF THE BUILDING MANAGEMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SUCH REGULATIONS FROM THE BUILDING OWNER. IN THE EVENT OF CONFLICT BETWEEN BUILDING REGULATIONS AND OTHER CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE CONSULTED PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH BUILDING MANAGEMENT THE USE OF ELEVATOR OR OTHER HOISTING FACILITIES FOR HANDLING THE DELIVERY OF MATERIALS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL SUB-TRADES OF CONDITIONS REGARDING ELEVATOR CAB SIZE, DOOR OPENING WIDTHS AND LOADING WEIGHT CAPACITIES.
- ALL PUBLIC AREAS SUCH AS ELEVATOR LOBBIES, CORRIDORS, TOILETS, AND SERVICE HALLS SHALL BE PROTECTED TO THE SATISFACTION OF THE BUILDING MANAGEMENT. EQUIPMENT AND OTHER PROPERTY BELONGING TO THE BUILDING SHALL ALSO RECEIVE PROTECTION AND REPAIRING IF DAMAGED IN THE COURSE OF CONSTRUCTION. MUST BE REPAIRED TO THE SATISFACTION OF BUILDING MANAGEMENT.
- CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES.
- ALL CONSTRUCTION TOOLS AND EQUIPMENT SHALL MEET REQUIREMENTS OF OSHA AND ALL APPLICABLE REGULATORY AGENCIES.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT, AS REQUIRED, ALL TENANT OCCUPIED AREAS WHERE FINISH WORK OR GENERAL CONSTRUCTION IS TO BE PERFORMED. GENERAL CONTRACTOR TO INSTALL ADEQUATE PROTECTION OF BUILDING PAPER, MASONITE, OR OTHER APPROVED MATERIAL ON ALL FINISHED SURFACES AS DIRECTED BY THE ARCHITECT PRIOR TO THE OWNER'S MOVING DATE, AND SHALL REMOVE SAME FOLLOWING COMPLETION OF THE MOVE.
- THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR DAMAGES CAUSED BY THEIR SUBCONTRACTORS.
- ALL WORK SHALL CONFORM WITH THE REQUIREMENTS OF APPLICABLE CODES; RULES AND REGULATIONS ALL IN THEIR LATEST EDITION OF ALL AUTHORITIES HAVING JURISDICTION OVER WORK OF THIS TYPE, INCLUDING THE RULES AND REGULATIONS OF THE BUILDING MANAGEMENT.
- SELECTION OF SUBCONTRACTORS IS SUBJECT TO THE OWNER'S REVIEW PRIOR TO AWARDED OF CONTRACT. THE GENERAL CONTRACTOR MUST SUBMIT A LIST OF THEIR PROPOSED SUBCONTRACTORS WITH THE SUBMISSION OF THIS BID, AS WELL AS EVIDENCE THAT THOSE SUBCONTRACTORS REQUESTED TO BE AFFORDED THE OPPORTUNITY TO BID HAVE HAD THAT OPPORTUNITY AND HAVE RESPONDED.
- ALL WORK, COMPLETED OR OTHERWISE, SHALL BE PROPERLY PROTECTED AT ALL TIMES. CONTRACTOR SHALL FOLLOW ALL ACCEPTED METHODS OF SAFETY PRACTICE AND PROVIDE ALL FENCES, BARRICADES, ETC., AS MAY BE NEEDED TO PROTECT LIFE AND PROPERTY AND AS MAY BE REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER THIS WORK. THEY SHALL REPAIR, AT THEIR OWN COST, ANY DAMAGES TO THE PREMISES OR ADJACENT WORK CAUSED BY THEIR OPERATION.
- BEFORE COMMENCING WITH ANY WORK, THE CONTRACTOR SHALL FILE WITH THE OWNER AND/OR BUILDING MANAGEMENT CURRENT INSURANCE CERTIFICATES IN THE AMOUNTS REQUESTED BY THE OWNER AND/OR BUILDING MANAGEMENT FOR WORKERS COMPREHENSIVE GENERAL LIABILITY, BODILY INJURY AND PROPERTY DAMAGE. THE OWNER AND/OR BUILDING MANAGEMENT SHALL BE NAMED "ADDITIONAL INSURED" ON ALL CERTIFICATES OF INSURANCE, INCLUDING THE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE IN WRITTEN FORM, AS ACCEPTABLE TO THE OWNER, ALL LABOR AND MATERIALS INSTALLED BY THEM FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR AFTER DATE OF ACCEPTANCE OF THE WORK BY THE OWNER EXCEPT AS MODIFIED HEREIN OR ON OTHER DRAWINGS. SHOULD DEFECTS OCCUR, ALL WORK SHALL BE REPLACED OR PROPERLY REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL TO THE AUTHORITY HAVING JURISDICTION ANY AND ALL REVISIONS POST PERMIT APPROVAL REQUIRING REVIEW AND INCORPORATION INTO THE APPROVED CONSTRUCTION DOCUMENTS.

REQUIRED EGRESS AND EXITING

FLOOR LEVEL: FIRST FLOOR	REQ'D	PROV.
BUILDING EGRESS: (Per 1005.1)	11'	64'
EGRESS WIDTH: (71 OCCUPANTS) x (0.15 WITH SPRINKLER)		
EXIT CAPACITY: (Per 1019.1)	2	2
MINIMUM NUMBER OF EXITS: (Per 1015.2.1)		
EXIT SEPARATION DISTANCE: (Per 1015.2.1)	20'-9"	102'-8"
MINIMUM DISTANCE (1/3 DIST. OF DIAGONAL DIST. WITH SPRINKLER [62'-4"])		
TRAVEL DISTANCE MAXIMUM: (Per 1016.1) (WITH SPRINKLER)	250'-0"	64'-4"
COMMON TRAVEL PATH MAXIMUM: (Per 1014.3) (WITH SPRINKLER)	75'-0"	49'-10"

PLUMBING FIXTURE COUNT

OCCUPANCY TYPE: ASSEMBLY - A2

2015 MINNESOTA STATE PC	OCCUPANCY RATIO: (72 Male (50%) / 72 Female (50%))					
	Water Closets (1/75)	Lavatories (1/200)	Bath/Tubs / Showers	Drinking Fountains	Service Sinks	
	Male*	Female	Male	Female		
OCCUPANTS: 143	72	72	72	72		
CODE REQUIREMENT:	1:1-75	1:1-75	1:1-200	1:1-200		1:1-500 1
REQUIRED FIXTURES:	1	1	1	1		2 ** 1
PROVIDED FIXTURES:	4	3	1	1		0 1

* URINALS CAN NOT BE MORE THAN 67% OF THE FIXTURES REQUIRED.
** DRINKING FOUNTAINS NOT REQUIRED. WATER TO BE SERVED.

OCCUPANCY CALCULATIONS

SPACE FUNCTION	AREA	OLF	OCC. LOAD
INTERIOR			
ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	246 SF	300	1
ASSEMBLY STANDING SPACE	176 SF	5	36
ASSEMBLY UNCONCENTRATED: DINING SEATING AREA (TABLES AND CHAIRS)	446 SF	15	30
BUSINESS AREAS	233 SF	100	3
COMMERCIAL KITCHEN	2,215 SF	200	12
MERCANTILE STORAGE, STOCK, SHIPPING AREAS	202 SF	300	1
	3,517 SF		83
EXTERIOR			
ASSEMBLY UNCONCENTRATED: DINING SEATING AREA (TABLES AND CHAIRS)	594 SF	15	40
	594 SF		40
TOTAL OCCUPANTS:	4,111 SF		123

LIFE SAFETY KEY NOTES

(NOT ALL KEYNOTES MAY BE USED ON THIS SHEET)

NO.	DESCRIPTION	REV.
1	ACCESSIBLE SEATING LOCATION	
2	TYPE 'K' FIRE EXTINGUISHER, FINAL LOCATION PER LOCAL CODE	
3	TYPE 'ABC' FIRE EXTINGUISHER, FINAL LOCATION PER LOCAL CODE	

CODE DATA

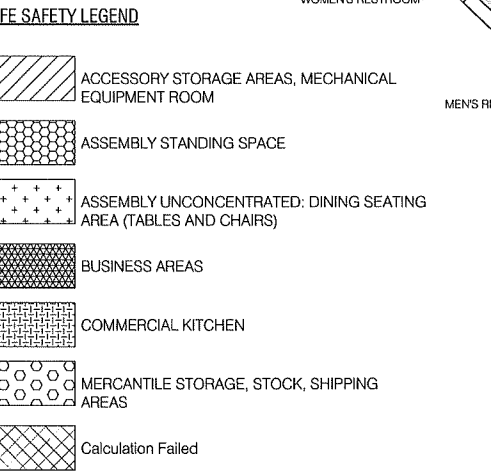
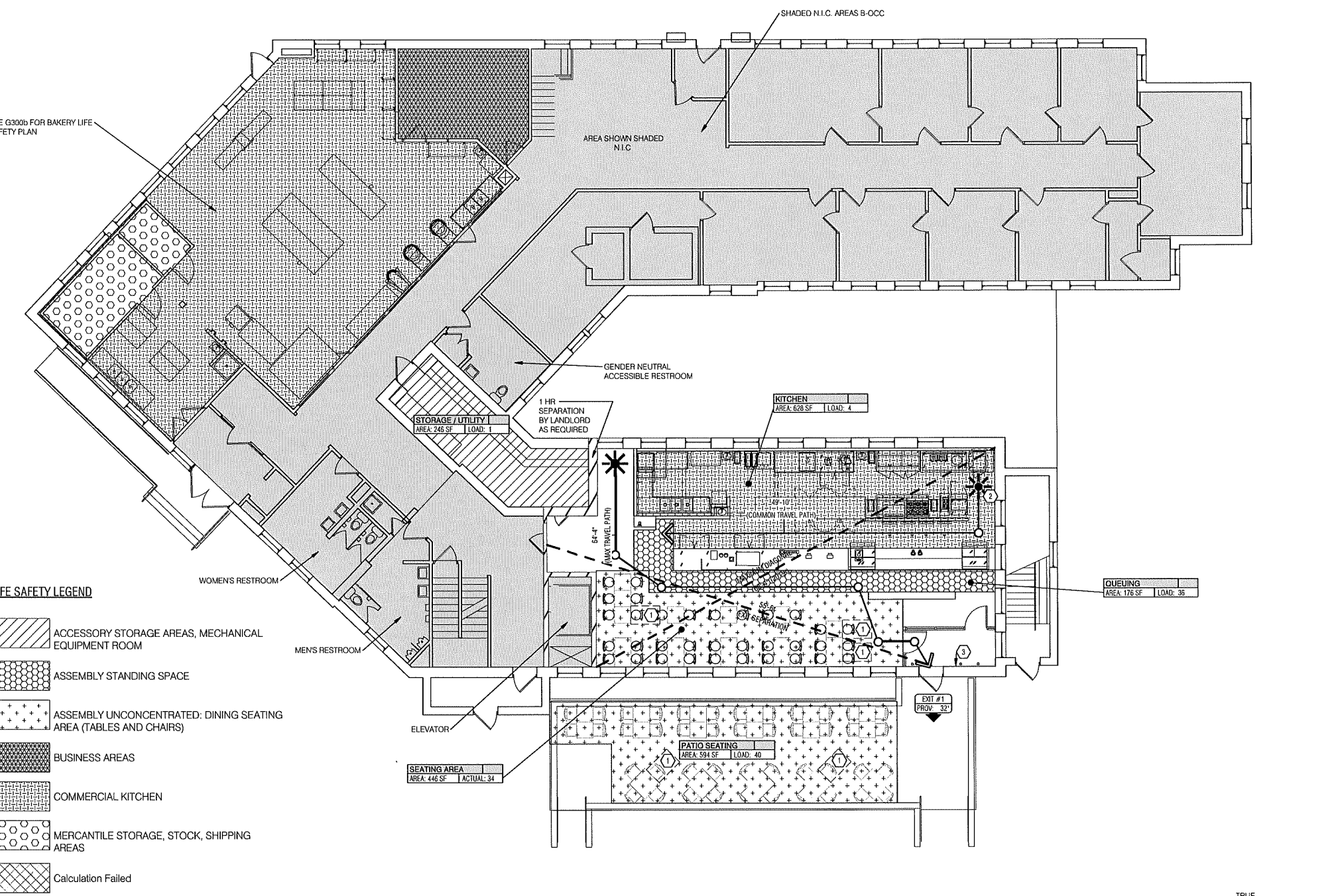
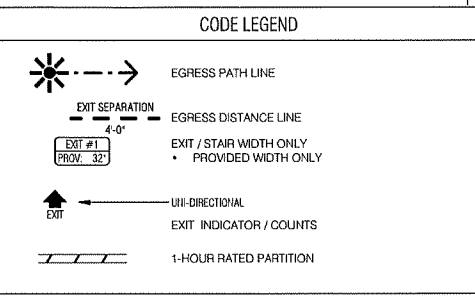
APPLICABLE CODES:

THE FOLLOWING IS AN ANALYSIS AND SUMMARY OF THE APPLICABLE BUILDING CODES:

- MINNESOTA STATE BUILDING CODE (SBC) 2015 EDITION
- MINNESOTA PLUMBING CODE (SPC) 2015 EDITION
- INTERNATIONAL MECHANICAL CODE (IMC) 2015 EDITION
- INTERNATIONAL FUEL GAS CODE (IFGC) 2015 EDITION
- NATIONAL ELECTRIC CODE (NEC) 2014 EDITION
- MINNESOTA FIRE CODE 2015 EDITION
- MINNESOTA ACCESSIBILITY CODE 2015 EDITION
- COMMERCIAL ENERGY CODE 2015 EDITION

OCCUPANCY / CONSTRUCTION TYPE:

- OCCUPANCY TYPE: EXISTING MIXED USE BUILDING, SCOPE OF WORK - ASSEMBLY - A2
- CONSTRUCTION TYPE: II-B, FULLY SPRINKLED



LIFE SAFETY PLAN - CAFE
SCALE: 1/8" = 1'-0"



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PRINTED NAME David A. Shea III

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DATE ISSUED 04.26.18

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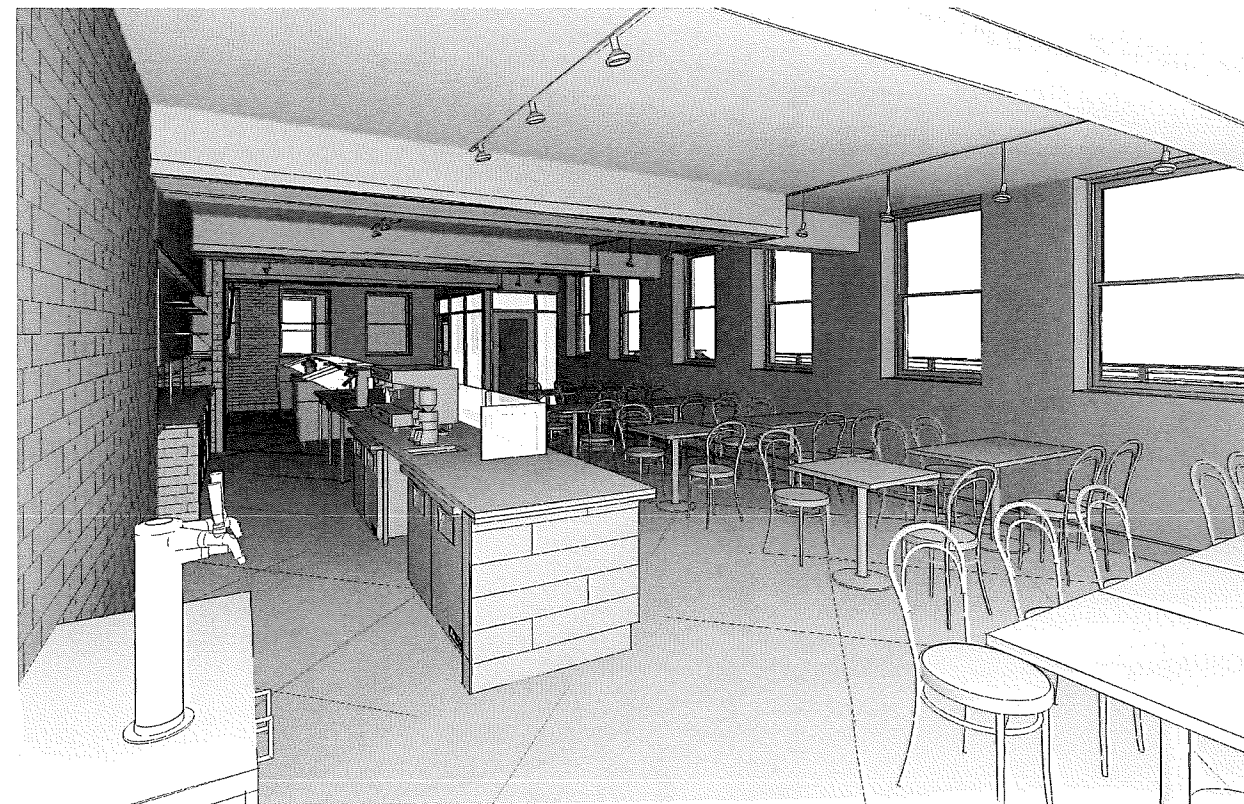
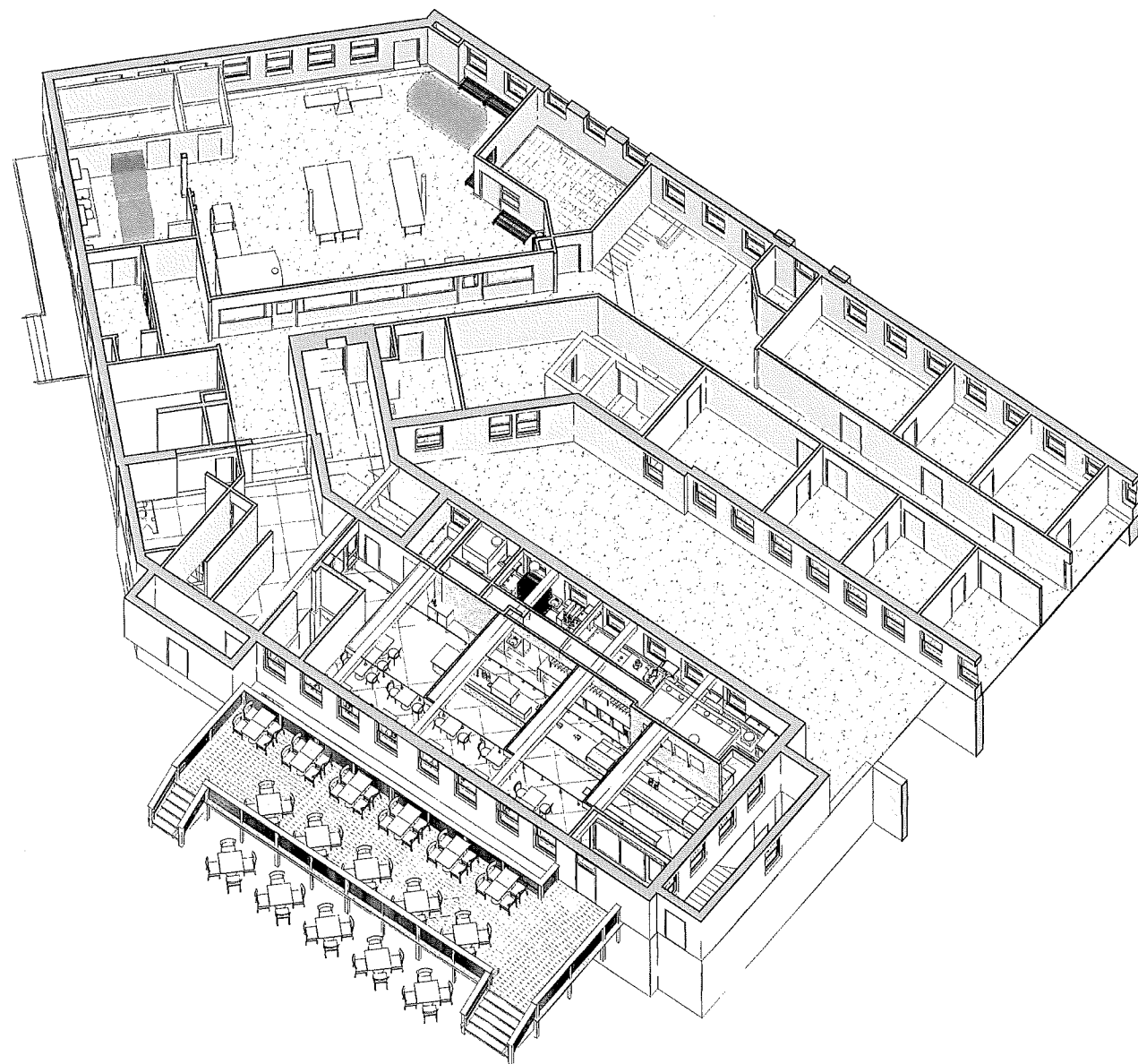
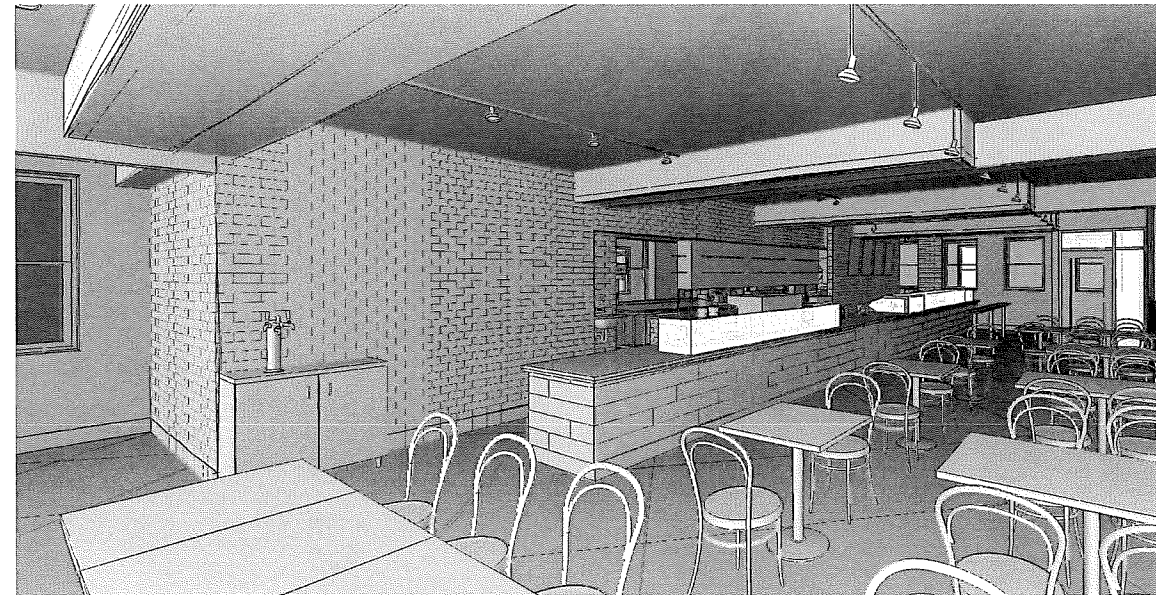
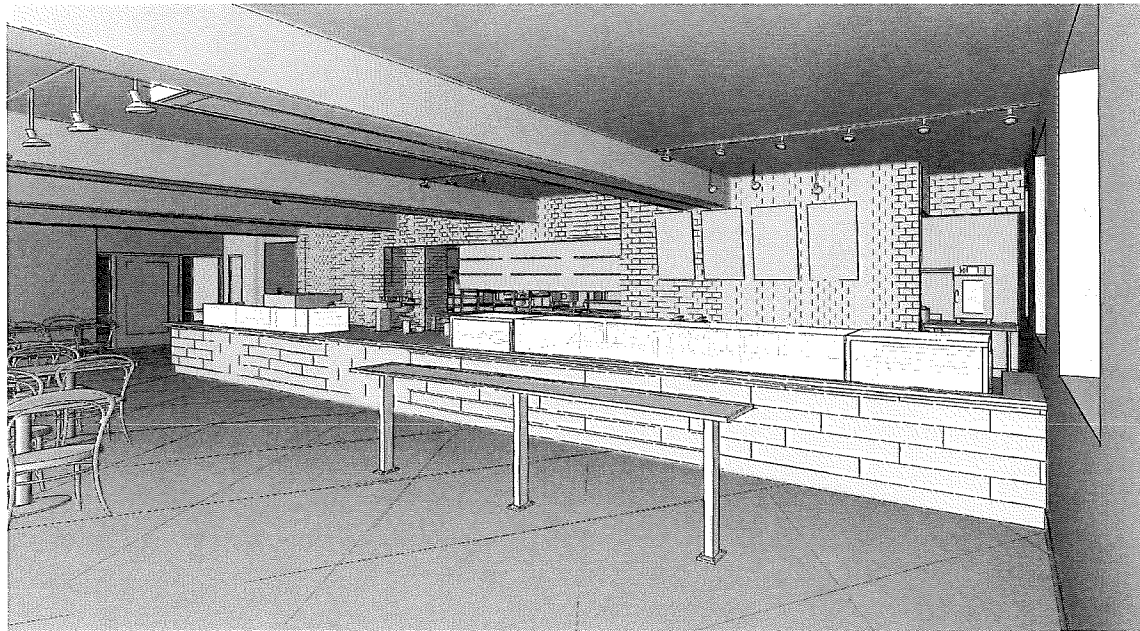
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drawn AE	checked AM, HS

sheet title
3D VIEWS

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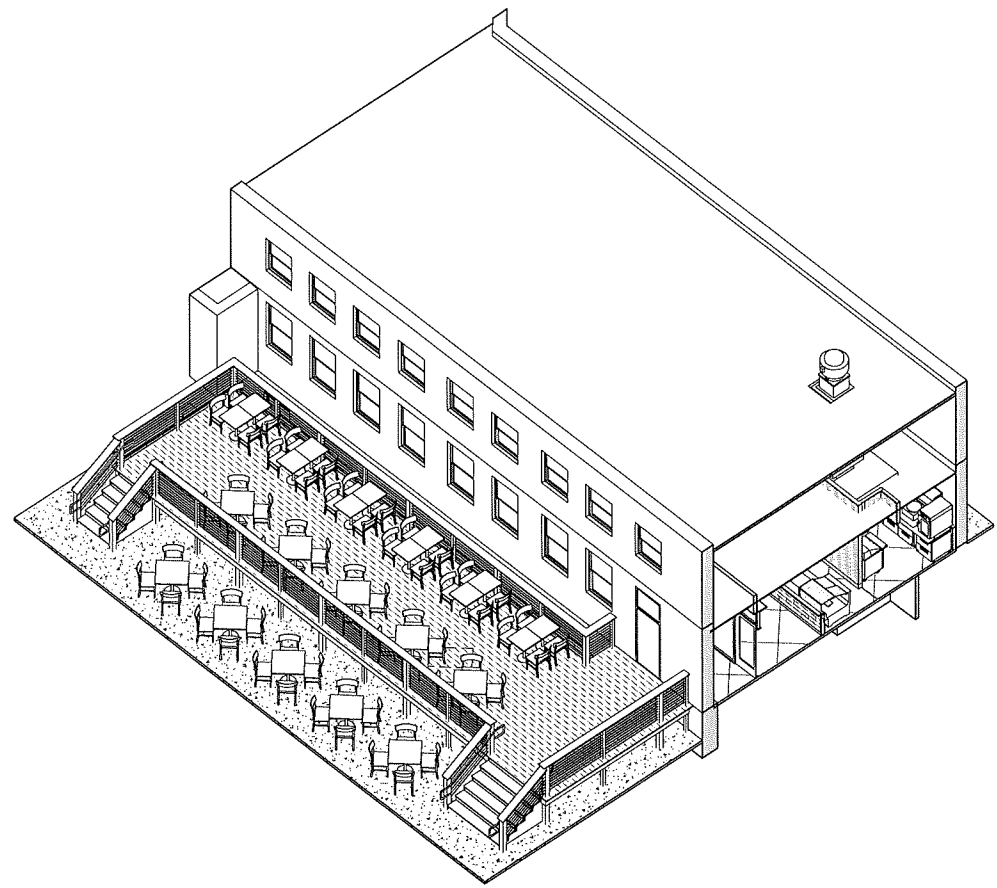
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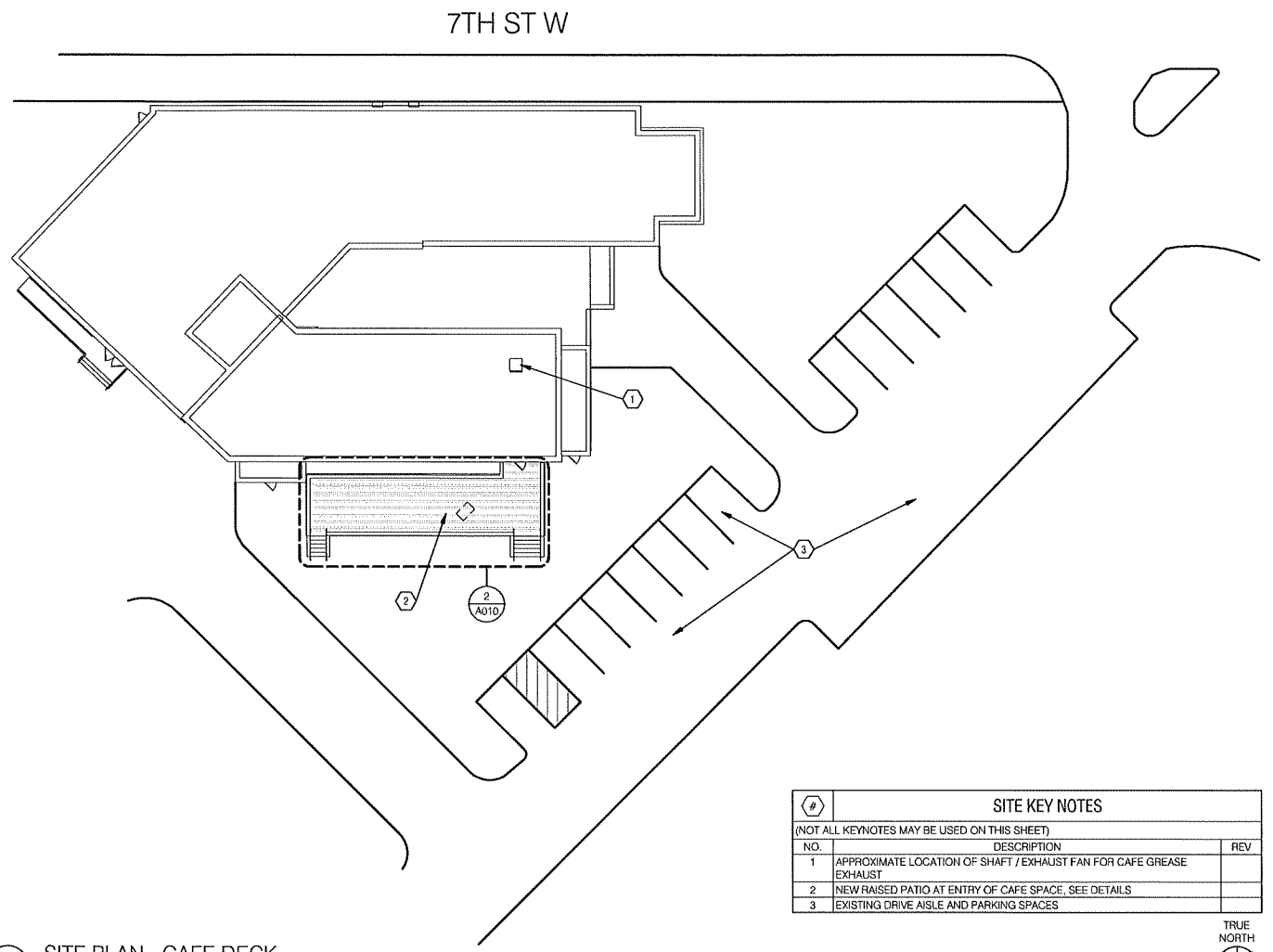
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SITE PLAN AND RAISED DECK
DETAILS

A010

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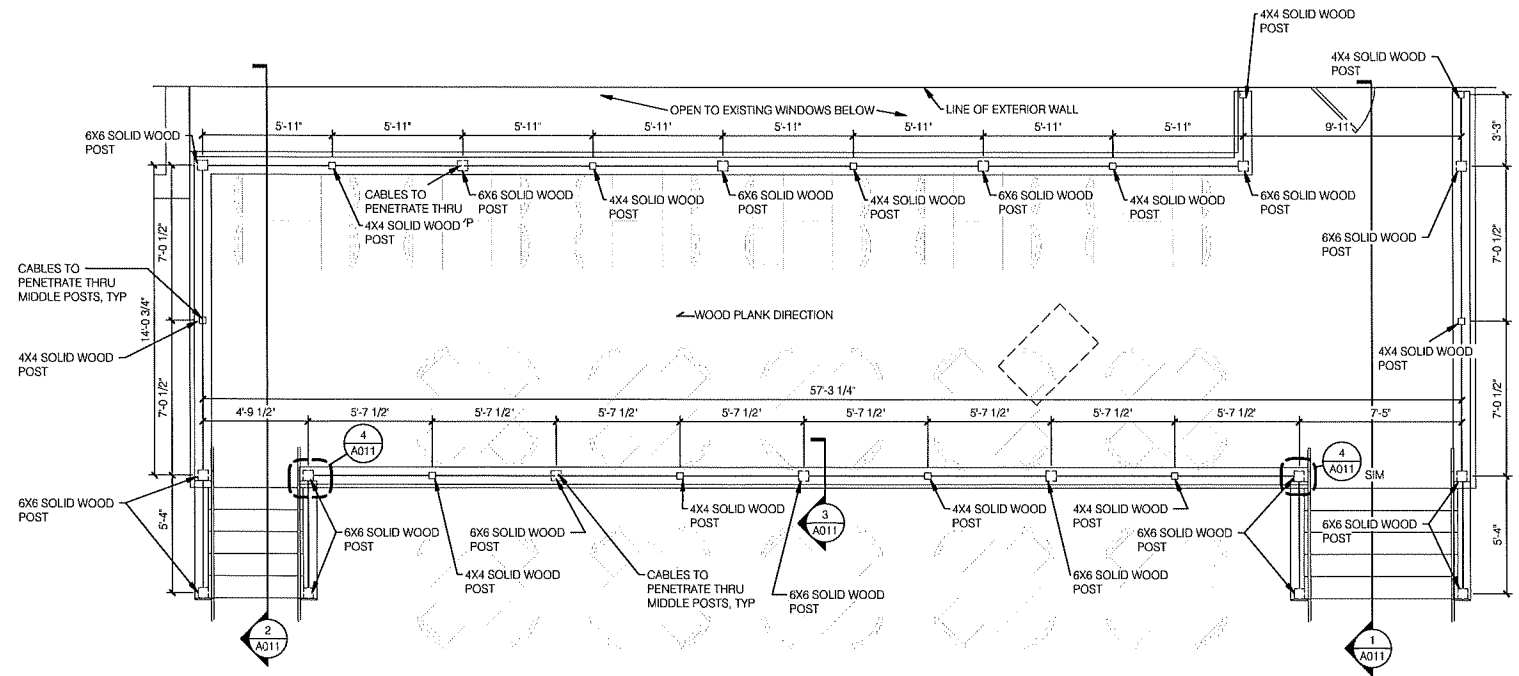


DECK AXON - FOR REFERENCE



1 A010 SITE PLAN - CAFE DECK
SCALE: 1" = 20'-0"

#	DESCRIPTION	REV
1	APPROXIMATE LOCATION OF SHAFT / EXHAUST FAN FOR CAFE GREASE EXHAUST	
2	NEW RAISED PATIO AT ENTRY OF CAFE SPACE, SEE DETAILS	
3	EXISTING DRIVE AISLE AND PARKING SPACES	



**GC TO PROVIDE ALT DEDUCT FOR STAIR AND MINIMAL PLATFORM AT ENTRY DOOR IN LIEU OF RAISED DECK

2 A010 ENLARGED PLAN - DECK
SCALE: 1/4" = 1'-0"

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FLOOR PLAN SYMBOLS

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BLOCKING AND GROUNDS AS REQUIRED FOR THE INSTALLATION OF WINDOW BLINDS, DRAPERIES, CURTAINS, MILLWORK AND ANY HANGING OBJECTS AS REQUIRED.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF EXISTING FLOORING DOWN TO THE SLAB IN ALL AREAS WHERE NEW PARTITIONS ARE BEING INSTALLED, UNLESS OTHERWISE NOTED.
3. WHERE METAL AND GLASS PARTITION IS SPECIFIED, G.C. SHALL BE RESPONSIBLE TO PROVIDE FOR ANY LEVELING OF FLOOR SLAB AS MAY BE REQUIRED FOR A PLUMB, LEVEL INSTALLATION.
4. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES PER FINISH PLAN.
5. ALL SURFACES OR FINISHES TO REMAIN, IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT THEIR OWN EXPENSE TO "LIKE NEW" CONDITION. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DOCUMENT ANY PREEXISTING DAMAGE AND NOTIFY THE ARCHITECT OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
6. AT ALL LOCATIONS WHERE NEW ELECTRICAL AND VOICE/DATA OUTLETS OR ANY OTHER TYPE OF DEVICE IS TO BE INSTALLED AT EITHER CORE WALL, COLUMNS AND/OR PERIMETER WALLS, THE CONTRACTOR AND THEIR DRYWALL SUBCONTRACTOR ARE TO INCLUDE FURRING OUT THOSE CORE WALLS AND COLUMNS AS NEEDED USING 2-1/2" METAL STUDS WITH 5/8" GYPSUM BOARD FROM SLAB TO 8" ABOVE FINISHED CEILING IN ORDER TO ACCOMMODATE ANY AND ALL CONDUITS AND BACK BOXES. G.C. TO COORDINATE WITH ALL OTHER TRADES.
7. MOUNTING HEIGHTS: ALL STROBES, PULL BOXES, FIRE EXTINGUISHERS, SIGNAGE, INCLUDING ALL ELEVATOR CALL BUTTONS AND INDICATOR LIGHTS, ETC. TO REMAIN ARE TO BE RAISED OR LOWERED TO SPECIFIED MOUNTING HEIGHTS IN AREAS OF WORK, AS PER CODE.
8. DIMENSIONS ARE FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD UNLESS NOTED OTHERWISE. DO NOT SCALE OFF OF PLANS. CONTACT ARCHITECT WITH DIMENSION QUESTIONS.
9. ALIGN NEW PARTITION WITH FACE OF EXISTING PARTITION OR COLUMN, UNLESS NOTED OTHERWISE.
10. CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO SUBMISSION OF BID.
11. THE CONTRACTOR SHALL TAKE OUT ALL NECESSARY PERMITS, INSURANCE, LICENSES AND CERTIFICATES AND PAY ALL FEES CONNECTED THEREWITH.
12. CONTRACTOR TO PROVIDE DUST PROOF, RIGID, BARRIERS, AS APPROPRIATE TO DEFINE VARIOUS SEGMENTS. BARRIERS TO MAINTAIN EXITING, SECURITY, MECHANICAL, FIRE-LIFE SAFETY REQUIREMENTS FOR BUILDING OCCUPANTS.
13. THE CONTRACTOR AT ALL TIMES SHALL KEEP PREMISES FREE FROM WASTE MATERIALS AND RUBBISH CAUSED BY THE WORK.
14. ALL DOORS AND HARDWARE SHALL BE IN COMPLIANCE WITH APPLICABLE ACCESSIBILITY CODES AND ORDINANCES. ALL WORK TO BE DONE IN COMPLIANCE WITH THE LATEST LOCAL AND STATE BUILDING CODES AND ORDINANCES.
15. REFER TO ENGINEERING DRAWINGS (OR DESIGN BUILD M.E.P.) FOR MECHANICAL, ELECTRICAL, PLUMBING AND SPRINKLER LAYOUTS.
16. LOCATE FIRE EXTINGUISHERS THROUGHOUT AS REQUIRED BY CODE.
17. ON COMPLETION OF THE PROJECT, CONTRACTOR SHALL WASH CLEAN ALL SURFACES AND LEAVE THE WORK IN A CLEAN CONDITION.
18. SET FLOOR DRAINS AND FLOOR SINKS WITH TOP OF FINISH TILE/POURED FLOOR. SEE PLUMBING DRAWINGS.
19. SLOPE CONCRETE FLOOR 1:50 TOWARDS FLOOR DRAINS AND AWAY FROM ALL WALLS.
20. 24"x24" AREA AT FLOOR DRAINS TO SLOPE AT 1/4" PER FOOT.



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PRINTED NAME David A. Shea III

SIGNATURE

DATE ISSUED 04.26.18

REG. NO. 12982

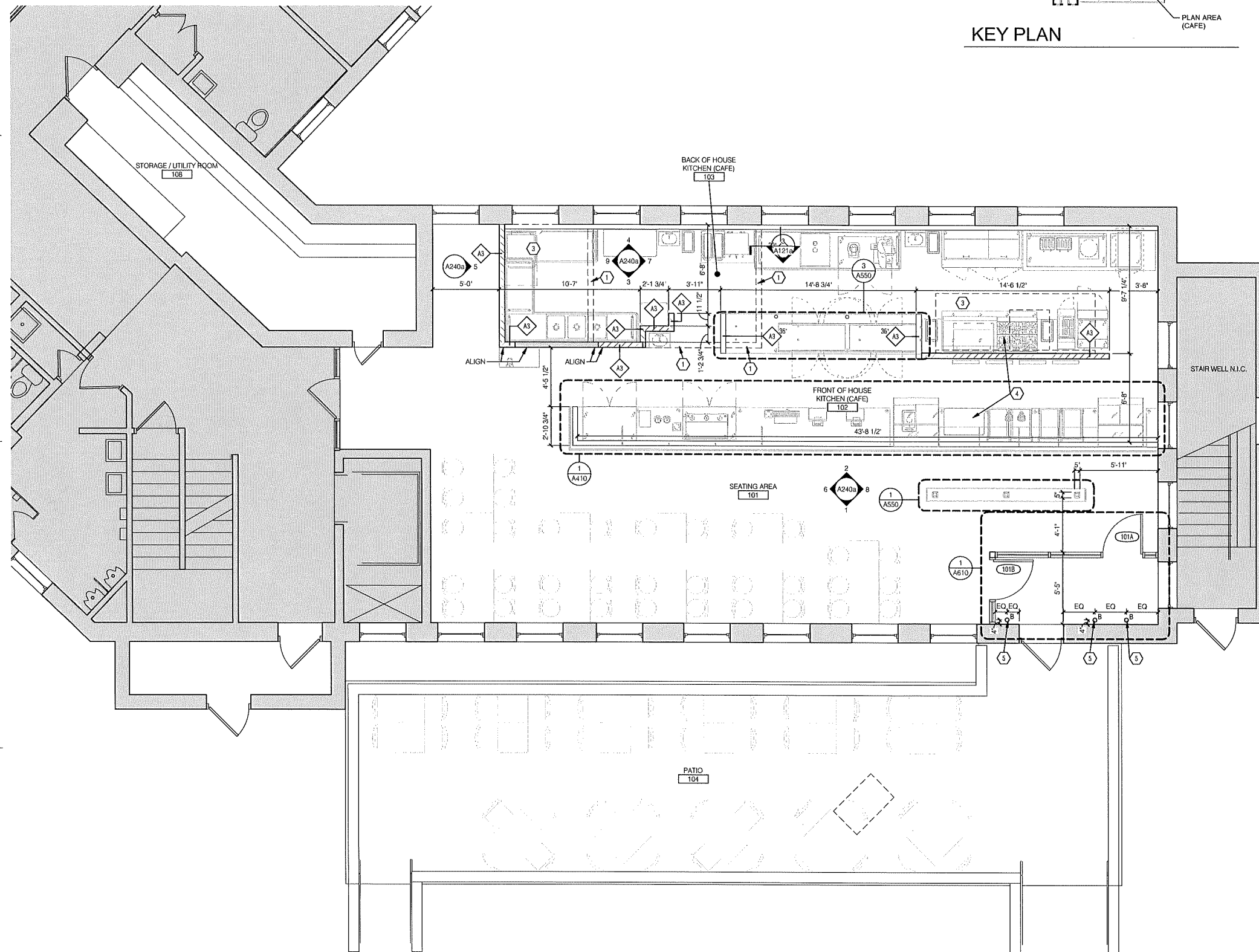
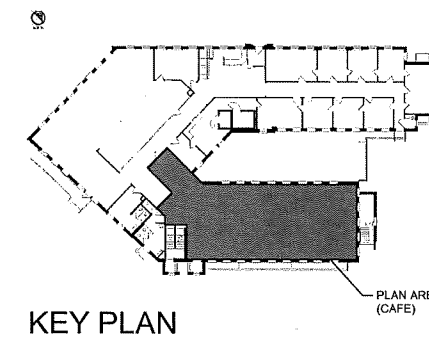
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no.	date	issued for

project no. 7776.01 issue date 04.06.18
drawn AE checked AM, HS

sheet title
1ST FLOOR, FLOOR PLAN - CAFE

A111a



FLOOR KEY NOTES

(NOT ALL KEYNOTES MAY BE USED ON THIS SHEET)

NO.	DESCRIPTION	REV.
1	EXISTING CONSTRUCTION ABOVE, SEE DEMO PLAN	
2	EXISTING DOOR TO BE SEALED CLOSED	
3	EXHAUST HOOD ABOVE, SEE KITCHEN DRAWINGS	
4	KITCHEN EQUIPMENT, SEE KITCHEN DRAWINGS	
5	RECESSED LIGHT IN FLOOR, SEE CEILING PLAN FOR SPECIFICATION	

1 FLOOR PLAN
A111a SCALE: 1/4" = 1'-0"

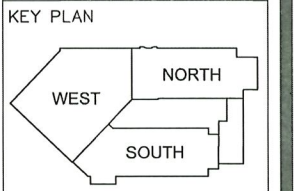


I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.

By: *[Signature]*
Title: Architect Date: 12/07/2017
Registration Number: 16356

Owner:
W. 7th/Ft. Road Federation
Project:
Rathskeller & Office Building Renovation

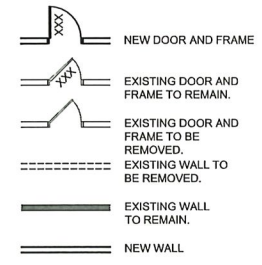
**WEST 7TH STREET/
FORT ROAD FEDERATION**



REVISIONS:
AMENDMENT 1

ISSUED FOR BUILDING PERMIT
Comm. No. 16130
Date 12/07/2017
Sheet Title Overall First Floor Plan

Drawing No. **A201**

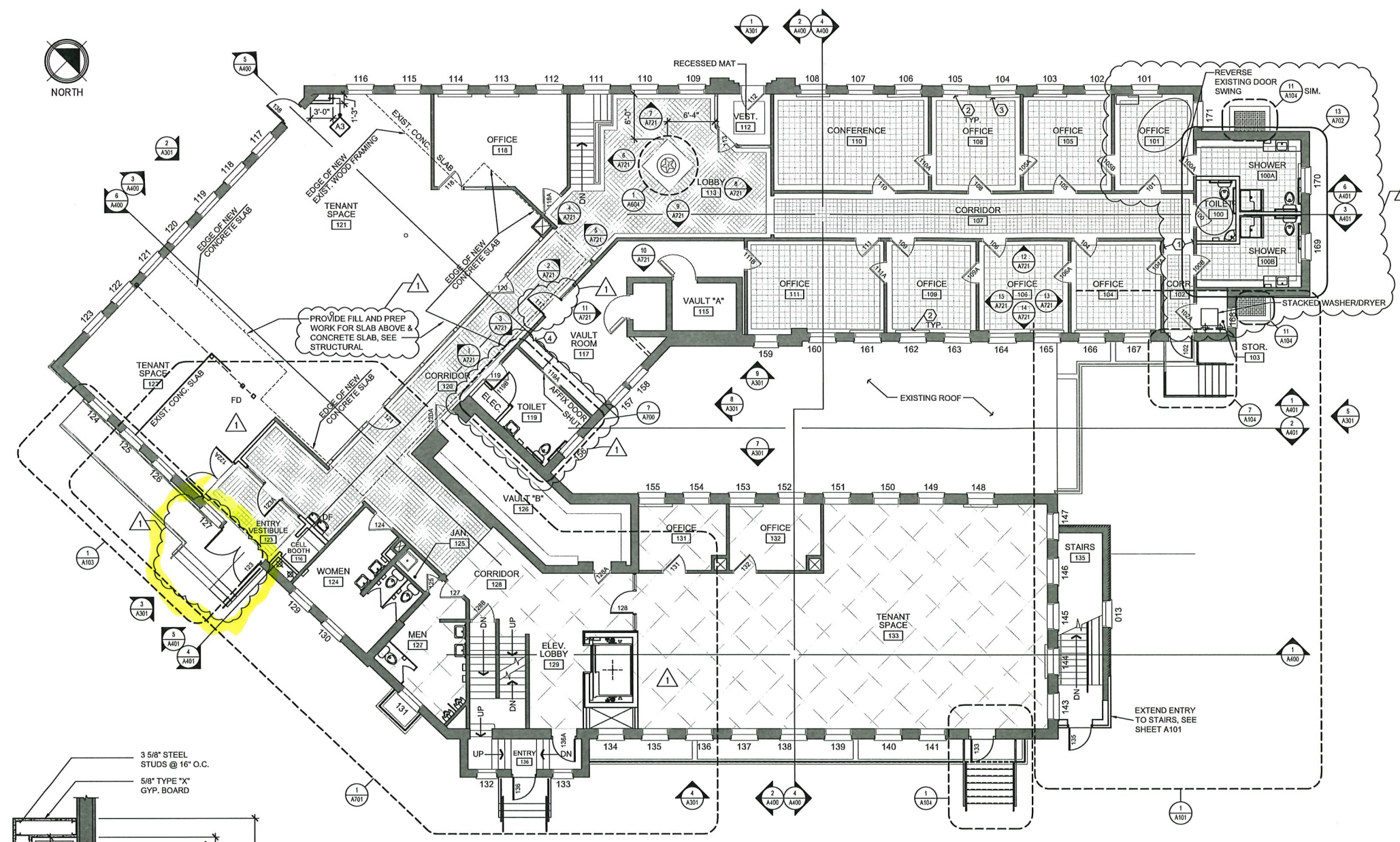


GENERAL NOTES: FIRST FLOOR

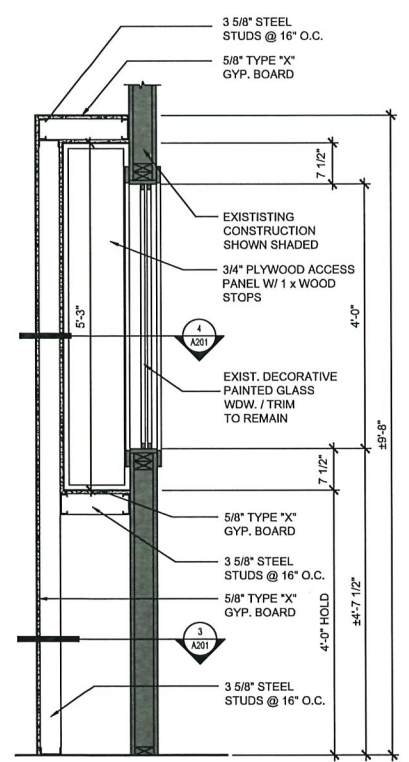
- Much of the wood roof and floor framing in the western side of the building is undersized and falling to some degree. This area is built over part of an older building and reuses some of the existing foundations. It is intended that this portion of the structure will be repaired as part of this project. Some work has already been undertaken - See Structural.
- Not used
- Provide additional support for floor joists at east end of the crawl space as outlined in the plans and structural drawings.
- Provide insulation at the first floor exterior framed wall that runs from the Women's Room # 124 going to the west, and the west exterior wall going north to the public sidewalk. Insulate from floor to underside of roof.
- In the corridor in the west wing replace with new composite tile flooring to replicating the existing pattern.
- In the north wing replace the flooring with new composite tile flooring replicating the existing pattern. This includes the two locations with the Schmidt logo.
- At the south wing first and second floors repair the existing terrazzo floors. This includes the stairway from the first to the second floor. Provide repair per specifications.
- Interior Doors: Wherever possible, historic paneled doors (and hardware) will be repaired rather than replaced. If replacement of original or historic doors is necessary, the replacement will duplicate or be compatible with the material, design, and hardware of the older. See door schedule.
- Windows: Provide repairs to existing original wood windows throughout. Replace existing never anodized aluminum windows at west and south elevations with new wood windows to match original profile. At new windows match existing original masonry openings.
- Repair and refinish existing wood trim, wainscot, and paneling where it is to remain and is in serviceable condition. Where missing or in need of being replaced provide new wood trim and paneling to match. Final wood finishing is to reflect the original darker finish prior to the blanding of the facility in the 1960's - Verify sample area with owner/architect.
- Provide patching and repair work as needed at existing plaster walls and ceilings that remain.
- Provide new acoustical tile ceilings at locations indicated in ceiling plan. Replicate original pattern and style.
- Provide one Hydraulic Passenger Elevator to serve all three floors per drawings and specifications - See sheet A500.
- Provide new concrete work at sidewalks on east side, slab and footings for cooling tower and trash area. Verify scope of site work with Owner.
- Repair concrete walls where damaged and reinforcing has been exposed.
- Provide new railings at area wells to match the original diameter. Provide additional vertical supports and cable rail infill as indicated on the drawings.
- For finishes, see sheet A203.

KEY NOTES: FIRST FLOOR

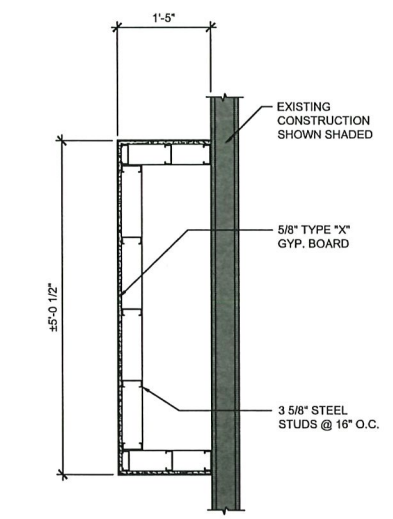
- Provide wainscot infill to match existing adjacent.
- Existing radiator cover to be removed, repainted, & reinstalled -typ. north wing.
- Provide new radiator cover at existing opening (cover missing) to match existing adjacent.
- Provide new oak transaction counter top to replace demolished plastic laminate counter top.
- Extend existing stoop, steps & footings to allow for double door inside



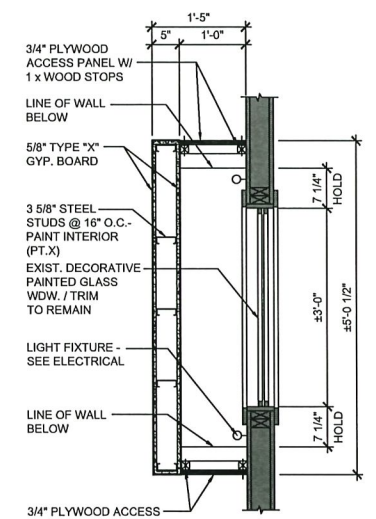
1 OVERALL FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



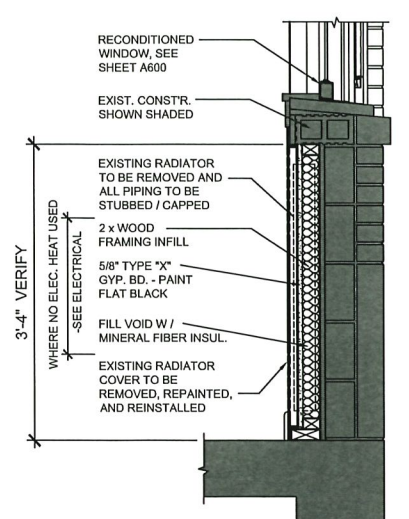
2 SECTION @ LIGHT BOX @ PAINTED GLASS
SCALE: 3/4" = 1'-0"



3 PLAN / SECTION @ LIGHT BOX LOW
SCALE: 3/4" = 1'-0"



4 PLAN / SECTION @ LIGHT BOX HIGH
SCALE: 3/4" = 1'-0"



5 SECTION @ RADIATOR INFILL
SCALE: 1" = 1'-0"

I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.

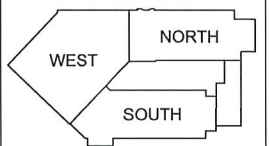
By: *[Signature]*
Title: Architect Date: 12/07/2017
Registration Number: 16366

Owner:
W. 7th/Ft. Road Federation
Project:
Rathskeller & Office Building Renovation

**WEST 7TH STREET/
FORT ROAD FEDERATION**



KEY PLAN



REVISIONS:
AMENDMENT 1

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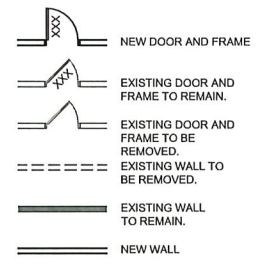
Comm. No.
16130

Date
12/07/2017

Sheet Title
Overall First Floor Demolition Plan

Drawing No.

A211



DEMOLITION GENERAL NOTES

- The existing building will become independent of the adjacent property from a utilities and services standpoint. Review any issues with disconnecting services to adjacent buildings with the owner prior to demolition.
- Contractor is to verify all existing conditions prior to commencement of the demolition. Review the asbestos abatement summary provided by Peer Engineering to clarify the scope of demolition work not in this contract. It is the intention that floor, ceiling tile and other asbestos containing material indicated for abatement will be removed prior to this contract.
- Furnish all labor, materials, and equipment necessary to demolish and remove all parts of existing work as called out in the drawings, specifications and as indicated below. All work shall be done in a careful manner so as not to cause damage to existing historic items and detail that remains.
- Mechanical and electrical scope of demolition work to be determined by contractor and submitted for owner approval prior to commencement of work. Remove any heating, electrical and plumbing system components, including ductwork, piping, etc. that are abandoned or unused.
- Contractor is responsible for all shoring, headers and bracing necessary for completion of the required demolition. No concrete columns, beams, slabs, or associated reinforcement are to be disturbed without written direction from the structural engineer.
- Remove any abandoned or unused utilities and connection or support devices. Remove and dispose of extraneous electrical masts, meters, service drops, wires, cable wiring, etc. including in the crawl spaces.
- At partitions to be demolished include all doors, frames, moldings and other items directly fastened or affixed to the partition, unless otherwise noted.
- Remove as part of the preparation for new work items directly fastened or affixed to walls and partitions scheduled for new surfacing and / or painting.
- Floor materials to be removed are full floor area, to all edges of installation, unless otherwise noted. Items include but are not limited to base, transition strips, etc. Remove all residues from adhesives. Remove any remaining existing carpeting and pads throughout the building.
- Remove wall covering as required in areas to receive new wall finishes. Patch and repair for new finishes.
- Remove all existing aluminum storm windows and deteriorated wood screens throughout the building.
- Remove all miscellaneous debris on site including cleaning out the area wells.
- There are a number of artifacts and pieces of furniture in the building in various locations as well as items stored in vault 'B' that are to remain with the building or with the Owner. Walk through with the Owner and Architect to determine scope prior to commencing demolition work.
- Remove all miscellaneous debris in the building.
- Remove all miscellaneous stickers, decals, and non-historic signage from glass and walls.

THE CEILING IN SPACES 120, 121, AND 122 HAVE BEEN PARTIALLY REMOVED DUE TO STRUCTURAL REPAIRS MADE TO THE JOISTS ABOVE IN 2011 WHEN THE NEW ROOF WORK WAS DONE. REMOVE CEILING JOIST. WILL NEED TO BE REPLACED PER STRUCTURAL.

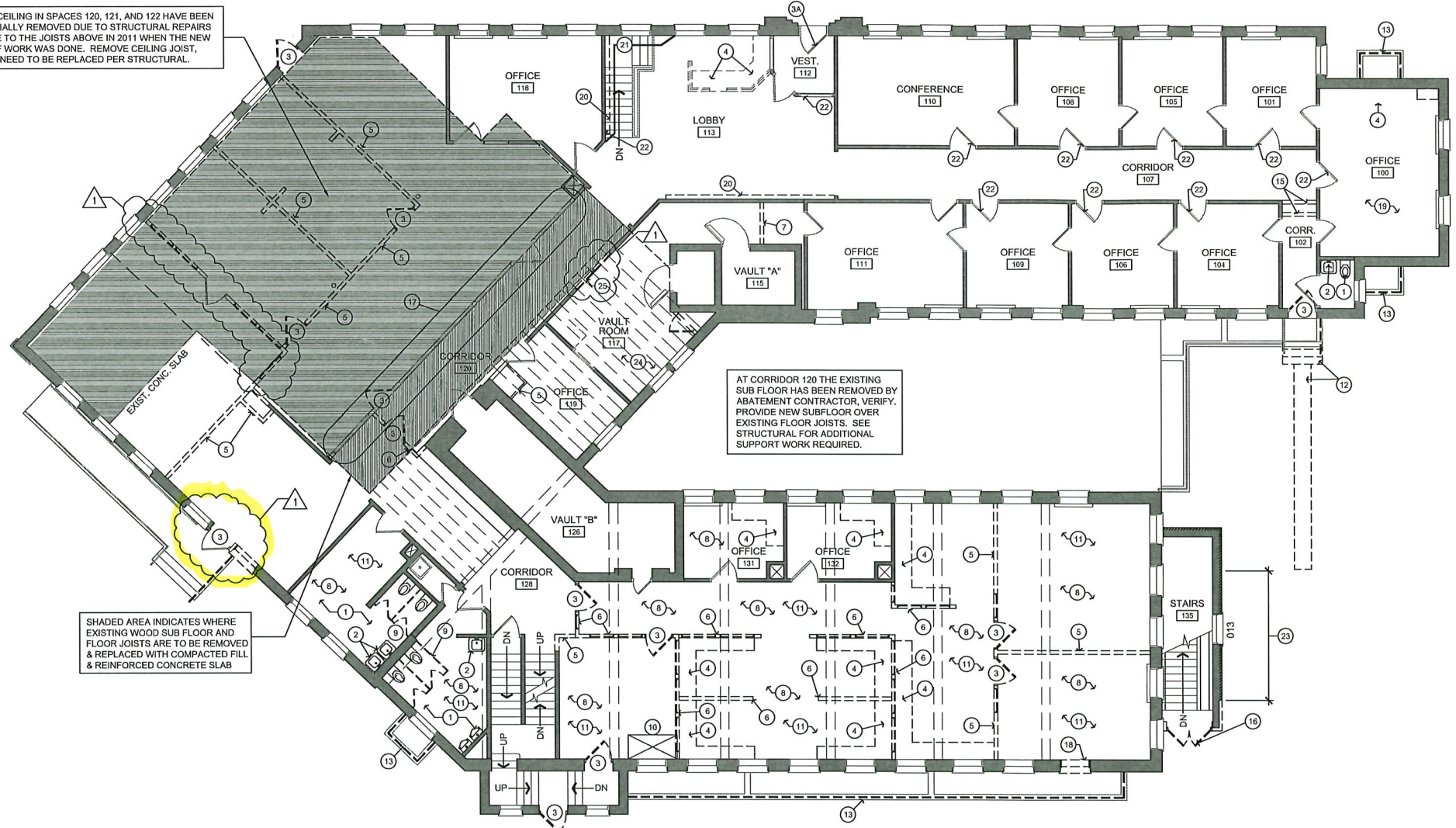
AT CORRIDOR 120 THE EXISTING SUB FLOOR HAS BEEN REMOVED BY ABATEMENT CONTRACTOR. VERIFY. PROVIDE NEW SUBFLOOR OVER EXISTING FLOOR JOISTS. SEE STRUCTURAL FOR ADDITIONAL SUPPORT WORK REQUIRED.

SHADED AREA INDICATES WHERE EXISTING WOOD SUB FLOOR AND FLOOR JOISTS ARE TO BE REMOVED & REPLACED WITH COMPACTED FILL & REINFORCED CONCRETE SLAB

DEMOLITION KEY NOTES

- Remove existing urinals, toilets, and all accessories. Stub and cap all plumbing as required for new construction. Patch and repair adjacent construction as required for new construction.
- Remove existing sinks. Stub and cap all plumbing as required for new construction. Patch and repair adjacent construction as required for new construction.
- Remove existing door and frame.
- Remove existing door, frame to remain for reinstallation of existing historic door.
- Remove existing non-historic casework. Patch and repair adjacent construction to accept new finishes.
- Remove existing stud and gyp. bd. wall. Patch and repair adjacent construction to accept new finishes.
- Remove existing stud and gyp. bd. half wall (with glazing). Patch and repair adjacent construction to accept new finishes.
- Remove existing clay tile and plaster wall. Patch and repair adjacent construction to accept new finishes.
- Remove existing flooring, leave area prepared to receive new finishes as scheduled.
- Remove existing metal toilet partitions and all partition accessories for reuse at new toilet rooms.
- Existing conc./clay tile floor this location to be removed for construction of new elevator. Size and location as indicated on drawings.
- Remove existing lighting and misc. lighting accessories. (above)
- Remove existing stair assembly as req'd & conc. walkway in its entirety
- Remove existing pipe railing at existing window well.
- Remove existing bollards.
- Remove existing chase / walls. Provide floor and ceiling to match adjacent construction.
- Remove existing wood doors for construction of new entry, see sheet A / 101.
- Existing partial hgt. wall, including paneling, glazing, doors, and all trim is to be removed for concrete slab installation and reconstructed in current configuration after slab is installed.
- Remove existing wood window (salvage for parts). Cut opening down to the floor, salvage bricks and stone.
- Remove existing non-historic wood paneling and ceiling grid in this room.
- Remove exist. non-historic display shelf & associated hardware - repair walls for new finish
- Remove damaged rift-sawn oak wainscot assembly full height. Remove exist damaged plaster as req'd - prepare wall for new finishes to match existing.
- Remove all non-historic signage from existing walls & wainscot (no smoking, decals on glass, etc.) - Typical for entire project.
- Remove existing brick this wall, only the area that which will be enclosed by new masonry surround - Verify. Salvage brick for patching & infill @ historic areas.
- Remove existing non-historic wood paneling - patch surfaces as req'd.
- Remove existing pass through window

1
A211
OVERALL FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

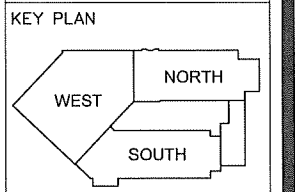


I hereby certify that this drawing was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the State of Minnesota.

By: *[Signature]*
Title: Architect Date: 12/07/2017
Registration Number: 16366

Owner:
W. 7th/Ft. Road Federation
Project:
Rathskeller & Office Building Renovation

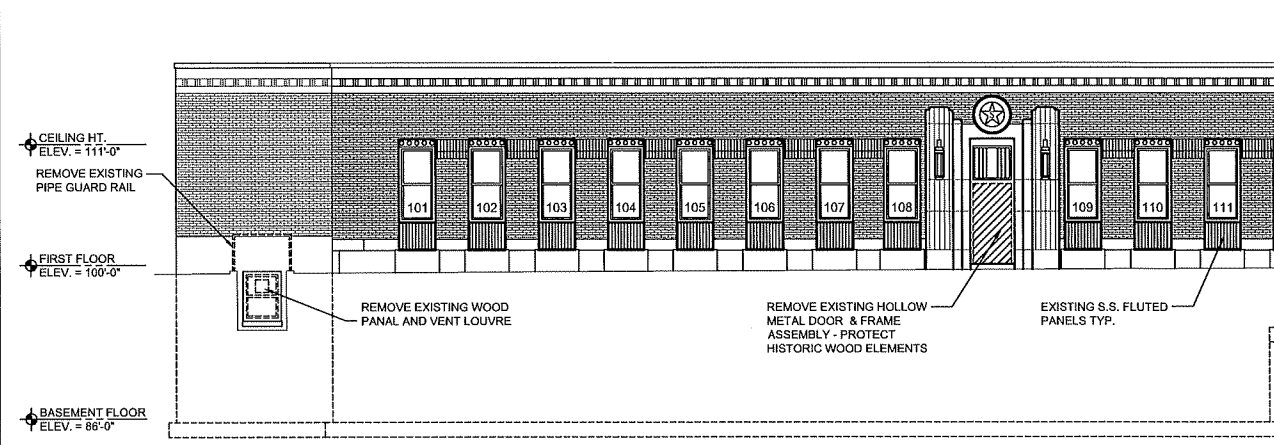
**WEST 7TH STREET/
FORT ROAD FEDERATION**

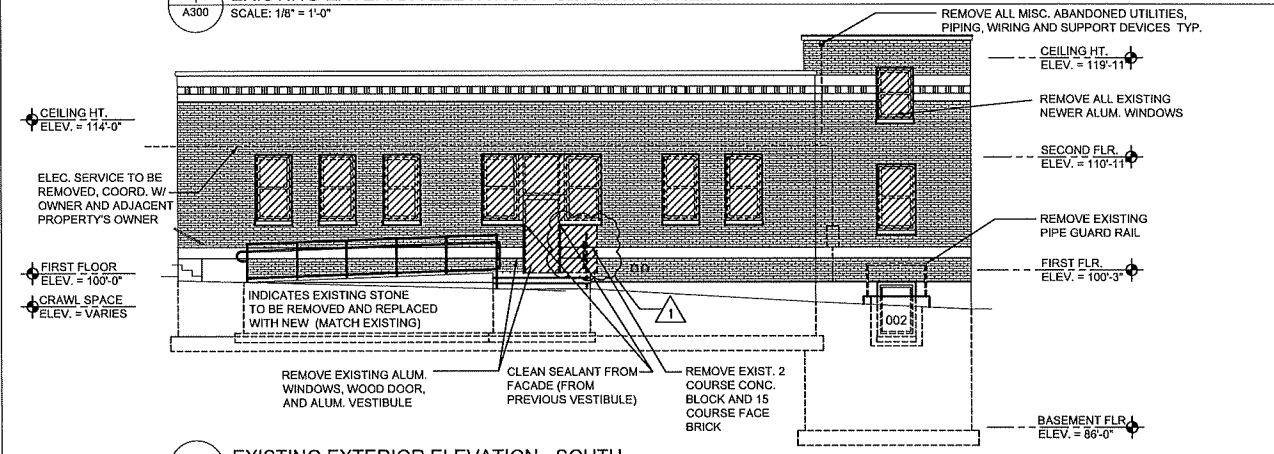
REVISIONS:
AMENDMENT 1

ISSUED FOR BUILDING PERMIT
Comm. No. 16130
Date 12/07/2017
Sheet Title: Exterior Elevations - Demolition

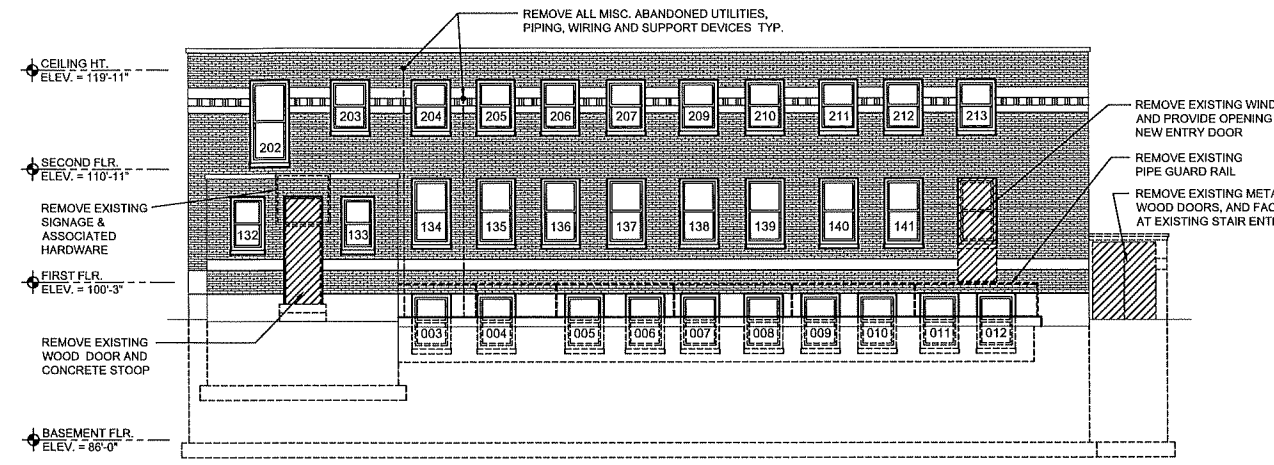
Drawing No. **A300**



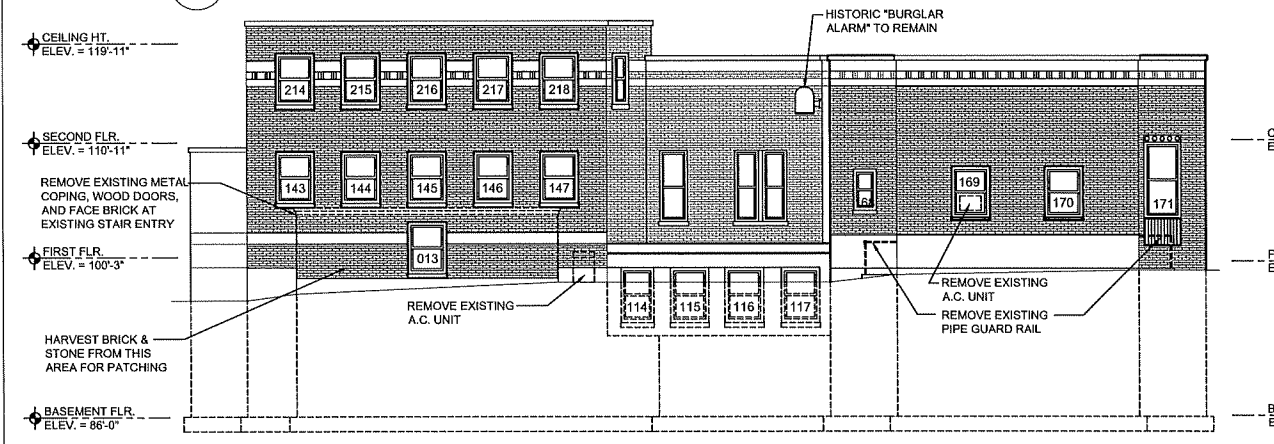
1 EXISTING EXTERIOR ELEVATION - SEVENTH STREET
SCALE: 1/8" = 1'-0"



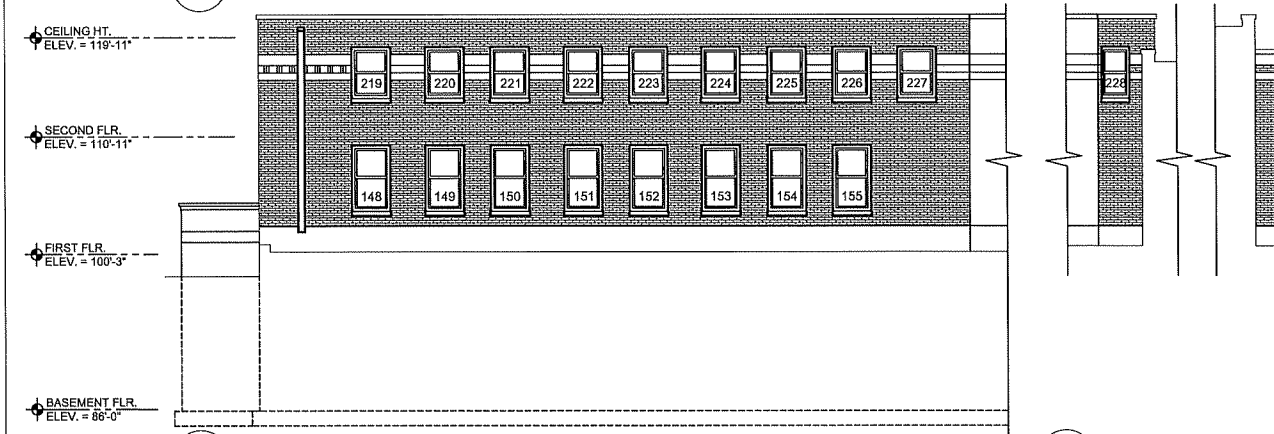
3 EXISTING EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



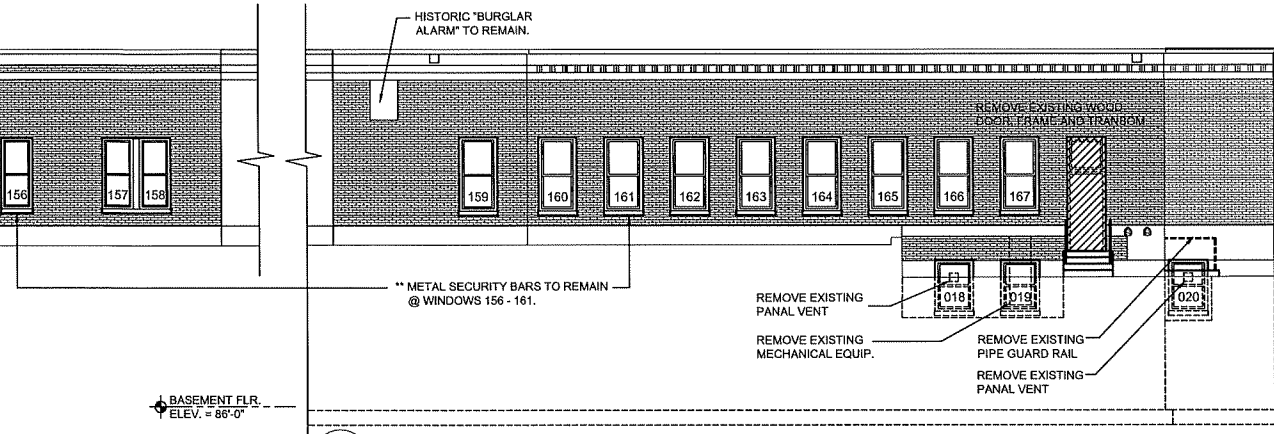
4 EXISTING EXTERIOR ELEVATION - SOUTHEAST
SCALE: 1/8" = 1'-0"



5 EXISTING EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



6 EXISTING EXTERIOR ELEVATION - SOUTH WING (ABOVE ROOF)
SCALE: 1/8" = 1'-0"



7 EXIST. EXT. ELEVATIONS - EAST (ABOVE ROOF)
SCALE: 1/8" = 1'-0"

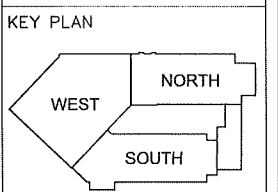
8 EXISTING EXTERIOR ELEVATION - NORTH WING (ABOVE ROOF)
SCALE: 1/8" = 1'-0"

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Title Architect Date 12/07/2017
Registration Number 16366

Owner
W. 7th/Ft. Road Federation
Project
Rathskeller & Office Building Renovation

**WEST 7TH STREET/
FORT ROAD FEDERATION**



REVISIONS:
AMENDMENT 1

ISSUED FOR BUILDING PERMIT
Comm. No. 16130
Date 12/07/2017
Sheet Title Exterior Elevations

Drawing No. **A301**

